



CITY OF ATASCADERO DESIGN REVIEW COMMITTEE AGENDA

**Committee Meeting
Wednesday, February 26, 2020
2:00 P.M.**

**City Hall
6500 Palma Avenue, Room 306
Atascadero, California**

CALL TO ORDER

Roll Call: Chairperson Roberta Fonzi
Committee Member Heather Newsom
Committee Member Duane Anderson
Committee Member Mark Dariz
Committee Member Emily Baranek

APPROVAL OF AGENDA

PUBLIC COMMENT

CONSENT CALENDAR

1. APPROVAL OF DRAFT MINUTES OF JANUARY 15, 2020



<http://www.facebook.com/planningatascadero>



[@atownplanning](https://twitter.com/atownplanning)

Scan This QR
Code with your
smartphone to
view DRC Website



DEVELOPMENT PROJECT REVIEW

2. DESIGN REVIEW OF CONTRACT CONSTRUCTION YARD AND OFFICE AT 1680 EL CAMINO REAL.

The project includes development of a contract construction yard and office. The site is currently operating as described. Approval of the building permit will bring the use into conformance with current codes. The project includes the addition of a parking area, frontage improvements and landscaping, an accessory structure constructed of cargo containers, and 9,996 square feet of outdoor storage.

- **Recommendation:** Staff requests the DRC review the proposed design and direct the applicant to make any modifications to the site or building design as necessary. (PRE19-0047)

COMMITTEE MEMBER COMMENTS AND REPORTS

DIRECTOR'S REPORT

ADJOURNMENT

The next DRC meeting is tentatively scheduled for Wednesday, March 11, 2020, at 2:00 p.m.

Agendas, Minutes and Staff Reports are available online at www.atascadero.org under City Officials & Commissions, Design Review Committee.



<http://www.facebook.com/planningatascadero>



[@atownplanning](https://twitter.com/atownplanning)

Scan This QR
Code with your
smartphone to
view DRC Website





ITEM NUMBER: 1

DATE: 2-26-20

CITY OF ATASCADERO DESIGN REVIEW COMMITTEE

DRAFT MINUTES

**Regular Meeting – Wednesday, January 15, 2020 – 2:00 P.M.
City Hall, 6500 Palma Avenue, Rm. 202, Atascadero, CA**

CALL TO ORDER – 2:00 p.m.

Chairperson Fonzi called the meeting to order at 2:02 p.m.

ROLL CALL

Present: Chairperson Roberta Fonzi
Committee Member Duane Anderson
Committee Member Mark Dariz
Committee Member Emily Baranek

Absent: Committee Member Newsom (excused absence)

Staff Present: Community Development Director, Phil Dunsmore
Assistant Planner, Mariah Gasch
Recording Secretary, Annette Manier

Others Present: Reggie Bauer
Kevin Mulligan, Image Custom Homes
Dustin Bauer
Rosemary Jorgens

APPROVAL OF AGENDA

MOTION: By Committee Member Dariz and seconded
by Committee Member Anderson to approve the
Agenda.

*There was Committee consensus to approve the
Agenda.*

PUBLIC COMMENT

None.

Chairperson Fonzi closed the Public Comment period.

CONSENT CALENDAR**1. APPROVAL OF DRAFT MINUTES OF DECEMBER 11, 2019**

MOTION: By Committee Member Dariz and seconded by Committee Member Anderson to approve the Consent Calendar.

There was Committee consensus to approve the Consent Calendar.

DEVELOPMENT PROJECT REVIEW**2. DESIGN REVIEW OF RESIDENTIAL UNITS AT 5590 TUNITAS AVE.**

The applicant is proposing a construction of four (4) detached residential units on a vacant parcel.

- Recommendation: Staff requests the DRC review the proposed design and direct the applicant to make any modifications to the site or building design as necessary. (PRE19-0111)

Planner Gasch presented the staff report, and she and Director Dunsmore answered questions from the Committee.

The applicant team (Reggie Bauer, Kevin Mulligan, and Dustin Bauer) presented the project to the Committee. Mr. Bauer was unaware of the required 20' driveway width when they started the project, and stated that if there were no viable alternative, he would be willing to build two houses instead of three.

The Committee discussed having three vs. four units on the lot and the Fire Department policies in regards to driveways and turnarounds. Staff is in favor of four units due to housing needs. The applicant's civil engineer would have to weigh in prior to deciding to flip or rotate the houses.

PUBLIC COMMENT

The following members of the public spoke during public comment: Rosemary Jorgens

Chairperson Fonzi closed the Public Comment period.

Staff, the applicant, and the Committee addressed the questions raised by Rosemary Jorgens.

DRC ITEMS FOR DISCUSSION:

The Committee made the following recommendations:

Architectural Design

The Committee agreed that the wall facing the street with landscaping could make the property more appealing. If house B is flipped, probably with height, it would give more articulation. Units could have a mixture of hardie board and hardie board siding broken up as alternatives to fit with historical styles. The Committee recommends stucco on the lower portion of the houses and siding above.

Color Schemes

The Committee recommends that the applicant look at historical color pallets. There should be color variety (earthtones). There is a colony-home pallet.

Horizontal siding on all units

The Committee recommends that the applicant incorporate some alternatives (hardie board siding broken up) as they could fit with historical styles.

Stucco

Applicant can use regular stucco (not blown on textured stucco) with a troweled effect. (knockdown stucco).

Windows

Until staff knows where houses will be placed, windows will have to be reviewed again. Windows should be a high quality material (not vinyl). Front windows should open from the bottom at the front of the house as long as they meet egress. Applicant should make sure there are consistent window sizes.

Porch Cover

Extend the front porch and porch cover to the entire side, opposite of the garage. The front door/porch should be the focus of the home.

Roofing

Roofing materials will be at the discretion of the applicant. Applicant is proposing a shingle-tile.

Landscaping and Fencing

The Committee prefers a top rail fence.

Front Doors and Porch

Doors should be in the middle of the porch if possible (symmetry). The front door should be the focus with an accent color that is different from the rest of the house. Applicant does not have a door schedule yet, but door preference will be a decision made by the customer.

Garage Doors

Applicant should look at different types of garage doors that would be more compatible with historic-style. Carriage doors are more appropriate for this historical look. Garage door shall not be brightly-colored and should not be the focus of the house.

Small House (4th house)

The small house is 900± square feet. The Committee recommended that the door upstairs be the same color as the siding/house with an accent paint color on the area where the gable is. The porch railings could be painted a different color. Wood pickets will be preferred for the railing, and the columns should be accentuated. The applicant could extend the upper deck to create a small overhang and put some detailing on the fascia.

The applicant will work with staff on the above changes, and since the applicant is already in plan check, he can resubmit corrections with the comments incorporated by the DRC.

COMMITTEE MEMBER COMMENTS AND REPORTS

None

DIRECTOR'S REPORT

Director Dunsmore stated that the storage yard project that the Committee reviewed at the last meeting has been withdrawn. The owner is entertaining another contractor-type use for that site.

Director Dunsmore stated that the next meeting will likely be cancelled.

Director Dunsmore stated that over 65 construction permits were applied for in December, and we expect to see a lot of development in the next year.

ADJOURNMENT– 3:50 p.m.

The next regular meeting of the DRC is tentatively scheduled for January 29, 2020, at 2:00 p.m.

MINUTES PREPARED BY:

Annette Manier, Recording Secretary
Administrative Assistant



Atascadero Design Review Committee

Staff Report – Community Development Department Carlson Construction Yard

MEETING DATE	PROJECT PLANNER	APPLICANT / CONTACT		PLN NO.
2/26/2020	Kelly Gleason	Steve Carlson		PRE19-0047
PROJECT ADDRESS	GENERAL PLAN DESIGNATION	ZONING DISTRICT	ASSESSOR PARCEL NUMBER(S)	SITE AREA
1680 El Camino Real	Commercial Park (CPK)	Commercial Park (CPK)	049-131-053	0.84 acres
RECOMMENDATION				
<p><i>Staff Requests the Design Review Committee:</i></p> <ol style="list-style-type: none">1. Review the proposal for a Contract Construction Yard in the Commercial Park zoning district and direct the applicant to make any modifications to the site design as necessary.				
PROJECT DESCRIPTION				
<p>The applicant is proposing a contract construction yard and office. The office building is within an existing converted single-family structure on-site. A new storage building is proposed comprised of connected cargo containers under a unifying roof structure. The proposal also includes 9,996 square-feet of outdoor storage, perimeter landscaping, and a new parking lot and carport.</p>				
ENVIRONMENTAL DETERMINATION				
<p><i>The City of Atascadero's environmental review process incorporates the requirements in implementing the California Environmental Quality Act. Persons, agencies, or organizations interested in obtaining more information regarding the environmental should contact the Community Development Department.</i></p>				
<input type="checkbox"/> EIR / MND / ND / Statutory Exemption to be circulated	<input type="checkbox"/> Prior CEQA Review:	<input type="checkbox"/> Categorical Exemption:	<input checked="" type="checkbox"/> No Project - § 15268 Ministerial Project	



DISCUSSION:

Project Description / Summary

The subject site is approximately 0.84 acres in size and is currently developed with an office previously converted from a single-family residence. The site is currently occupied by the applicant. The intent of this review is to bring the project into conformance with applicable Zoning and Building Code requirements. The project includes a new parking lot, frontage improvements, site landscaping, a new storage structure, and formalized outdoor storage area.



Background:

The project site was occupied by the applicant in 2016. At the time of business license application, it was noted that the site was being used exclusively for outdoor storage and a CUP would be required for the project. In addition, site accessibility, parking, and frontage improvements would be required. The applicant subsequently submitted a building permit application with all required on- and off-site improvements proposed, as well as a reduced storage area that complies with current zoning. Under existing zoning standards, outdoor storage areas less than 10,000 square-feet do not require use permit approval. The applicant is proposing 9,996 square-feet of outdoor storage area.

