



CITY OF ATASCADERO PLANNING COMMISSION AGENDA

**Regular Meeting
Tuesday, May 19, 2015 – 7:00 P.M.**

**Historic City Hall Council Chambers
6500 Palma Avenue, 4th Floor (*Enter on Lewis Ave./Jr. High School Side*)
Atascadero, California 93422**

CALL TO ORDER

Pledge of Allegiance

Roll Call: Chairperson Mark Dariz
Vice Chairperson Jan Wolff
Commissioner David Bentz
Commissioner Duane Anderson
Commissioner Jerel Seay
Commissioner Charles Bourbeau
Commissioner Dennis Schmidt

APPROVAL OF AGENDA

PUBLIC COMMENT

*(This portion of the meeting is reserved for persons wishing to address the Commission on any matter not on this agenda and over which the Commission has jurisdiction. Speakers are limited to **three minutes**. Please state your name for the record before making your presentation. The Commission may take action to direct the staff to place a matter of business on a future agenda.)*

PLANNING COMMISSION BUSINESS



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CONSENT CALENDAR

(All items on the consent calendar are considered to be routine and non-controversial by City Staff and will be approved by one motion if no member of the Commission or public wishes to comment or ask questions.)

1. APPROVAL OF DRAFT ACTION MINUTES OF MAY 5, 2015

COMMUNITY DEVELOPMENT STAFF REPORTS

2. PLN 2015-1550, TREE REMOVAL PERMIT FOR 8405 EL CAMINO REAL (LEMONS FEED & PET SUPPLY)

Property Owner/Applicant:	Michael Lemos, 2527 Los Berros Rd., Arroyo Grande, CA 93420
Certified Arborist:	Jeremy Lowney, PO Box 13521, San Luis Obispo, CA 93406
Project Title:	PLN 2015-1550 / TRP 2015-0185
Project Location:	8405 El Camino Real, Atascadero CA 93422 (San Luis Obispo County) APN: 030-511-003
Project Description:	The project consists of an application to remove one native tree due to the hazardous nature of the tree, based on findings and subject to mitigation monitoring. General Plan Designation: General Commercial (GC) Zoning District: Commercial Retail (CR)
Staff Recommendation:	The Planning Commission approve PC Resolution allowing the removal of subject to conditions of approval and mitigation.

PUBLIC HEARINGS

DISCLOSURE OF EX PARTE COMMUNICATIONS:

Prior to a project hearing Planning Commission Members must disclose any communications they have had on any quasi-judicial agenda items. This includes, but is not limited to, Tentative Subdivision Maps, Parcel Maps, Variances, Conditional Use Permits, and Planned Development Permits. This does not disqualify the Planning Commission Member from participating and voting on the matter, but gives the public and applicant an opportunity to comment on the ex parte communication.

(For each of the following items, the public will be given an opportunity to speak. After a staff report, the Chair will open the public hearing and invite the applicant or applicant’s representative to make any comments. Members of the public will be invited to provide testimony to the Commission following the applicant. Speakers should state their name for the record and can address the Commission for three minutes. After all public comments have been received, the public hearing will be closed, and the Commission will discuss the item and take appropriate action(s).)

3. PLN 2014-1524, WIRELESS CELLULAR COMMUNICATIONS TOWER AT 9685 MORRO ROAD

Property Owner/Applicant:	Cornerstone Community Church, 7920 Santa Rosa Road, Atascadero, CA 93422 Represented by: Tricia Knight for TEK Consulting , 123 Seacliff Dr., Pismo Beach, CA 93449
Project Title:	Wireless Cellular Communications Tower at 9685 Morro Road – PLN-2014-1524 / CUP-2014-0283
Project Location:	9685 Morro Road, Atascadero, CA 93422 (San Luis Obispo County) APN: 054-151-031
Project	Applicant is requesting a conditional use permit (CUP) for a new Verizon Unmanned



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Description:	<p>Telecommunications Wireless Facility. The project consists of a 100 square foot (sf) antenna lease area, 503 sf equipment lease area, two GPS antennas, and a generator. The project will also include a new electrical meter mounted on a new wall, a 45 foot faux church tower, twelve new six (6') feet tall antennas. Additional equipment includes:</p> <p style="padding-left: 40px;">New Verizon Wireless 9'0 Tall CMU Wall</p> <p style="padding-left: 40px;">New Verizon Wireless Outdoor Equipment on a 180 sf Concrete Pad</p> <p>The project requires further environmental review consistent with the California Environmental Quality Act (CEQA) based on aesthetics, air quality, hydrology/water quality, and noise.</p> <p>Zoning: Public (P)</p> <p>General Plan Designation: Public (P)</p>
Proposed Environmental Determination:	<p>Based on the Initial Study prepared for the project, a Mitigated Negative Declaration is proposed. The Mitigated Negative Declaration is available for public review from 4/28/2015 through 5/17/15 at 6500 Palma Avenue, Community Development Department from 8:30 a.m. to 5:00 p.m. Monday through Thursday.</p>
Staff Recommendation:	<p>The DRC recommends to the Planning Commission adoption of Draft Resolution PC 2015-A certifying Mitigated Negative Declaration 2015-0004 and approving Conditional Use Permit (CUP) 2014-0283 and height waiver based on findings and subject to mitigation monitoring and conditions.</p>

PUBLIC HEARINGS

DISCLOSURE OF EX PARTE COMMUNICATIONS:

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(For each of the following items, the public will be given an opportunity to speak. After a staff report, the Chair will open the public hearing and invite the applicant or applicant’s representative to make any comments. Members of the public will be invited to provide testimony to the Commission following the applicant. Speakers should state their name for the record and can address the Commission for three minutes. After all public comments have been received, the public hearing will be closed, and the Commission will discuss the item and take appropriate action(s).)