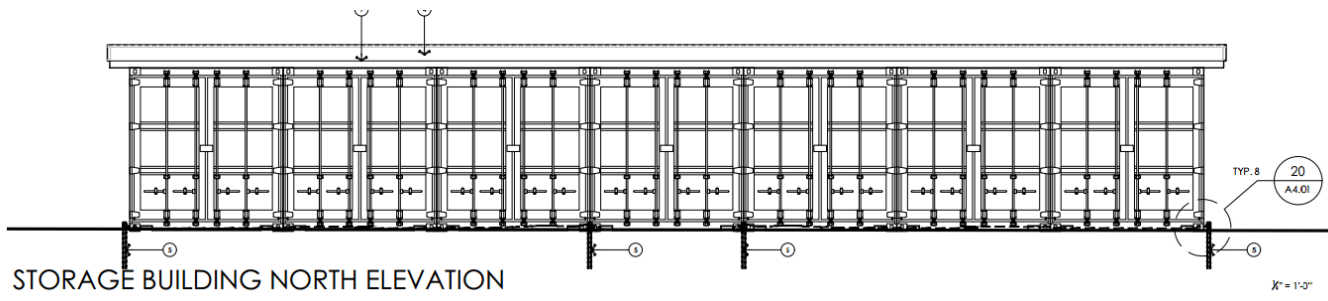
Analysis

Site Design

The project is designed to maintain the existing on-site office within the previously converted single-family residence. A new parking lot will be constructed at the rear of the office and will provide parking for employees as well as fleet vehicles. A new carport is proposed over 2 of the parking spaces attached to the rear of the building. Oversized-vehicles, equipment, and construction materials will be stored either in the outdoor storage area or the proposed storage building.

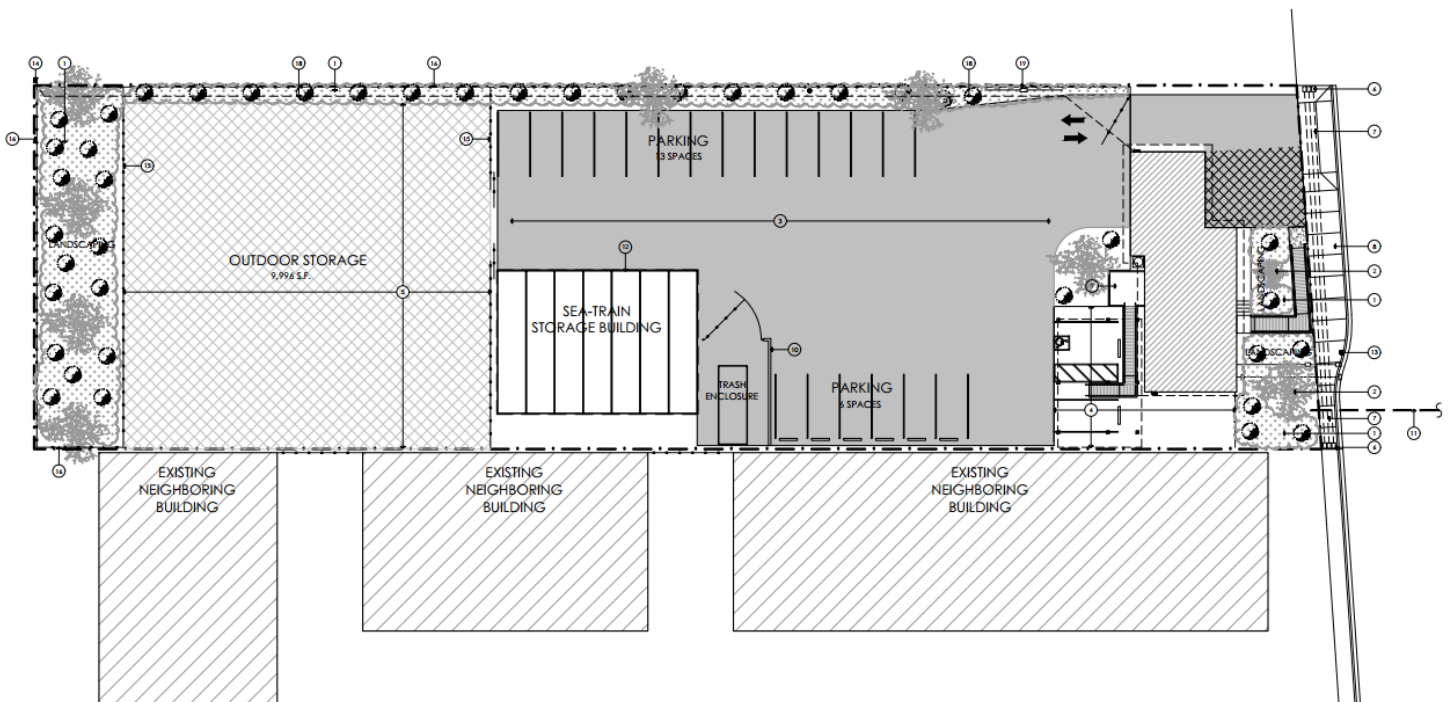
The new storage building will be constructed of cargo containers covered by a single roof structure to appear as one building. The building is proposed to be painted a light color to match the existing building and the development to the south.





Landscaping

The site includes landscaping along the perimeter of the site on every side except where adjacent to the existing light-industrial development. As required by code, there is a proposed 10-foot landscaped area along Highway 101. This area also includes a storm water basin.



Fencing and screening

The Atascadero Municipal Code requires solid screening between outdoor storage areas, the right-of-way, and residential uses. There is an existing single-family residence to the north of the project site. Based on Municipal Code standards, fencing is required to be solid between these uses. As an alternative, vinyl coated chain link can be used where a minimum 5-feet of landscaping is provided to allow for dense shrub planting.



The applicant is proposing black vinyl coated chain link with landscaping. Conditions have been included to ensure that landscape varieties will form a dense screen.

DRC DISCUSSION ITEMS:

1. Landscape, Fencing and Screening
2. Architectural Design/Colors and materials

ATTACHMENTS:

1. Notice of Action
2. Development Plan
3. Plans & Elevations



Attachment 1: Notice of Action
PRE19-0047

DRC NOTICE OF ACTION

Conditions of Approval:

1. A building permit shall be issued within 3 months of the DRC final action date. Improvements and building permits shall be completed within 6 months of the final DRC action date. Failure to meet these deadlines will result in re-activation of the code enforcement case.
2. Landscaping between the building and the frontage shall include street tree varieties at a minimum number of 1 per each 30-feet of linear frontage.
3. The existing asphalt area in front of the building shall be removed and code compliant landscaping shall be installed.
4. Fencing shall comply with code requirements for fencing and screening of outdoor storage uses and between commercial and residential uses. This includes solid screening or transparent fencing with a minimum of 5 feet landscape hedge material. Solid screening is not required between the proposed project and the adjacent light industrial center to the south.
5. Undergrounded utilities must be located to eliminate conflict with required perimeter landscaping.
6. Vehicular access gate shall be constructed of a solid material. No chain link or transparent material is permitted.

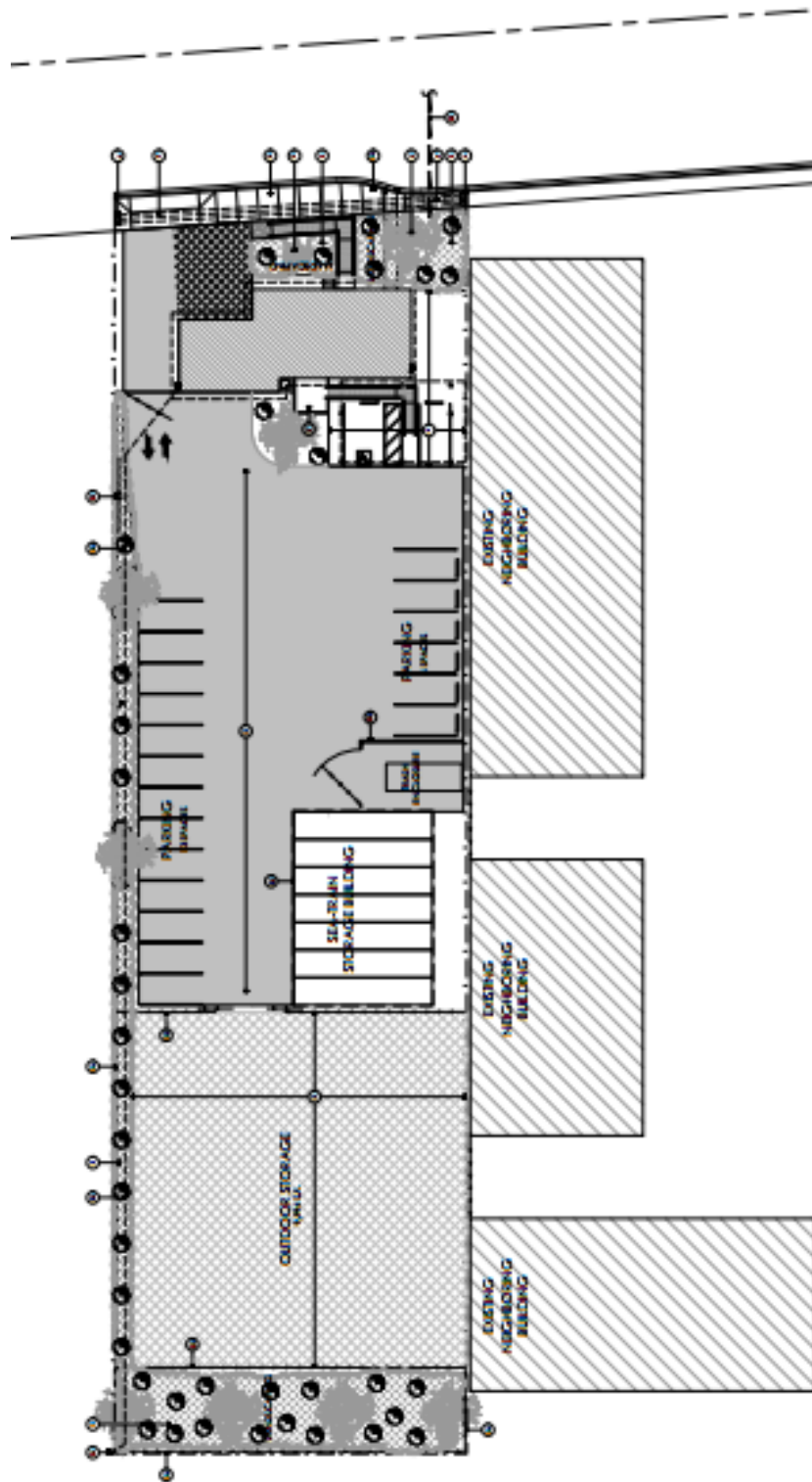
Action/ Decision Summary: *To be recorded at meeting conclusion*

Meeting Date: February 26, 2020

Project Planner: Kelly Gleason
Senior Planner



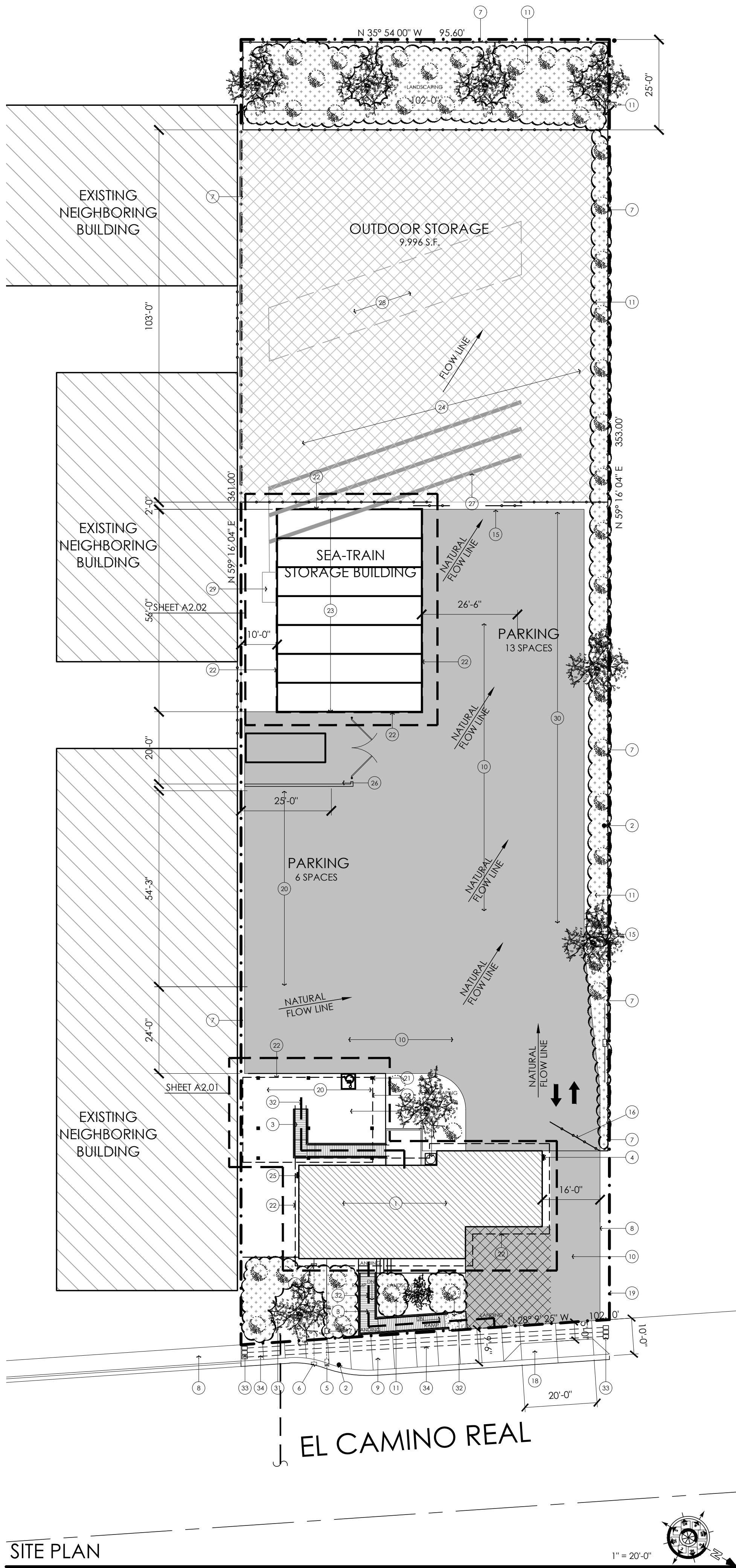
**Attachment 2: Development Plan
PRE19-0047**



Attachment 3: Plans & Elevations
PRE19-0047

See Following





APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES AND STANDARDS

APPLICABLE CODES- California Code of Regulations Title 24

- California Building Code (2016)
- California Plumbing Code (2016 UPC)
- California Mechanical Code (2016 UMC)
- California Electrical Code (2016 NEC)
- California Energy Code (2016)
- California Green Building Code (2016)
- California Fire Code (2016 IFC)
- California Reference Standards Code (2016)
- Atascadero Municipal code

PARKING CALCULATION

Parking Calculation:
NEW PARKING:
1 parking space per 500 s.f. 3+ spaces required

Parking Provided 7 Standard
1 Accessible

LANDSCAPING CALCULATION

Landscaping required: 10%
Lot Size: 33,462 S.F.
Minimum Landscaping required: 3,462 S.F.

Landscaping Provided:
North property line: 1,350 S.F.
West property line: 2,549 S.F.
East property line: 1,010 S.F.

TOTAL: 4,909 S.F.

KEYNOTES

- EXISTING RESIDENCE TO BE CONVERTED TO OFFICE SPACE. REFER TO SHEET A2.01
- EXISTING UTILITY POLE
- NEW ADA RAMP TO BUILDING ENTRANCE
- EXISTING ELECTRIC METER AND SERVICE
- EXISTING GAS METER TO BE RELOCATED.
- EXISTING WATER METER TO BE RELOCATED
- EXISTING GALVANIZED CHAIN LINK FENCE WITH VINYL PRIVACY SLATS. GALVANIZED CHAIN LINK AND SLATS TO BE REMOVED AND REPLACED WITH BLACK VINYL COATED CHAIN LINK, TYPICAL
- EXISTING CURB, GUTTER AND SIDEWALK
- NEW CONCRETE CURB, GUTTER AND SIDEWALK PER ATASCADERO PUBLIC WORKS STANDARDS. TO BE COMPLETED UNDER SEPARATE PERMIT
- NEW AC PAVING
- NEW LANDSCAPING WITH DRIP IRRIGATION
- EXISTING CONDENSER FOR AIR CONDITIONING SET ON CONCRETE PAD
- RELOCATED WATER METER
- NEW VAN ACCESSIBLE PARKING SPACE ON EXISTING COVERED CONCRETE PAD
- EDGE OF NEW AC PAVING
- EXISTING GATE TO REMAIN
- RELOCATED GAS METER
- NEW COMMERCIAL DRIVEWAY APPROACH PER ATASCADERO PUBLIC WORKS STANDARDS. TO BE COMPLETED UNDER SEPARATE PERMIT
- PROPERTY LINE
- OFFICE PARKING
- EXISTING OPEN SIDED COVER OVER PARKING.
- EDGE OF ROOF
- SHIPPING CONTAINER STORAGE BUILDING
- OUTDOOR STORAGE AREA (LESS THAN 10,000 S.F.) (HATCHED AREA)
- EXISTING SUB-PANEL
- ROLL OFF DUMPSTER ENCLOSURE WITH SPLIT FACE CMU WALL AND 16' CHAIN LINK GATE WITH PRIVACY SLATS
- EXISTING (3) 70' LEACH LINES TO BE ABANDONED
- LEACH FIELD EXPANSION AREA NOT APPLICABLE. SYSTEM TO BE ABANDONED
- EXISTING SEPTIC TANK TO BE REMOVED AND HOLE TO BE FILLED IN AND COMPACTED
- WORK VEHICLE PARKING
- NEW STREET TREE PER ATASCADERO MUNICIPAL CODE
- ACCESSIBLE PATH OF TRAVEL
- ELECTRICAL, CABLE AND TELEPHONE PULL BOXES FOR FUTURE UNDERGROUND UTILITIES
- UNDERGROUND CONDUIT FOR FUTURE UNDERGROUND UTILITIES

GENERAL NOTES

- CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING: A minimum of 70% of the construction waste generated at the site is diverted to recycle or salvage per Atascadero City Ordinance. 4.08.2 Where a local jurisdiction does not have a construction and demolition waste management ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency.
- The contractor shall maintain the job site in a clean and orderly condition - free of debris and litter. Each sub-contractor, immediately upon completion of each phase of his work, shall remove all trash and debris created as a result of his operation
- V.O.C.'S - 4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- No hazardous materials, liquids or chemicals shall be stored or used within the subject building as to require a hazardous classification per the California Building Code
- Light, ventilation and sanitation shall comply with the current provisions of the CBC
- Provide address numbers at least six inches high which shall be visible from the roadway
- All work described in the drawings shall be verified for dimension, grade, extent and compatibility with existing site conditions. Any discrepancies and unexpected conditions that affect or change the work described in the contract documents shall be brought to the Architect's attention immediately. Do not proceed with the work in the area of discrepancies until all such discrepancies are resolved. If the contractor chooses to do so, he/she shall be proceeding at his/her own risk.
- Omissions made in these drawings and specifications or the mis- description of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed shall not relieve the Contractor from performing such omitted or described details of the work as if fully and completely set forth and described in the drawings and specifications.
- Dimensions shown shall take precedence over drawing scale or proportion. Larger scale drawings shall take precedence over smaller scale drawings.
- In the event of the unforeseen encounter of materials suspected to be of an archaeological or paleontological nature, all grading and excavation shall cease in the immediate area and the appropriate authorities are to be notified by the Contractor. The find shall be left untouched until an evaluation by a qualified Archaeologist or Paleontologist is made.

- Contractor is to be responsible for being familiar with these documents including all contract requirements.
- All damaged work shall be patched or repaired by the contractor. All repaired surfaces shall be equal to new
- If it is the contractor's responsibility to insure that the installation methods and materials conform to all current building code requirements. The materials specified are intended to meet code. Any discrepancy between building code requirements and the construction documents shall be brought to the attention of the architect by the contractor prior to proceeding with any work.
- All new areas and facilities shall be accessible to the physically handicapped per the State of California Architectural Barriers, Title 24 code/law
- The contractor shall provide all necessary blocking, backing, framing, hangers or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same
- Substitutions of any item specified within the construction documents, except building standard items, will require written approval by the architect prior to installation.
- The intent of the drawings and specifications is to include all labor, materials and services necessary for the completion of all work shown, described or reasonably implied, but not limited to that explicitly indicated in the contract documents.

Grading plans, drainage improvements, road and access requirements and environmental health considerations shall comply with all local ordinances.

Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/burn, street, sewer line, water line or any public improvements shall be repaired at no cost to the City of Atascadero

No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Atascadero Public Works Office. The Encroachment permit shall be issued concurrently with the building permit.