4. PLN 2014-1522, 86-UNIT MULTI-FAMILY APARTMENT COMPLEX AT 10785 EL CAMINO REAL AND 9355 AVENIDA MARIA (CORPORATION FOR BETTER HOUSING)

Applicant:	Corp for Better Housing, 5947 Variel Ave., Woodland Hills, CA 91367
Property Owner:	9355 Avenida Maria LLC, 5947 Variel Avenue, Woodland Hills, CA 91367-5111
Project Title:	Atascadero Family Apartments – 86 Unit Multi-Family Apartment Complex PLN 2014-1522 / CUP 2015-0288 / TRP 2015-0181
Project Location:	10785 El Camino Real, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-020 9355 Avenida Maria, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-021
Project	The project consists of an application for an 86 unit affordable housing, multi-family development to be built in two phases. The project area is approximately 3.9 acres with a slope of



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Description:	<p>2.5% in a northwestern direction away from El Camino Real. Currently, the site is partially developed with one vacant single-family residence that will be demolished as a part of the proposed project.</p> <p>The applicant is proposing the following as a part of the proposed project:</p> <ul style="list-style-type: none"> • 86 total apartment units including a mix of 1, 2, 3 and 4 bedroom apartments; • Two corridor style buildings 2-stories in height (24-feet) with two (2) 32-foot tall mechanical / staircase shafts with decorative architectural features; • One (1) corridor style building 3-stories in height (37-feet, 4-inches) with two (2) 43-foot tall mechanical / staircase shafts with decorative architectural features; • A total of 157 parking spaces; 86 spaces covered / 71 uncovered; • Solar panels to be utilized on top of carports to provide alternative energy sources, consistent with the City’s Climate Action Plan; • Proposed construction and materials to utilize US Green Building Council methodology to obtain Leadership in Energy & Environmental Design (LEED) certified platinum; • On-site recreational amenities including tot-lot, basketball court, outdoor eating areas; • On-site management is proposed including full-time manager (non-care taker type); • On-site social services programs available for residents only through the use of two (2) recreational rooms; • Proposed landscaping plan including use of drought tolerant native plants • Preservation of 46 on-site native trees, including critical blue oak woodland; • Removal of 21 on-site native trees to allow for proposed improvements including buildings, parking lots, and road improvements. <p>General Plan Designation: HDR Zoning District: RMF-20</p>
Proposed Environmental Determination:	<p>Based on the Initial Study prepared for the project, a Mitigated Negative Declaration is proposed. The Mitigated Negative Declaration is available for public review from 4/28/15 through 5/17/15 at 6500 Palma Ave., Community Development Department from 8:30 a.m. to 5:00 p.m. Monday through Thursday.</p>
Staff Recommendation:	<p>The Planning Commission recommend to the City Council adoption of Draft Resolution PC 2015-A certifying Mitigated Negative Declaration 2015-0002 and approving Conditional Use Permit (CUP) 2015-0288 based on findings and subject to mitigation monitoring and conditions.</p> <p>The Planning Commission recommend to the City Council adoption of Draft Resolution PC 2015-B, approving a State Density Bonus with a maximum of three (3) developer incentives in exchange for a minimum of 9 units set aside for a minimum of 55 years to households earning less than 50% of Area Median Income (AMI), which is considered very-low income.</p>

COMMISSIONER COMMENTS AND REPORTS

DIRECTOR’S REPORT

ADJOURNMENT

The next regular meeting will be on June 2, 2015 at City Hall Council Chambers, 6500 Palma Avenue, Atascadero.

Please note: Should anyone challenge in court any proposed development entitlement listed on this Agenda, that person may be limited to raising those issues addressed at the public hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, this public hearing.



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*City of Atascadero***WELCOME TO THE ATASCADERO PLANNING COMMISSION MEETING**

The Planning Commission meets in regular session on the first and third Tuesday of each month at 7:00 p.m. at City Hall, Council Chambers, 6500 Palma Avenue, Atascadero. Matters are considered by the Commission in the order of the printed Agenda.

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the office of the Community Development Department and are available for public inspection during City Hall business hours at the Front Counter of City Hall, 6500 Palma Avenue, Atascadero, and on our website, www.atascadero.org. All documents submitted by the public during Commission meetings that are either read into the record or referred to in their statement will be noted in the minutes and available for review in the Community Development Department. Commission meetings are audio recorded, and may be reviewed by the public. Copies of meeting recordings are available for a fee. Contact the City Clerk for more information (470-3400).

In compliance with the Americans with Disabilities Act, **if you need special assistance to participate in a City meeting or other services offered by this City**, please contact the City Manager's Office or the City Clerk's Office, both at (805) 470-3400. Notification at least 48 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

TO SPEAK ON SUBJECTS NOT LISTED ON THE AGENDA

Under Agenda item, "PUBLIC COMMENT", the Chairperson will call for anyone from the audience having business with the Commission to approach the lectern and be recognized.

1. Give your name for the record (not required)
2. State the nature of your business.
3. All comments are limited to 3 minutes.
4. All comments should be made to the Chairperson and Commission.
5. No person shall be permitted to make slanderous, profane or negative personal remarks concerning any other individual, absent or present.

This is when items not on the Agenda may be brought to the Commission's attention. A maximum of 30 minutes will be allowed for Public Comment Portion (unless changed by the Commission).

TO SPEAK ON AGENDA ITEMS (from Title 2, Chapter 1 of the Atascadero Municipal Code)

Members of the audience may speak on any item on the agenda. The Chairperson will identify the subject, staff will give their report, and the Commission will ask questions of staff. The Chairperson will announce when the public comment period is open and will request anyone interested to address the Commission regarding the matter being considered to step up to the lectern. If you wish to speak for, against or comment in any way:

1. You must approach the lectern and be recognized by the Chairperson.
2. Give your name (not required).
3. Make your statement.
4. All comments should be made to the Chairperson and Commission.
5. No person shall be permitted to make slanderous, profane or negative personal remarks concerning any other individual, absent or present.
6. All comments limited to 3 minutes.

If you wish to use a computer presentation to support your comments, you must notify the Community Development Department at 470-3402 at least 24 hours prior to the meeting. Digital presentations brought to the meeting should be on a USB drive or CD. You are required to submit to the Recording Secretary a printed copy of your presentation for the record. Please check in with the Recording Secretary before the meeting begins to announce your presence and turn in the printed copy.

The Chairperson will announce when the public comment period is closed, and thereafter, no further public comments will be heard by the Commission.