SHEET INDEX

T1.0	TITLE SHEET/SITE PLAN
A1.01	LANDSCAPE AND UTILITY PLAN
A2.01	OFFICE FLOOR PLAN
A2.02	STORAGE BUILDING PLAN
A3.01	ELEVATIONS
A4.01	DETAILS

PROJECT DESCRIPTION

- Convert existing single family residential building into office space for S. Carlson Plumbing
- Provide retro active documentation for cover erected over concrete pad
- Organize and combine (7) sea-train shipping containers to have a common roof
- Provide engineering for shipping container foundation and holdown
- Show extent of outdoor storage - to be less than 10,000 s.f.
- Show paved area for work vehicle storage
- Provide parking for office building per code
- Provide Van Accessible Parking space per code
- Provide accessible path of travel to building entrance
- Provide landscaping where property borders Highway 101
- Provide frontage improvements of curb, gutter and sidewalk across front of property

PROJECT DATA AND INFORMATION

ADDRESS	1680 El Camino Real Atascadero, CA 93422
APN	049-131-053
ZONE	CPK
LOT AREA	APPROX 40,000 S.F.
OCCUPANCY (Current)	SFR
OCCUPANCY (Proposed)	B
CONSTRUCTION TYPE	V-B
STORIES	1
MAX HEIGHT	14'-9"
PROPOSED HEIGHT	UNCHANGED
SPRINKLERED	NO

PROJECT SUMMARY

EXISTING BUILDING:	
LIVING AREA:	1,222 S.F.
GARAGE:	446 S.F.
TOTAL	1,668 S.F.
PROPOSED BUILDING:	
OFFICE SPACE:	1,222 S.F.
STORAGE:	446 S.F.
TOTAL	1,668 S.F.

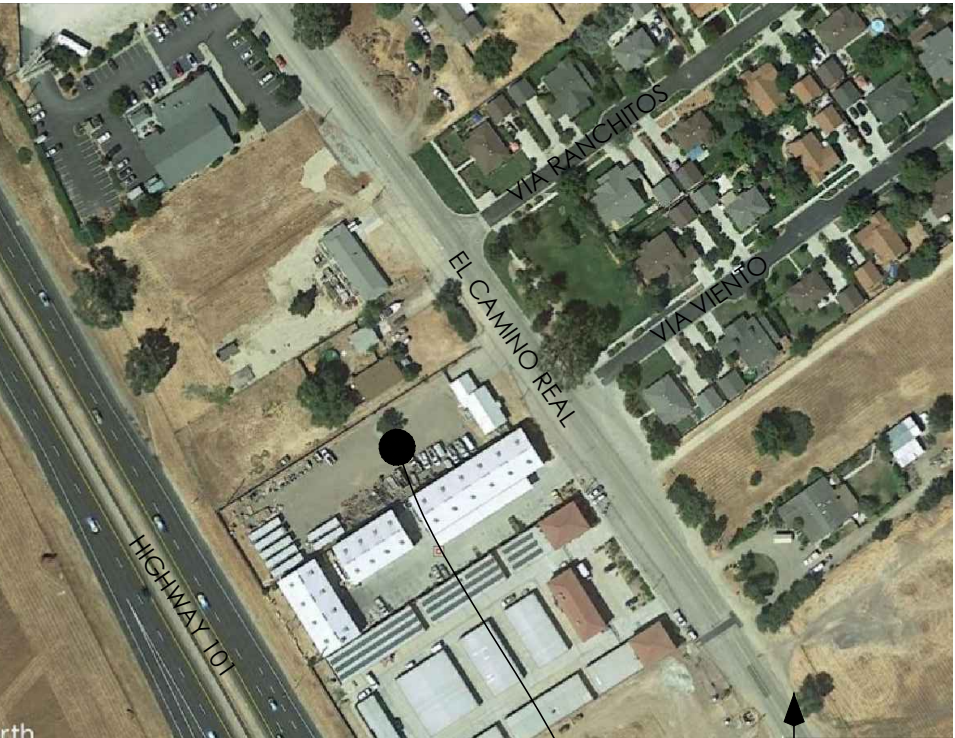
DEFERRED APPROVALS

STORM WATER RUNOFF CALCULATION

PERVIOUS VS IMPERVIOUS CALCULATION

FRONTAGE IMPROVEMENTS INCLUDING ADA ACCESS FROM PUBLIC WAY

VICINITY MAP



1680 El Camino Real
Atascadero, CA 93422

PROJECT TEAM

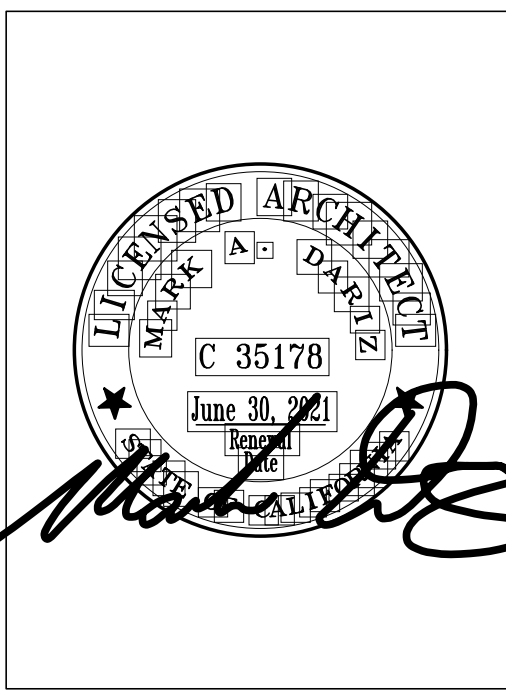
STRUCTURAL	ARCHITECT	OWNER
Charles Trenbeth Lic # C68937 3074 Beachcomber Dr. Moro Bay, CA 93442 Phone: (805) 772-3851	Mark A. Dariz Lic # C35178 3357 Rio Lado Atascadero, CA 93422 (805) 462-9488 - Office (805) 462-9088 - fax	Steve Carlson 1680 El Camino Real Atascadero, CA 93422 Phone: (805) XXX-XXXX

Drawings prepared by:

Design Solutions
3357 Rio Lado, Atascadero, CA 93422
(805) 462-9488

CONTRACT: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.

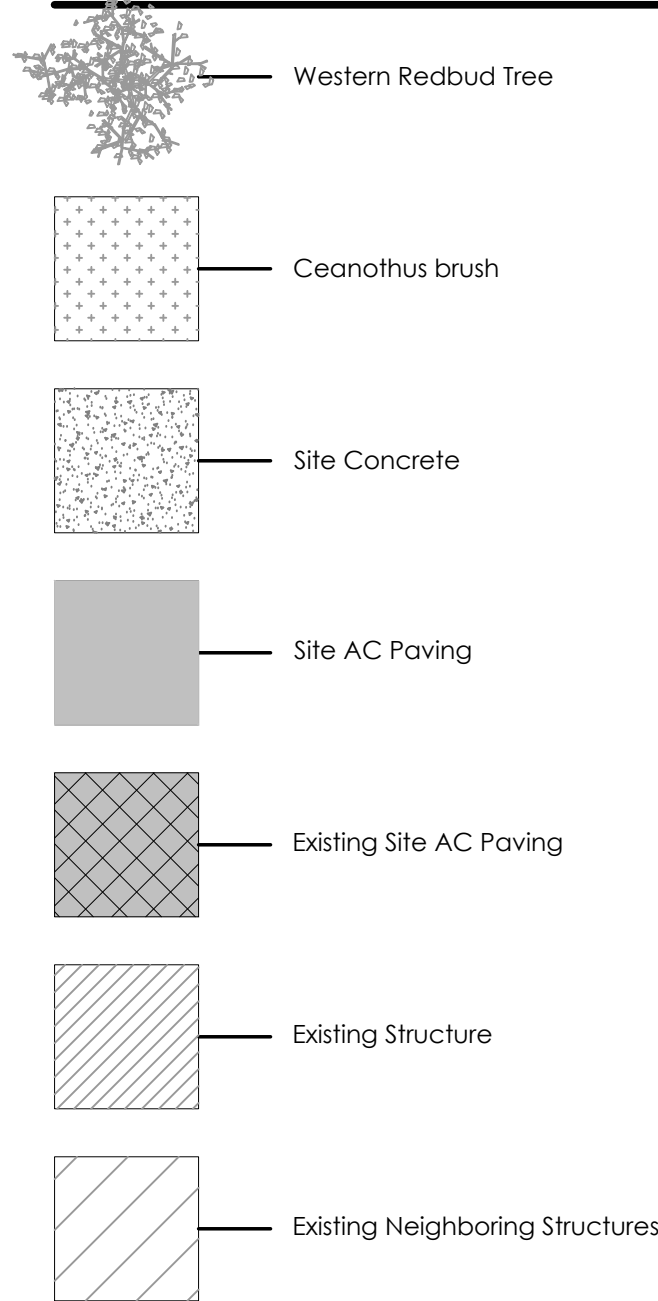


1680 El Camino Real
Atascadero, CA 93422
APN - 049-131-053

Code Compliance and
Occupancy Conversion
Title Sheet

No.	Revision	Date
1	Plan check corrections	10/19/19
2		
3		
Project Manager charlie Trenbeth		
Drawn by	ct	Checked by
Date	Feb. 17, 2020	
CAD File		
Job Number	2170903	
Sheet	T1.01	

Landscaping Key



PLUMBING NOTES (parking lot landscaping)

1. Verify existing (or provide new) backflow preventer at existing building water meters
2. New sewer lateral to connect to city sewer and service existing building. Existing septic system to be abandoned