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ITEM NUMBER: 1

DATE: 5-19-15

CITY OF ATASCADERO PLANNING COMMISSION

DRAFT ACTION MINUTES

**Regular Meeting – Tuesday, May 5, 2015 – 7:00 P.M.
City Hall Council Chambers
6500 Palma Avenue, Atascadero, California**

CALL TO ORDER - 7:00 p.m.

Chairperson Dariz called the meeting to order at 7:00 p.m. and Commissioner Anderson led the Pledge of Allegiance.

ROLL CALL

Present: Commissioners Anderson, Bentz, Seay, Bourbeau, and Schmidt, and Chairperson Dariz

Absent: Vice Chairperson Wolff (excused)

Others Present: Recording Secretary, Annette Manier

Staff Present: Interim Community Development Director, Robert Lewis
Assistant Planner, Alfredo Castillo
Contract Planner, Katie Banister

APPROVAL OF AGENDA

MOTION: By Commissioner Bentz and seconded by Commissioner Bourbeau to approve the Agenda.

Motion passed 6:0 by a roll-call vote.

PUBLIC COMMENT

None

Chairperson Dariz closed the Public Comment period.

PLANNING COMMISSION BUSINESS

None

CONSENT CALENDAR

1. APPROVAL OF DRAFT ACTION MINUTES OF MARCH 3, 2015
2. APPROVAL OF DRAFT ACTION MINUTES OF APRIL 21, 2015

MOTION: By Commissioner Bentz and seconded by Commissioner Anderson to approve the consent calendar.

Motion passed 6:0 by a roll-call vote.

COMMUNITY DEVELOPMENT STAFF REPORTS

3. PLN 2015-1537 TREE REMOVAL PERMIT FOR 3861 ARDILLA

Property Owner:	Darin M. Reichwein, 8255 Azucena Ave, Atascadero, CA 93422
Applicant:	Phil Nisbet, 4560 Nogales Ave., Atascadero, CA 93422
Certified Arborist:	Chip Tamagni, PO Box 1311, Templeton, CA 93465
Project Title:	PLN 2015-1537 / PPN 2015-0261 / TRP 2015-0180 Construct a single-family dwelling with an underfloor garage that will require grading for the driveway and building pad, and the removal of native trees.
Project Location:	3861 Ardilla Road, Atascadero CA 93422 (San Luis Obispo County) APN: 054-013-025
Project Description:	The project consists of an application to construct a 2,807 square foot (SF) single-family home with a 2,800 SF underfloor garage/storage area. A septic system and 12-foot-wide asphalt driveway will be included. The project will result in an increase of 13,862 SF of impervious surface. The 1.7 acre flag lot has a natural grade ranging from 8-24%. The proposed building pad has a natural grade of 10-20%. The steepest area is the southwestern corner, which is largely covered with live oak and black walnut trees. The gentlest slopes are in the south near Ardilla Road. The project will require approximately 760 cubic yards of cut and 700 cubic yards of fill. The property has approximately 50 native trees, nine (9) of which are proposed for removal. General Plan Designation: SFR-Z Zoning District: RSF-Z
Staff Recommendation:	The Planning Commission approve PC Resolutions certifying the Mitigated Negative Declaration for proposed development of the property; and allowing the removal of four (4) black walnut trees totaling 16-inches DBH, and five (5) live oak trees totaling 81-inches DBH subject to conditions of approval and mitigation.

EX PARTE COMMUNICATIONS

Commissioners reported that they received emails from Shawn Pan (Exhibit A) and Linda Foley (Exhibit B).

Commissioner Bourbeau visited the property from Mr. Lochridge's side of the fence.

Commissioner Bentz received a phone call from Dennis Lochridge and he encouraged him to come to the meeting tonight. He also walked the property.

Commissioner Schmidt received a phone call.

Vice Chairperson Dariz received the same phone call, and he did visit Mr. Lochridge's property and spoke with him about his concerns.

Commissioner Seay received a phone call, but didn't talk with anyone. He did drive to the site and to look at it.

Contract Planner Banister gave the staff report and she and Assistant Planner Castillo answered questions from the Commission and addressed questions in regards to Exhibit A and Exhibit B.

PUBLIC COMMENT

The following members of the public spoke during public comment: Phil Nisbet (representing property owner), Dennis Lochridge who distributed photos to the Commission for the record (Exhibit C), Len Johnson, and Darren Reichwein.

Chairperson Dariz closed the Public Comment period.

Commissioner Schmidt encouraged the property owner to talk to neighbors in regards to a mutual solution on location of the SFR and screening trees; both parties agreed.

Chairperson Dariz re-opened the Public Comment period.

PUBLIC COMMENT

The following members of the public spoke during public comment: Darren Reichwein and Dennis Lochridge.

Chairperson Dariz closed the Public Comment period.

MOTION: By Commissioner Bentz and seconded by Commissioner Schmidt to approve PC Resolution 2015-0011 certifying Mitigated Negative Declaration #2015-

0003 for PPN 2015-0261 for the development of a single-family home at 3861 Ardilla on APN 054-013-025 subject to mitigation measures and conditions of approval with a *change to Exhibit A (Mitigation Measures) on Page 62 of the staff report adding to Mitigation Measure 6.b.2 to be worded as such: *The contractor will be responsible for the clean-up of any mud or debris that is tracked onto public streets and neighbors' properties by construction vehicles.**

Motion passed 6:0 by a roll-call vote.

MOTION: By Commissioner Bentz and seconded by Commissioner Schmidt to approve PC Resolution 2015-0012 to allow the removal of nine native trees (four California black walnut and five live oak trees) totaling 97-inches dbh to allow for the development of a SFR at 3861 Ardilla Road on APN 054-013-025 subject to conditions of approval and mitigation monitoring.

Motion passed 6:0 by a roll-call vote.

PUBLIC HEARINGS

4. PLN 2014-1519 MASTER PLAN OF DEVELOPMENT AMENDMENT FOR 9105, 9107 AND 9109 PRINCIPAL AND 9300 PINO SOLO (OASIS ASSOC.)