SITE PLAN NOTES

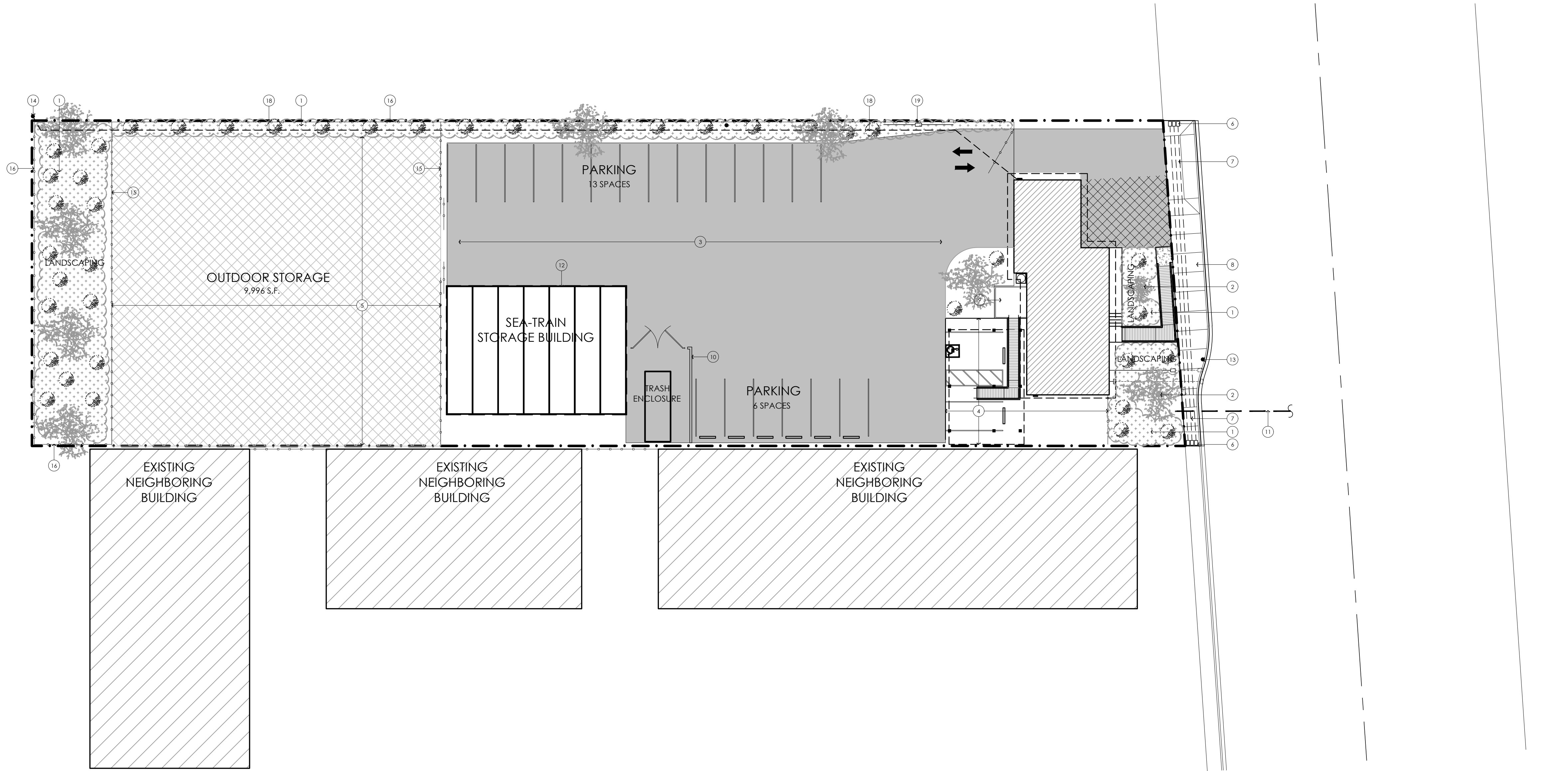
1. All planters shall be drip irrigated using $\frac{3}{4}$ " water lines. Irrigation lines shall be under the existing asphalt paving
2. Tree and shrub species shall be approved by the City of Atascadero
3. Parking lot striping shall conform to the requirements of the City of Atascadero

SITE ACCESSIBILITY NOTES

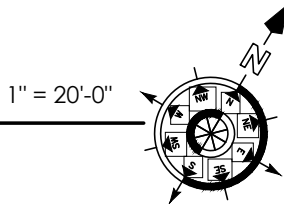
1. The location of the parking stalls shall be on the shortest accessible route to the accessible entrance
2. Provide curb cuts and ramps to accessible pathways as needed
3. Person with disabilities must not be compelled to wheel or walk behind parked cars other than their own
4. 36" x 36" outlined profile view of wheelchair with occupant, in white with blue background, visible to traffic enforcement officer when vehicle occupies space
5. SLOPE: Maximum of 1 vertical unit to 50 horizontal units in any direction
6. The surface must be stable, firm and slip resistant
7. Provide bumper or curb to prevent vehicle encroachment on walkways
8. SIGNAGE: "Van Accessible" sign for van spaces. Reflectized International Symbol of Accessibility at each space, min. 70" square (min. 80" high in path of travel), and unobstructed by parked vehicles
9. Provide low away sign with telephone number at each entrance to parking area and adjacent to accessible spaces, min 17" x 22" with 1" high letters
10. ACCESSIBLE EXTERIOR ROUTES OF TRAVEL, ENTRANCES & EXITS shall be provided for all entrances and exterior ground floor exits; along normal path of travel; between buildings and accessible site facilities; at least on each from public transportation stops, accessible parking and public streets or sidewalks to the entrance they serve
11. EXTERIOR SIGNS AND IDENTIFICATION: Provide the International Symbol of Accessibility at every major junction in the accessible route; every accessible entrance; as required along route, direction persons to an accessible entrance
12. CURB RAMPS: (NOT APPLICABLE. THERE ARE NOT CURB RAMPS THIS PROJECT)
13. WALKS AND SIDEWALKS:
 - 13.1. Must be a minimum of 48" in width; max 1:20 slope in the direction of travel. Where slope exceeds 1:20, must comply with ramps standards
 - 13.2. Change in level: max $\frac{1}{4}$ " - $\frac{1}{2}$ " beveled 1:2
 - 13.3. Surface must be stable, firm and slip resistant
 - 13.4. No grating if possible
 - 13.5. Level areas by doors and gates: Swing side 60" x 60"; push side 48" wide x 48" deep; swing side strike edge clearance min. 24"
 - 13.6. Provide warning curbs (6" high) at abrupt changes in level (greater than 4" vertical)
 - 13.7. Provide detectable warnings (truncated domes) where walk crosses or adjoins or vehicular way not separated by a curb

KEYNOTES

- 1 NEW LANDSCAPING
- 2 CITY APPROVED STREET TREE
- 3 ASPHALTIC CONCRETE PAVING
- 4 EXISTING SITE CONCRETE
- 5 PROPOSED OUTDOOR STORAGE (LESS THAN 10,000 S.F.)
- 6 ELECTRICAL, CABLE AND TELEPHONE PULL BOXES FOR FUTURE UNDERGROUND UTILITIES
- 7 UNDERGROUND CONDUIT FOR FUTURE UNDERGROUND UTILITIES
- 8 CONCRETE CURB, GUTTER AND SIDEWALK UNDER SEPARATE PERMIT
- 9 EXISTING RAISED DECK, 28" ABOVE GRADE
- 10 NEW CMU TRASH ENCLOSURE
- 11 NEW SEWER LATERAL, CONNECT TO EXISTING BUILDING. EXISTING SEPTIC SYSTEM TO BE ABANDONED
- 12 SEA-TRAIN STORAGE BUILDING
- 13 EXISTING UTILITY POLE, RELOCATION OF POWER, CABLE AND PHONE LINES TO COORDINATE WITH EL CAMINO REDEVELOPMENT PLAN
- 14 EXISTING UTILITY POLE WITH OVER HEAD LINES SERVICING EXISTING BUILDING. ALL LINES TO BE RELOCATED UNDERGROUND
- 15 NEW BLACK, VINYL COATED CHAIN LINK FENCE
- 16 EXISTING GALVANIZED CHAIN LINK FENCE MATERIAL AND PRIVACY SLATS TO BE REMOVED AND REPLACED WITH BLACK, VINYL COATED CHAIN LINK FENCE MATERIAL
- 17 EXISTING OVERHEAD POWER TO BE REMOVED AND LOCATED UNDERGROUND
- 18 POWER RELOCATED UNDERGROUND
- 19 IRRIGATION MANIFOLD WITH "SMART CONTROLLER" FOR DRIP IRRIGATION TO ALL NEW LANDSCAPING



LANDSCAPING AND UTILITY PLAN



Drawings prepared by:

Design Solutions
3357 Rio del Rey, Atascadero, CA 93422
(805) 462-9488

CORPORATE: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.

Written dimensions shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.

LICENSED ARCHITECT
C 35178
June 30, 2021
Seal of the State of California

CONSTRUCTION
DRAWINGS

1680 El Camino Real
Atascadero, CA 93422

APN - 049-131-053

Code Compliance and
Occupancy Conversion

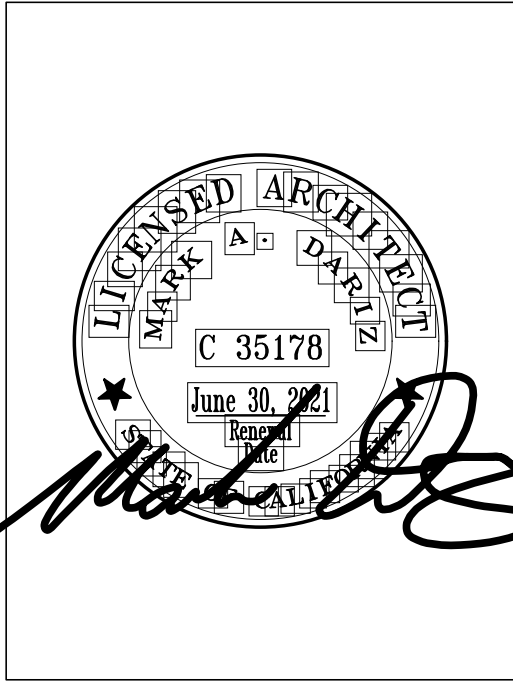
Landscape and
Utility Plan

No.	Revision	Date
1	Plan check corrections	10/19/19
2		-
3		-
Project Manager charlie Trenbeth		
Drawn by	ct	Checked by
Date	Feb. 17, 2020	
CAD File		
Job Number 2170903		
Sheet A1.01		

Drawings prepared by:
Design Solutions
3357 Rio del Rey, Atascadero, CA 93422
(805) 462-9488

COPYRIGHT ©: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.



CONSTRUCTION
DRAWINGS

1680 El Camino Real
Atascadero, CA 93422

APN - 049-131-053

Code Compliance and
Occupancy Conversion

Office Floor Plan

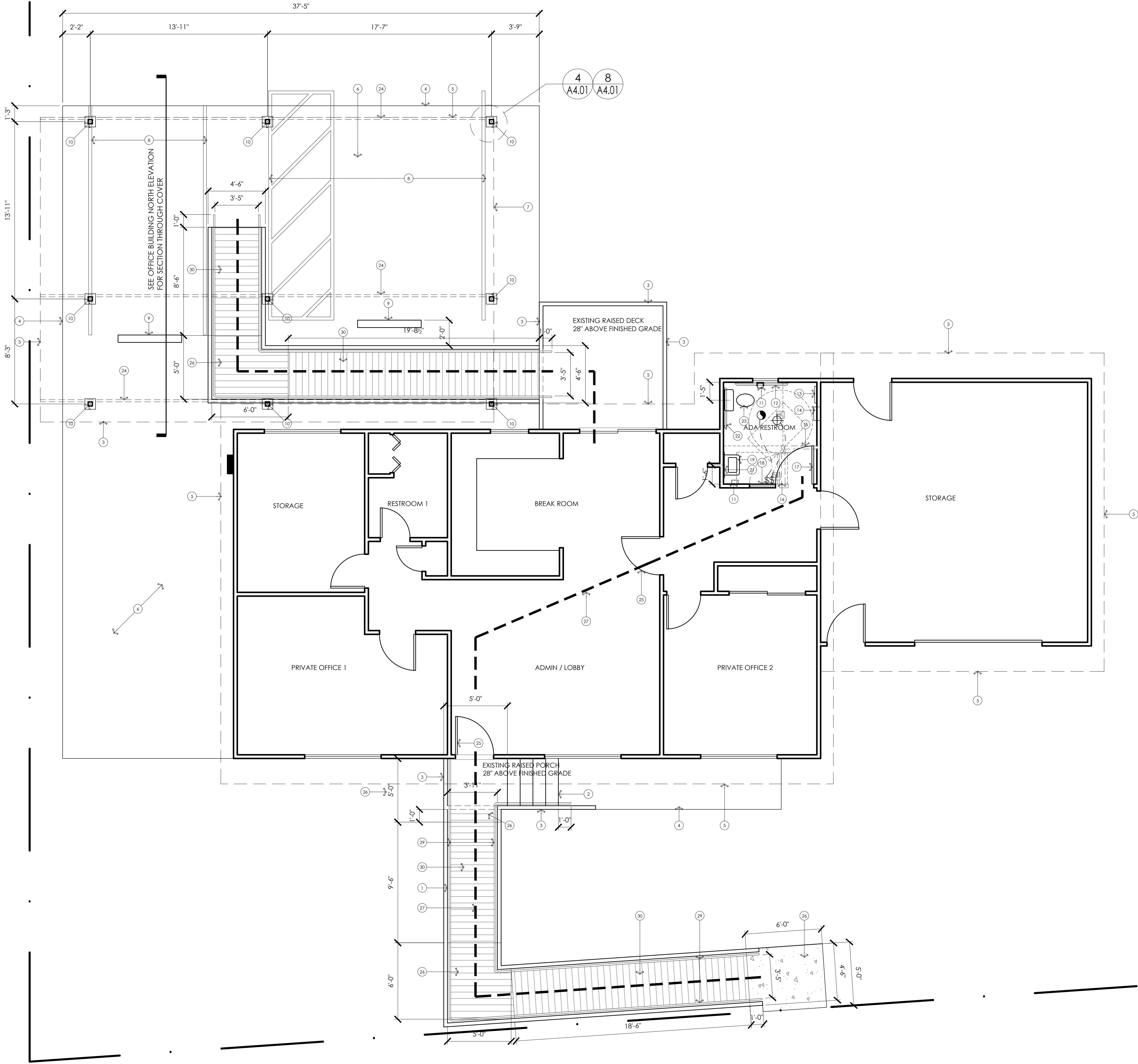
No.	Revision	Date
1	Plan check corrections	10/19/19
2	-	-
3	-	-
Project Manager		
mark dariz		
Drawn by	Checked by	
md	ct	
Date	Feb. 17, 2020	
CAD file		
Job Number		
2170903		
Sheet		
A2.01		

GENERAL NOTES

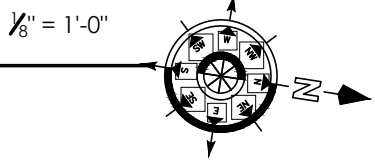
1. All gates and exit doors shall be equipped with panic hardware
2. See Sheet T1.01 for continued exit pathway beyond the building

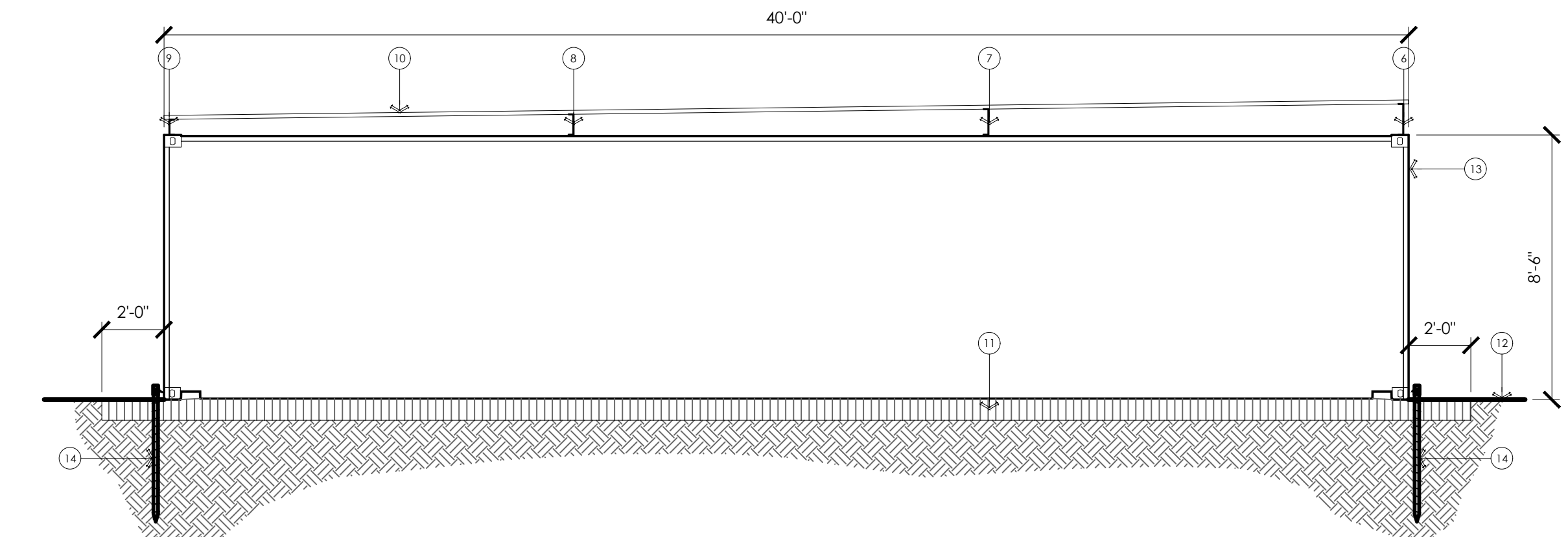
KEYNOTES

- 1 ADA RAMP, MAX SLOPE 1:12
- 2 EXISTING PORCH STAIRS
- 3 EXISTING PORCH RAIL
- 4 EXISTING EDGE OF CONCRETE
- 5 EDGE OF ROOF
- 6 EXISTING 5 1/2" THICK CONCRETE SLAB WITH #5 BAR @ 24" O.C. EACH WAY
- 7 EXISTING COVER
- 8 NEW PARKING STRIPING
- 9 NEW WHEEL STOP
- 10 (E) 4x4 STEEL POST WITH 10"x10"x1/2" THICK BASE PLATE. REFER TO DETAILS AND STRUCTURAL CALCULATIONS
- 11 TOILET PAPER DISPENSER. REFER TO MOUNTING SCHEDULE
- 12 48" GRAB BAR. REFER TO MOUNTING SCHEDULE
- 13 SEAT COVER DISPENSER. REFER TO MOUNTING SCHEDULE
- 14 WALL MOUNTED TRASH RECEPTACLE. REFER TO MOUNTING SCHEDULE
- 15 EXISTING WALL TO BE REMOVED
- 16 REMOVE EXISTING DOOR AND PORTION OF WALL AS NECESSARY TO PROVIDE OPENING FOR NEW 3'-0" DOOR
- 17 NEW 3'-0"x6'-8" DOOR WITH LEVER ADA APPROVED LEVER HARDWARE
- 18 2x WALL INFILL. FINISH TO MATCH EXISTING ADJACENT FINISH
- 19 ADA APPROVED LAV. REFER TO MOUNTING SCHEDULE
- 20 SOAP DISPENSER. REFER TO MOUNTING SCHEDULE
- 21 MIRROR. REFER TO MOUNTING SCHEDULE
- 22 36" GRAB BAR. REFER TO MOUNTING SCHEDULE
- 23 ADA APPROVED TOILET
- 24 PATIO COVER PURLIN
- 25 EXISTING 3'-0" DOOR PROVIDE LEVER HARDWARE
- 26 RAMP LANDING. MAX CROSS SLOPE 2%
- 27 ACCESSIBLE PATH OF TRAVEL
- 28 EXISTING PORCH STAIRS
- 29 RAMP HANDRAIL, 36" ABOVE FINISH SURFACE
- 30 ADA RAMP, MAXIMUM SLOPE 1:12