Property Owner/Applicant:	Principal Partners LLP, 555 Ramona Dr., San Luis Obispo, CA 93401 Oasis Associates, 3427 Miguelito Ct, San Luis Obispo, CA 93401
Project Title:	Principal Mixed-Use Master Plan of Development Amendment, PLN 2014-1519 / TTM 2014-0107 / CUP 2003-0117
Project Location:	9105, 9107, & 9109 Principal, Atascadero CA 93422 (San Luis Obispo County) APN: 030-491-013, 030-491-020, 030-491-019 9300 Pino Solo Ave, Atascadero CA 93422 (San Luis Obispo County) APN: 030-491-001
Project Description:	The project consists of an Amendment to a previously approved mixed-use project. The applicant is proposing revisions to the approved Master Plan of Development that includes the following: <ul style="list-style-type: none"> • 32 small lot single-family residential units; • 3,215 square foot (SF) 1st floor office area as a part of a mixed-use building(s)' • Five (5) 2nd floor residential units as a part of a mixed-use building(s); and • One (1) 1,645 sf drive-through carwash. Development includes a total of 37 residential units and 4,860 SF of non-residential (commercial)

	<p>space. The project site is approximately 5.4 acres with slopes varying from 0-20%; the steepest slopes occurring at 9300 Pino Solo and on the west border of the property. Currently, there are two vacant single-family residences on-site. These single family residences are not of historical value and the applicant is proposing to demolish these structures. All existing on-site structures and utilities will be removed. The property has 19 mature oak trees that will be preserved as a part of the proposed development. Six trees are proposed for removal as a part of the revised project.</p> <p>General Plan Designation: Medium Density Residential (MDR) / General Commercial (GC) Zoning District: Residential Multi-Family (RMF-10)/Planned Development (PD-24)/Commercial Retail (CR)</p>
Proposed Environmental Determination:	<p>Based on the Initial Study prepared for the project, a Mitigated Negative Declaration is proposed. The Mitigated Negative Declaration is available for public review from 4/8/15 through 5/7/15 at 6500 Palma Avenue, Community Development Department from 8:30 a.m. to 5:00 p.m. Monday through Thursday, and also available on our website at www.atascadero.org/environmental_docs.</p>
Staff Recommendation:	<p>Planning Commission recommend to the City Council adopt the following resolutions:</p> <ol style="list-style-type: none"> 1. Adopt Resolution PC 2015-A, recommending to the City Council adoption and to certify Mitigated Negative Declaration 2015-0001; and 2. Adopt Resolution PC 2015-B, recommending to the City Council approval of Zone Text Amendments an adopted Planned Development Overlay Zone (PD-24); 3. Adopt Resolution PC 2015-C, recommending to the City Council approval of amendments to Conditional Use Permit 2003-0117 (Master Plan of Development) based on findings and subject to Conditions of Approval and Mitigation Monitoring; and, 4. Adopt Resolution PC 2015-D recommending to the City Council approval of Tentative Subdivision Map (TTM) 2014-0107, based on findings and subject to Conditions of Approval and Mitigation Monitoring.

EX PARTE COMMUNICATIONS

Commissioners reported that they received an email from Carol Florence (Exhibit D).

Commissioner Bourbeau briefly spoke with Carol Florence prior to the meeting, and visited the site.

Commissioner Seay spoke to no one, and drove by the site.

Commissioners Anderson and Vice Chairperson Dariz reviewed this project at the DRC level.

Commissioner Schmidt spoke with the applicant's representative on the phone.

Commissioner Bentz spoke to no one, and completely walked the site.

Assistant Planner Castillo gave the staff report and answered questions from the Commission.

PUBLIC COMMENT

The following members of the public spoke during public comment: Carol Florence, Lynn Arlen, Robyn Sabersky, and Steve Churchill. Ms. Florence answered questions from the Commission.

Chairperson Dariz closed the public comment period.

MOTION: By Commissioner Bourbeau and seconded by Commissioner Bentz to adopt PC Resolution 2015-A recommending that the City Council certify proposed Mitigated Negative Declaration 2015-0001/Zone Change 2004-0083, TTM 2014-0107 and CUP 2003-0117 on APN 030-491-001, 013, 019, 020, at 9105 Principal Ave, based on findings and subject to conditions of approval and mitigation monitoring.

Motion passed 6:0 by a roll-call vote.

MOTION: By Commissioner Bourbeau and seconded by Commissioner Bentz to adopt PC Resolution 2015-B recommending to the City Council approval of Amendments to PD Overlay District #24 for consistency with an amended Master Plan of Development and Vesting Tentative Subdivision Map on APN 030-491-001, 013, 019, 020, at 9105 Principal based on findings and subject to conditions of approval and mitigation monitoring.

Motion passed 6:0 by a roll-call vote.

MOTION: By Commissioner Bourbeau and seconded by Commissioner Bentz to adopt PC Resolution 2015-C recommending to the City Council an Amendment of CUP 2003-0117 (Master Plan of Development) on APN 030-491-001, 013, 019, 020 at 9105 Principal Ave., based on findings and subject to conditions of approval and mitigation monitoring.

Motion passed 6:0 by a roll-call vote.

MOTION: By Commissioner Bourbeau and seconded by Commissioner Bentz to adopt PC Resolution 2015-D approving a Tentative Subdivision Map 2014-0107, an approval of a 40-lot subdivision consistent with a Master Plan of Development on APN 030-491-001, 013, 019, 020, at 9105 Principal based on findings and subject to conditions of approval and mitigation monitoring.

Motion passed 6:0 by a roll-call vote.

COMMISSIONER COMMENTS AND REPORTS

Interim Director Lewis answered a question from Commissioner Bourbeau in regards to the first item on the agenda (Ardilla), and then had a discussion with all Commissioners in regards to this item.

DIRECTORS REPORT

Interim Director Lewis gave an update on the future Planning Commission hearings, the City Council Visioning session, and the sign symposium.

ADJOURNMENT – 9:45 p.m.

The next regular meeting of the Planning Commission is scheduled for **May 19, 2015**, at 7:00 p.m. at City Hall, Council Chambers, 6500 Palma Avenue, Atascadero.