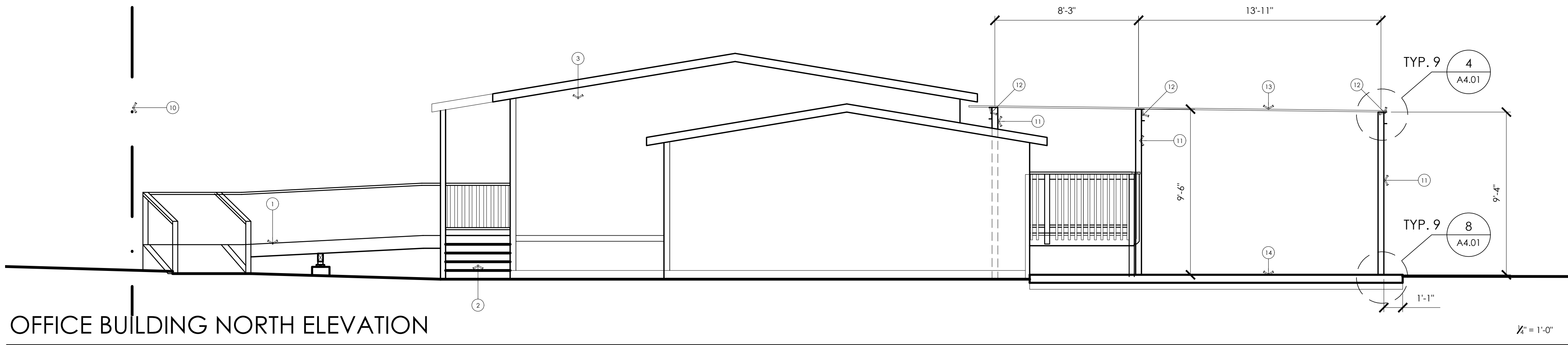


OFFICE FLOOR PLAN





A2.02

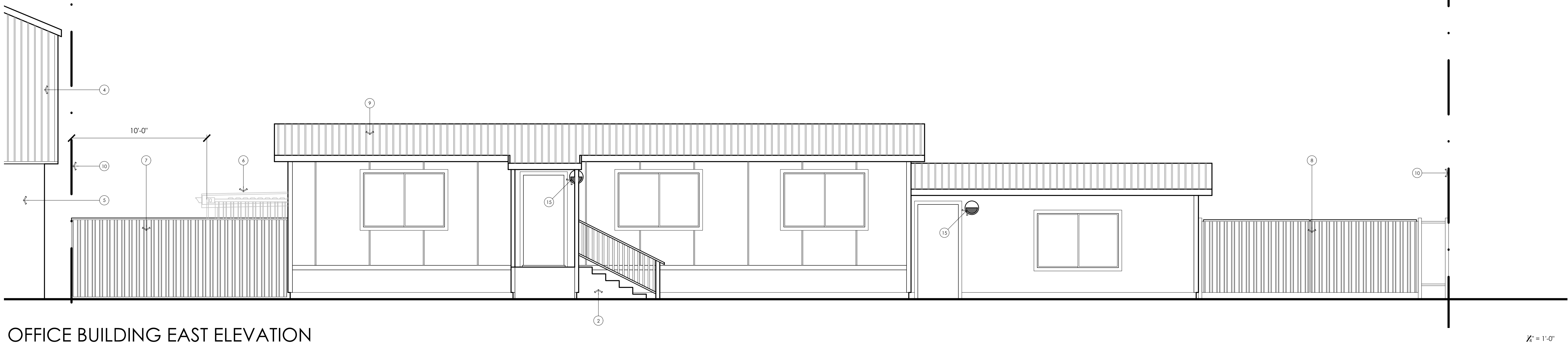
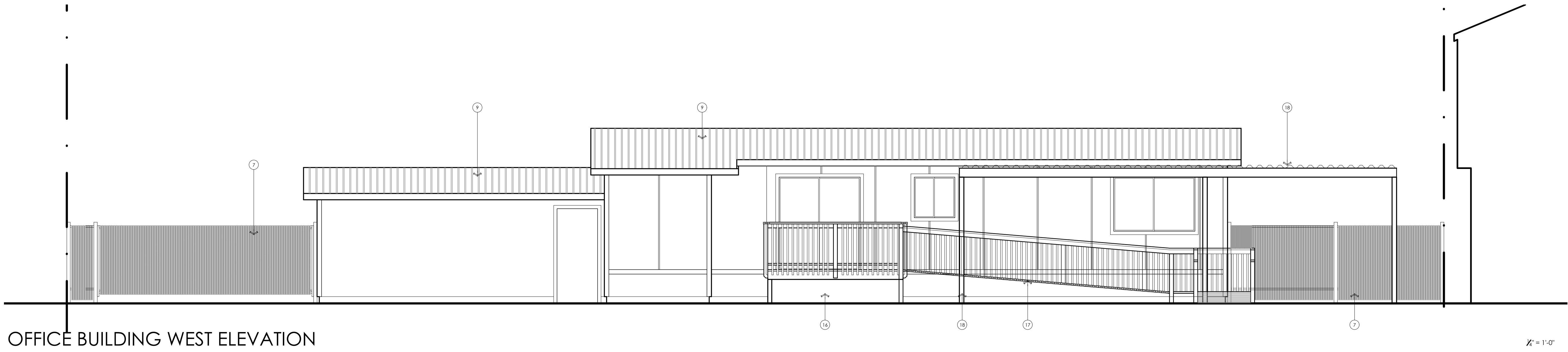


GENERAL NOTES

1. All gates and exit doors shall be equipped with panic hardware
2. See Sheet T1.01 for continued exit pathway beyond the building

KEYNOTES

- 1 ACCESS FROM PUBLIC WAY. APPROVAL DEFERRED TO COORDINATE WITH FRONTAGE IMPROVEMENTS
- 2 EXISTING STAIRS
- 3 EXISTING BUILDING
- 4 METAL SIDING ON NEIGHBORING BUILDING
- 5 STUCCO FINISH ON NEIGHBORING BUILDING
- 6 PROPOSED SHIPPING CONTAINER BEYOND
- 7 REMOVE GALVANIZED CHAIN LINK FENCING AND GREEN VINYL SLATS AND REPLACE WITH CORRUGATED METAL SIDING AND WOOD CAP
- 8 EXISTING 16' GATE. RE-FINISH WITH CORRUGATED METAL SIDING AND WOOD CAP
- 9 EXISTING STANDING SEAM METAL ROOF
- 10 PROPERTY LINE
- 11 4X4 METAL POST
- 12 2X8 CEE GIRT
- 13 CORRUGATED METAL ROOFING
- 14 EXISTING 5 1/2" THICK CONCRETE PAD WITH #5 BAR AT 24" O.C.E.W.
- 15 EXISTING EXTERIOR WALL SCONCE TO REMAIN



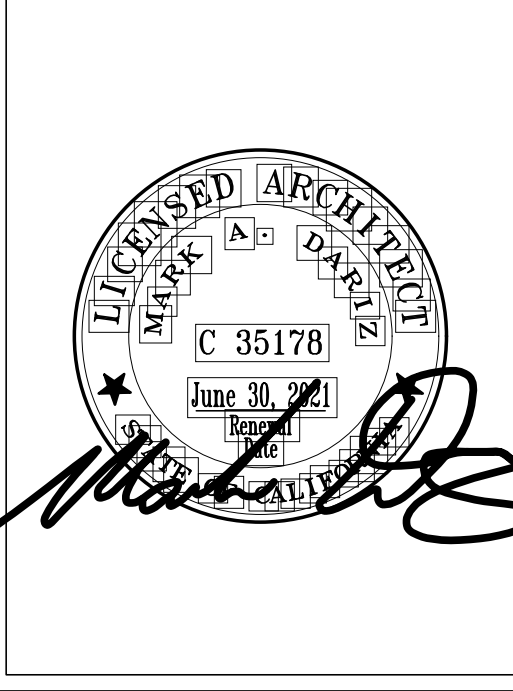
Drawings prepared by:

Design Solutions

3357 Rio Delo, Atascadero, CA 93422
(805) 462-9488

COPYRIGHT ©: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.



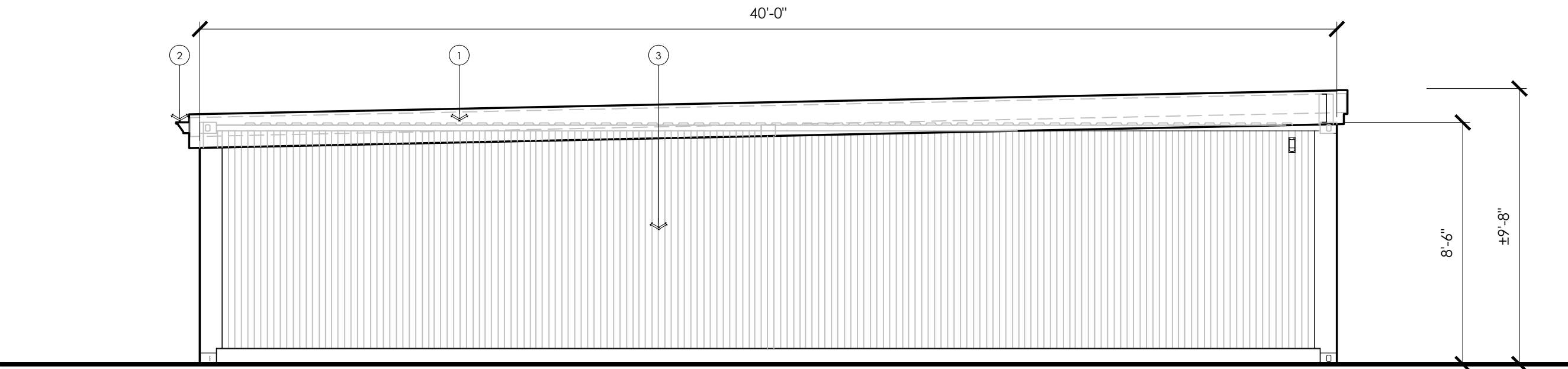
CONSTRUCTION
DRAWINGS

1680 El Camino Real
Atascadero, CA 93422

APN - 049-131-053

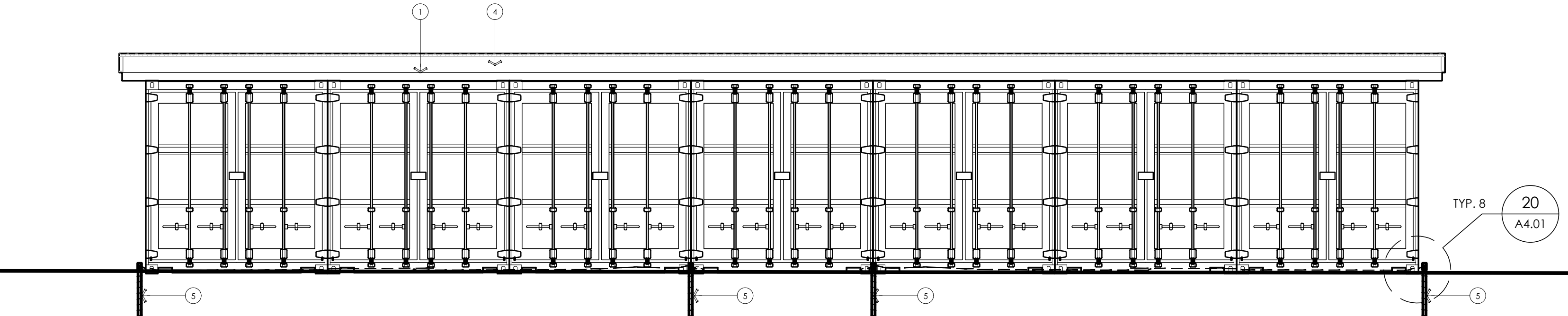
Code Compliance and
Occupancy Conversion
Elevations