MINUTES PREPARED BY:

Annette Manier, Recording Secretary

The following exhibits are available in the Community Development Department:

- Exhibit A – Email from Shawn Pan
- Exhibit B – Email from Linda Foley
- Exhibit C – Pictures from Dennis Lochridge
- Exhibit D – Email from Carol Florence



ITEM NUMBER: 2

DATE: 5-19-15

Atascadero Planning Commission

Staff Report – Community Development Department

Alfredo Castillo, AICP, Assistant Planner, 470-3436, acastillo@atascadero.org

Nichole Garner, Planning Intern, 470-3464, ngarner@atascadero.org

PLN 2015-1550 Tree Removal Permit 2015-0185 8405 El Camino Real – Lemos Tree Removal

SUBJECT:

An applicant is requesting the removal of one (1) native tree in the parking lot between Lemos Feed & Pet Supply at 8405 El Camino Real and the adjacent Car Wash. The proposed tree removal is a Coast Live Oak with 28-inches DBH.

RECOMMENDATION:

Staff Recommends:

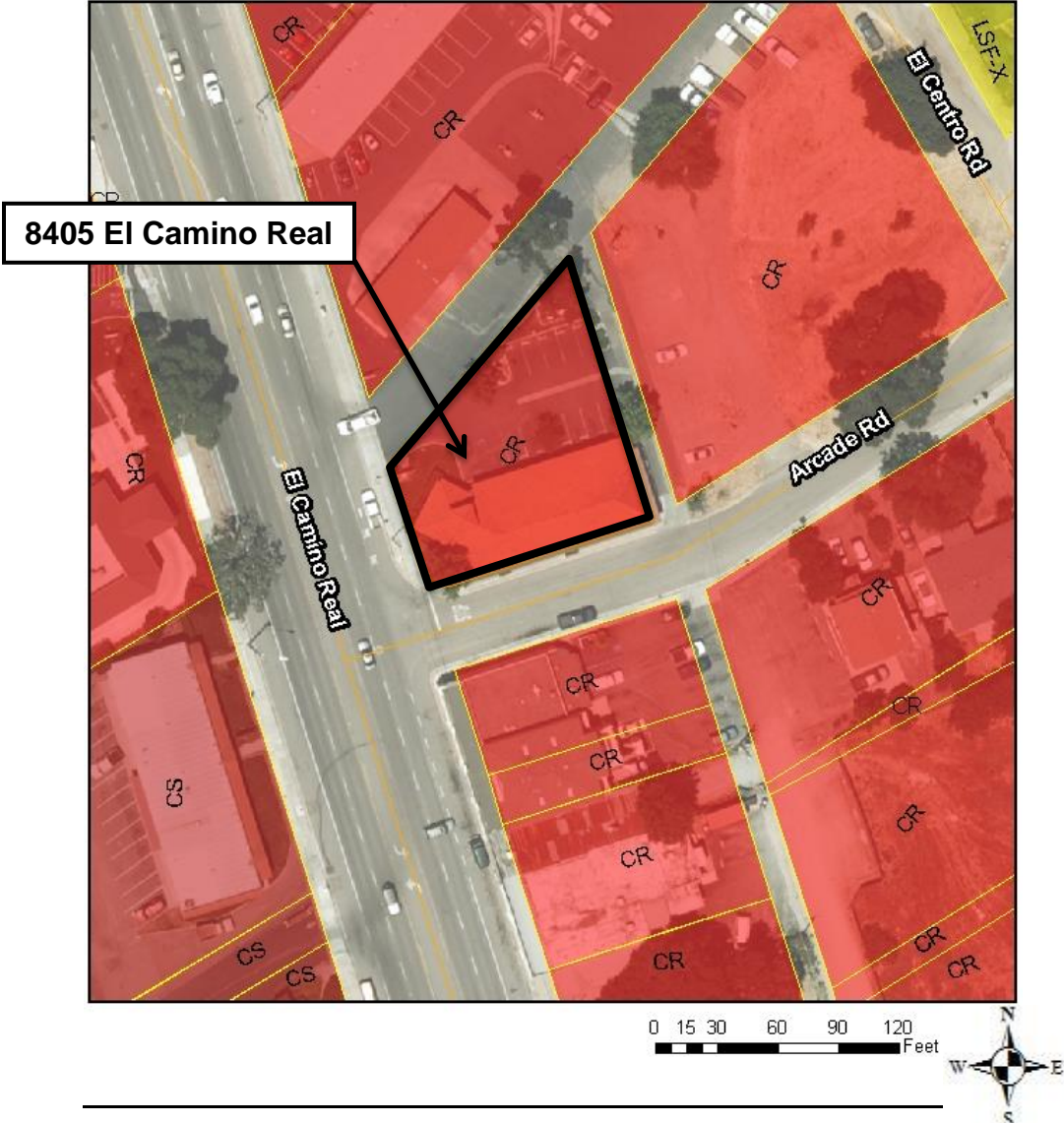
The Planning Commission adopt Resolution PC 2015-A to allow the removal of one (1) native tree due to the hazardous nature of the tree, based on findings and subject to mitigation monitoring.

Situation and Facts:

1. Property Owner / Applicant: Michael Lemos
Lemos Feed & Pet Supply
2527 Los Berros Road
Arroyo Grande, CA 93420
2. Project Address: 8405 El Camino Real (APN 030-511-003)
Atascadero, CA 93422
3. Certified Arborist: Jeremy Lowney
Solid Oak Tree Management
PO Box 13521
San Luis Obispo, CA 93406
4. General Plan Designation: General Commercial (GC)

- 5. Zoning District: Commercial Retail (CR)
- 6. Site Area: Approximately 0.26 acres
- 7. Existing Use: Lemos Feed & Pet Supply

Project Location Map



Surrounding Zoning / General Plan Designation
North: Commercial Retail (CR) / General Commercial (GC)
East: Commercial Retail (CR) / General Commercial (GC)
South: El Camino Real Right of Way
West: Commercial Service (CS) / Service Commercial (SC)

ANALYSIS:

The proposed tree removal is located on 8405 El Camino Real, in the Lemos Feed & Pet Supply parking lot. An application has been submitted by the owner for the removal of one (1) native Coast Live Oak to avoid potential risks associated a hazardous tree. The proposed native tree removal is for one (1) Coast Live Oak totaling 28-inches DBH.

As noted by the applicant’s arborist, Jeremy Lowney, there is a significant amount of dieback in the crown of the oak (approximately 30% or more), caused by a lack of oxygenation to the root system. This can cause the roots to decay and fail resulting in the tree toppling over. He concludes that the lack of oxygenation was caused when the root system was paved over, and therefore was not caused by the current owner (Attachment 4).

The City’s Arborist, Michael Bova, reported significant canopy decline and evidence of beetle infestation on the main trunk, therefore recommending removal as soon as possible due to the poor condition of the tree and its risk to the public (Attachment 5).

Tree Mitigation

The Atascadero Municipal Code requires mitigation for all trees approved for removal. The Tree Ordinance allows for either replanting of new native trees, or payment of mitigation fees to the tree fund.

Based on the 28-inch DBH size of the Coast Live Oak proposed for removal, ten (10) 5-gallon oak trees would be required for replanting. Equivalent box tree replanting may be done, based on recommendations from the Arborist and the City’s native tree guidelines. The applicant may choose, however, to pay a total fee of \$500.00 for removal or a combination of replanting and fees.

Evergreen Native Trees (inches)			Deciduous Native Trees (inches)			Totals
	dbh	notes		dbh	notes	
1	30-inches		1			
2			2			
3			3			
4			4			
5			5			
6			6			
Total	30-inches		Total	0-inches		30-inches
Mitigation Requirement						
req'd tree replacements:	10 five gal trees		req'd tree replacements	0 five gal trees		10 five gal trees
Proposed Replanting	0 five gal trees 0 box trees (24")		Proposed Replanting	0 five gal trees 0 box trees (24")		0 five gal trees 0 box trees (24")
Remaining Mitigation	10 five gal trees		Remaining Mitigation	0 five gal trees		10 five gal trees
Tree Fund Payment:	\$ 500.00		Tree Fund Payment:	\$ -		\$ 500.00

FINDINGS:

In considering any tree removal request, at least one of the required findings must be made. Staff has identified the following finding as appropriate for the application request.

(i) The tree is dead, diseased or injured beyond reclamation, as certified by a tree condition report from an arborist;

CONCLUSIONS:

Two certified arborists have determined that the subject one (1) 28-inch DBH Coast Live Oak is not in good health, and presents a potential hazard to persons and property. The subject tree should be removed upon approval of the resolution.

ALTERNATIVES:

1. The Commission may approve the project with additional or revised project conditions.
2. The Commission may deny the project if it is found that the required findings cannot be made. The Commission’s motion to deny must include a finding basis for denial.

ITEM NUMBER: 2

DATE: 5-19-15

3. The Commission may continue the hearing and refer the item back to staff for additional information or analysis. Direction should be given to staff and the applicant on required information.

ATTACHMENTS:

- Attachment 1 – Location Map (Zoning)
- Attachment 2 – Site Photos
- Attachment 3 – Applicant’s Arborist Report
- Attachment 4 – City’s Arborist Report
- Attachment 5 – Draft Resolution PC 2015-A

**ATTACHMENT 1: Location Map (Zoning Map)
PLN 2015-1550/TRP 2015-0185**



 **CITY OF ATASCADERO**
1 inch = 55.1 feet

**ATTACHMENT 2: Site Photos
PLN 2015-1550 / TRP 2015-0185**



Looking North toward the adjacent Car Wash



Looking West toward El Camino Real

ATTACHMENT 3: **Arborist Report**
PLN 2015-1550 / TRP 2015-0185



TO: MIKE LEMOS - LEMOS FEED
CITY OF ATASCADERO
FROM: JEREMY LOWNEY, CERTIFIED ARBORIST #3718
DATE: APRIL 20, 2015
REGARDING: OAK TREE DIAGNOSIS

This arborist report is in regard to the health of the 28" dbh Coast Live Oak (*Quercus agrifolia*) located in the parking strip between Lemos Feed at 8405 El Camino Real and the adjacent Car Wash.

As can be seen in the pictures below, there is a significant amount of dieback in the crown of the oak (approximately 30% or more). This amount of dieback clearly reflects the "below-ground" impacts to the tree.



ITEM NUMBER: 2

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Due to the excavation, paving, and curbs near or against the base of the tree from long ago, the tree has been damaged and is lacking suitable oxygenation to the root system. Paving over the root system creates an anaerobic environment – prohibiting necessary oxygen to the root system that is essential for plant health.

Root decay often creates a very hazardous situation because the canopy can be green and “alive” yet the majority of the roots have died underground and lost their strength – causing the roots to fail and the tree to topple over. It is a common occurrence and should not be ignored.

In my opinion, this is not something caused by the current landowner, was not handled well in the planning process originally (the oak roots should never have been paved over), therefore should not be the financial responsibility to my client to replant excessive numbers of trees or have to pay a penalty.

Thank you for your consideration.

Jeremy Lowney

805-431-0708 cell

QUALIFICATIONS:

Certified Arborist WC-3718

Sole Proprietor - Solid Oak Tree Management since 1998

Landscape and Tree Service Contractor (C27) #757086

Faculty, Cal Poly University, SLO. Urban Forestry – Department of Natural Resource Management

Contract Arborist, San Luis Obispo County Planning & Building Department

Certificates in Tree Risk Management and Lawsuit Prevention, Tree Appraising and Writing Technical Reports, UC Riverside Extension – Continuing Education Seminar

Bachelors of Science in Forestry and Natural Resource Management, Cal Poly, SLO

ATTACHMENT 4:	City Arborist Report PLN 2015-1550 / TRP 2015-0185
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Memorandum



To: Katie Banister, City Of Atascadero
From: Michael J. Bova, Davey Resource Group
Date: March 26, 2015
Re: Coast Live Oak at 8405 El Camino Real (Lemos)

Katie,

As requested, Davey Resource Group (DRG) has inspected the Coast Live Oak at the above location. The site is a commercial property parking lot (Lemos Feed Store) adjacent to a car wash. The inspected tree is a Coast Live Oak (*Quercus agrifolia*) and is situated in a cobblestone planter area on the eastern side of the parking lot. The tree has been declining and an emergency removal request had been made. DRG has been asked to determine if failure is imminent to warrant an emergency removal permit.