No.	Revision	Date
1	Plan check corrections	10/19/19
2	-	-
3	-	-
Project Manager		
mark dariz		
Drawn by	Checked by	
md	ct	
Date	Feb. 17, 2020	
CAD file		
Job Number		
2170903		
Sheet		
A3.01		



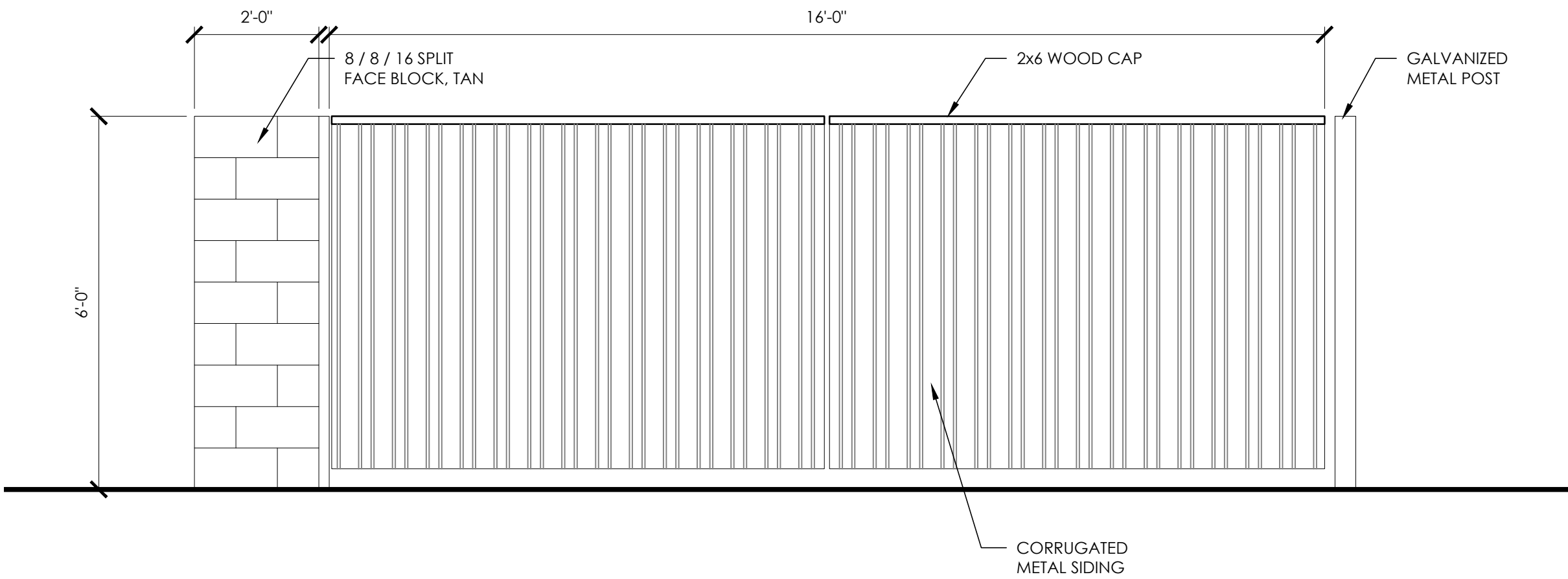
STORAGE BUILDING EAST ELEVATION (WEST ELEVATION, SIMILAR)

1/2" = 1'-0"



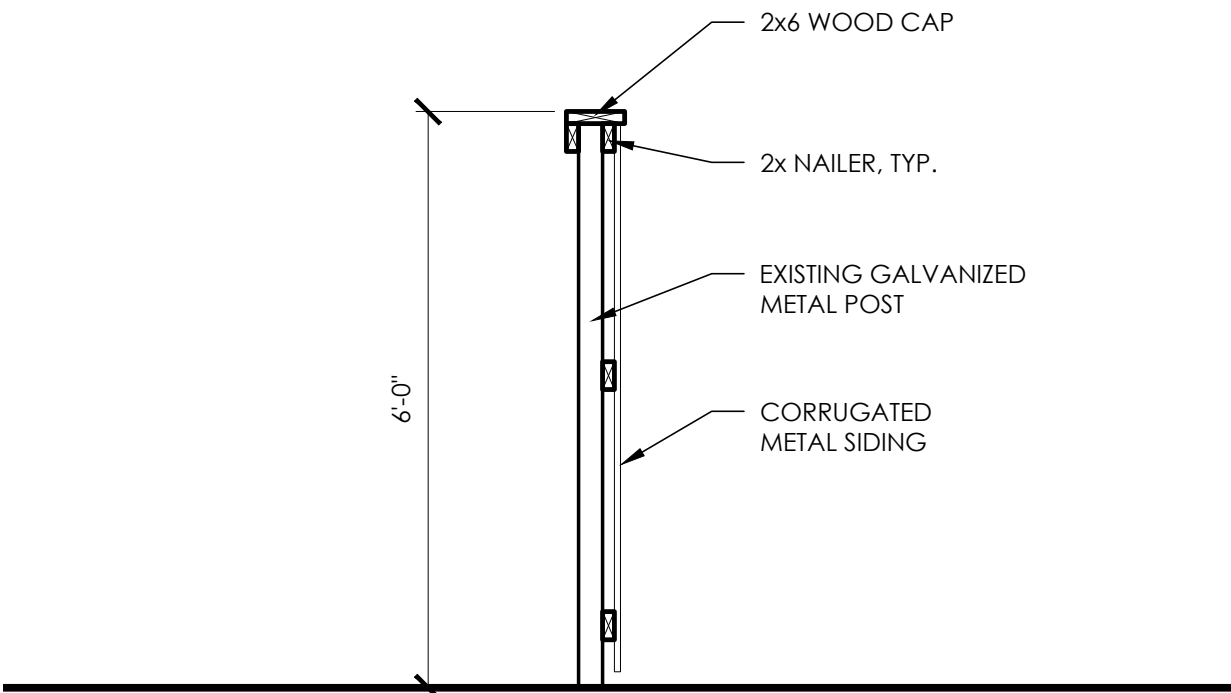
STORAGE BUILDING NORTH ELEVATION

1/2" = 1'-0"



TRASH ENCLOSURE

1/2" = 1'-0"



FENCE CROSS SECTION

1/2" = 1'-0"

GENERAL NOTES

1. All gates and exit doors shall be equipped with panic hardware
2. See Sheet T1.01 for continued exit pathway beyond the building

KEYNOTES

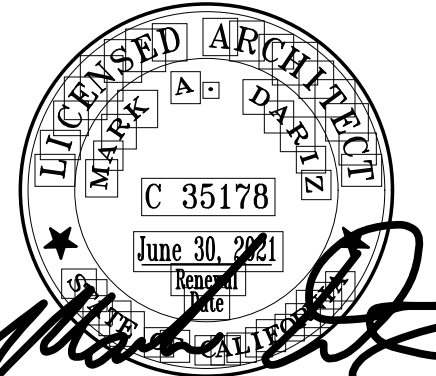
- 1 14" FASCIA, PAINTED MATCH TRIM COLOR ON ADJACENT BUILDINGS
- 2 RAIN GUTTER, PAINTED MATCH TRIM COLOR ON ADJACENT BUILDINGS
- 3 SHIPPING CONTAINER SIDE, PAINT TO MATCH EXISTING ADJACENT BUILDINGS
- 4 CORRUGATED METAL ROOFING
- 5 36" "HELICOIL" ANCHOR WITH CABLE THROUGH SHIPPING CONTAINER ANCHOR CASTINGS

Drawings prepared by:

Design Solutions
3357 Rio Delo, Atascadero, CA 93422
(805) 462-9488

COPYRIGHT ©: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.



CONSTRUCTION
DRAWINGS

1680 El Camino Real
Atascadero, CA 93422

APN - 049-131-053

Code Compliance and
Occupancy Conversion

Elevations

No.	Revision	Date
1	Plan check corrections	10/19/19
2	-	-
3	-	-

Project Manager	
mark dariz	
Drawn by	Checked by
md	ct
Date	Feb. 17, 2020
CAD file	

Job Number	2170903
------------	---------

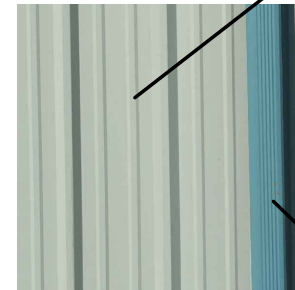
Sheet
A3.02



Western Redbud Tree



Ceanothus brush



Existing Building Sample

Sherwin Williams
SW6206 - Oyster Bay



Sherwin Williams
SW6494 - Lakeshore



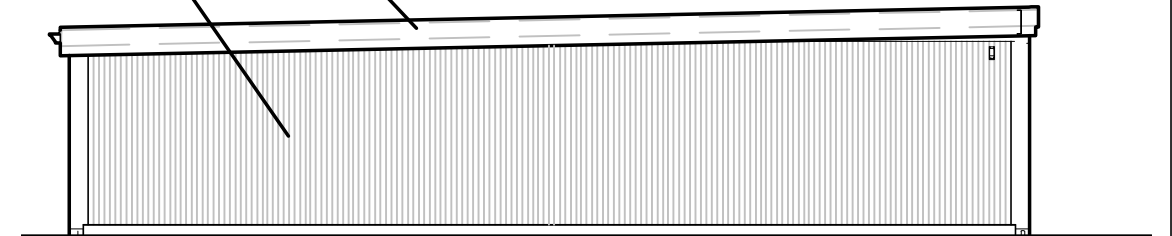
Fascia trim color to match trim color on neighbor's building

Main body color to match main building color on neighbor's building



Existing Office and Neighboring Buildings

Office building colors to remain unchanged



Proposed "Sea-Train" Storage Building

*Design
Solutions*

3357 rio lado, atascadero, ca
(805) 462-9488

Oct. 19, 2019

2170903

Carlson Code Compliance & Occupancy Conversion

Color Board

1680 El Camino Real
Atascadero, CA 93422 md