Observations:

The Coast Live Oak is situated in a non-irrigated cobblestone filled planter on mostly level ground with one parking stall and a driveway near the tree. No other landscaping was growing in the planter and the soil was completely covered in cobblestones. The tree is approximately 29 inches in diameter measured at approximately 54 inches above ground level (DBH), and is at least 45 feet in height and more than 20 feet in canopy radius. The root flare was not visible, and sucker growth was evident along the main trunk. Although there was live foliage on the branches, much of the canopy was in decline and one major leader was completely dead and decayed (Photo 1). The dead leader showed evidence of cracking as it connected to the main trunk and the column of decay clearly extended into the main trunk (Photo 2). In addition to poor canopy vigor and decline, evidence of beetle infestation was observed on the main trunk (Photo 3). Overall, the tree was rated in poor condition (30%). Although not part of the inspection, the adjacent live oak next to the car wash was in similar condition, including serious decline and extensive decay.

Conclusions

Predicting tree failure is not possible, but identifying certain characteristics that make a tree more prone to failure is a common method for evaluating a tree's condition. Based on observations from the ground and the current condition of the tree, the dead leader or the main stem is likely to fail in the near future. This is due to, in part, the obvious pockets of decay on the branches, the depth and extent of decay on dead leader and main trunk, and the potential for splitting on the main crotch. In addition, the decline in the canopy foliage and lack of vigor may be due to drought stress and will cause the tree to be more susceptible to pest problems, evidenced by the current beetle infestation. The tree will require removal as soon as possible as its spiral of decline will continue and the risk to the public will increase, but imminent whole tree or large limb failure does not appear likely as the tree is not "in the process" of failure.

Please contact me with any questions or concerns.

Michael J. Bova, Davey Resource Group
 ISA Certified Arborist, WE3372A
 ISA Tree Risk Assessment Qualified
 Registered Consulting Arborist #549



Photo 1: Showing excess canopy decline and large dead leader



Photo 2: Showing external decay and cracking in main trunk at base of dead leader



Photo 3: Showing evidence of beetle damage on main trunk

ATTACHMENT 5:	Draft Resolution PC 2015-A PLN 2015-1550/TRP 2015-0185
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DRAFT RESOLUTION NO. PC 2015-A

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF ATASCADERO APPROVING
PLN 2015-1539 / TRP 2015-0185, TO ALLOW THE REMOVAL OF ONE (1)
LIVE OAK TOTALING 28-INCHES DBH
LOCATED ON EL CAMINO REAL**

WHEREAS, an application was received from Michael Lemos of Lemos Feed & Pet Supply, 2527 Los Berros Rd, Arroyo Grande, 93420, (Property Owner) and by Jeremy Lowney, Solid Oak Tree Management, PO Box 13521, San Luis Obispo, 93406 (Arborist), for a Tree Removal Permit to remove one (1) Coast Live Oak totaling twenty-eight (28) inches DBH.

WHEREAS, the Planning Commission reviewed the proposed Tree Removal Permit application on May 19, 2015, at 7:00 p.m. and considered testimony and reports from staff, the applicants, and the public; and,

NOW THEREFORE, the Planning Commission of the City of Atascadero, California takes the following actions:

SECTION 1. Findings for tree removal. The Planning Commission finds as follows:

The tree is dead, diseased or injured beyond reclamation, as certified by a tree condition report from an arborist.

SECTION 2. Approval. The Planning Commission of the City of Atascadero, in a regular session assembled on May 19, 2015, and resolved to approve Tree Removal Permit 2015-0185, subject to the following:

- EXHIBIT A: Conditions of Approval
- EXHIBIT B: Tree Mitigation

ITEM NUMBER: 2

DATE: 5-19-15

On motion by Commissioner _____, and seconded by Commissioner _____, the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ()

NOES: ()

ABSENT: ()

ADOPTED:

ABSTAINED:

CITY OF ATASCADERO, CA

Mark Dariz
Planning Commission Chairperson

ATTEST:

Robert Lewis
Planning Commission Secretary

**EXHIBIT A: Conditions of Approval / Mitigation Monitoring
PLN 2015-1539/TRP 2015-0182**

Conditions of Approval PLN 2015-1550/TRP 2015-0185 8405 El Camino Real	Timing <small>FM: Final Map BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy</small>	Responsibility /Monitoring <small>PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney</small>
1. The approval of this application shall become final, subject to the completion of the conditions of approval, fourteen (14) days following the Planning Commission approval unless prior to the time, an appeal to the decision is filed as set forth in Section 9-1.111(b) of the Zoning Ordinance.	Tree removal	PS
2. The applicant and/or subsequent owners shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning the proposed development.	Ongoing	PS
3. The applicant shall mitigate the tree removal by replanting the number of Native Trees, pay the mitigation fee, or a combination thereof as shown in Exhibit B. Larger box trees may be substituted for five-gallon replacement trees per the Atascadero Native Tree guidelines. Native tree replanting must be completed prior to within 60-days of removal.	FO	PS / BS

ITEM NUMBER: 2

DATE: 5-19-15

Exhibit B	Native Tree Mitigation
	PLN 2015-1550/TRP 2015-0185

Evergreen Native Trees (inches)			Deciduous Native Trees (inches)			Totals
	dbh	notes		dbh	notes	
1	30-inches		1			
2			2			
3			3			
4			4			
5			5			
6			6			
Total	30-inches		Total	0-inches		30-inches
Mitigation Requirement						
req'd tree replacements:		10 five gal trees	req'd tree replacements		0 five gal trees	10 five gal trees
Proposed Replanting		0 five gal trees 0 box trees (24")	Proposed Replanting		0 five gal trees 0 box trees (24")	0 five gal trees 0 box trees (24")
Remaining Mitigation		10 five gal trees	Remaining Mitigation		0 five gal trees	10 five gal trees
Tree Fund Payment:	\$	500.00	Tree Fund Payment:	\$	-	\$ 500.00



ITEM NUMBER: 3
DATE: 5-19-15

Atascadero Planning Commission

Staff Report - Community Development Department

Alfredo R. Castillo, AICP, Assistant Planner, 470-3436, acastillo@atascadero.org
Sarah Wood, Planning Intern, 470-3480, swood@atascadero.org

**PLN 2014-1524 / CUP 2014-0283
Wireless Cellular Communications Tower
Height Waiver Exception
At 9685 Morro Road
(Cornerstone Community Church / TEK Consulting)**

RECOMMENDATION:

Design Review Committee Recommends Planning Commission:

Adopt Resolution PC 2015-A certifying mitigated negative declaration 2015-004 based on findings and approving the installation of a new wireless cellular communications tower with a height waiver for the project as it exceeds the 35-foot height limitation for the Public (P) Zone located at 9685 Morro Road, based on findings and subject to conditions of approval and mitigation monitoring.

SITUATION AND FACTS:

- 1. Applicant: TEK Consulting, 123 Seacliff Dr., Pismo Beach, CA 93449
- 2. Property Owner: Cornerstone Community Church, 9685 Morro Road, Atascadero, CA 93422
- 3. Project Address: 9685 Morro Road, Atascadero, CA 93422
(San Luis Obispo County) APN: 054-151-031
- 4. General Plan Designation: Public (P)
- 5. Zoning District: Public (P)
- 6. Site Area: 4.41 acres

7. Existing Use: Existing Church
8. Environmental Status: Proposed Mitigated Negative Declaration 2015-0004 prepared for the Wireless Communications Tower

DISCUSSION:

Background:

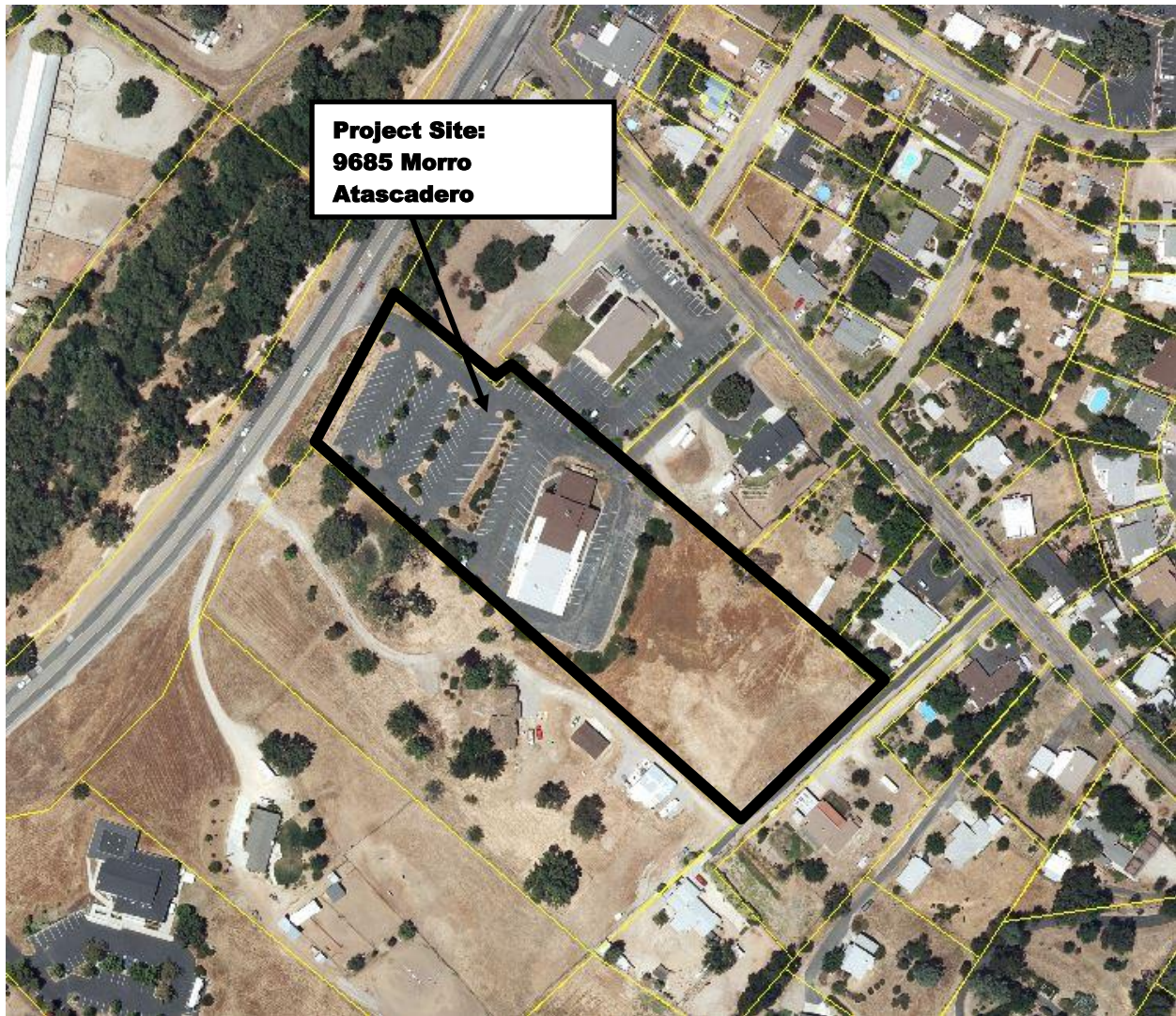
The proposed site consists of adding a wireless communications facility to an existing church site. The applicant is proposing the following:

- 45-foot tall faux tower housing a total of 12 cellular antennas on a 196 square foot (sf) pad;
- 500 sf equipment lease area adjacent to the existing church including back-up generator and other ancillary equipment enclosed by a 9-foot masonry wall;
- 12-foot wide utility easement for Verizon Wireless, LLC to access its communications facility at Morro Road (Highway 41).

Surrounding Land Use and Setting:

North: Public (P)
South: Single-Family Residential (SFR-X)
East: Single-Family Residential (SFR-X)
West: Morro Road / Highway 41

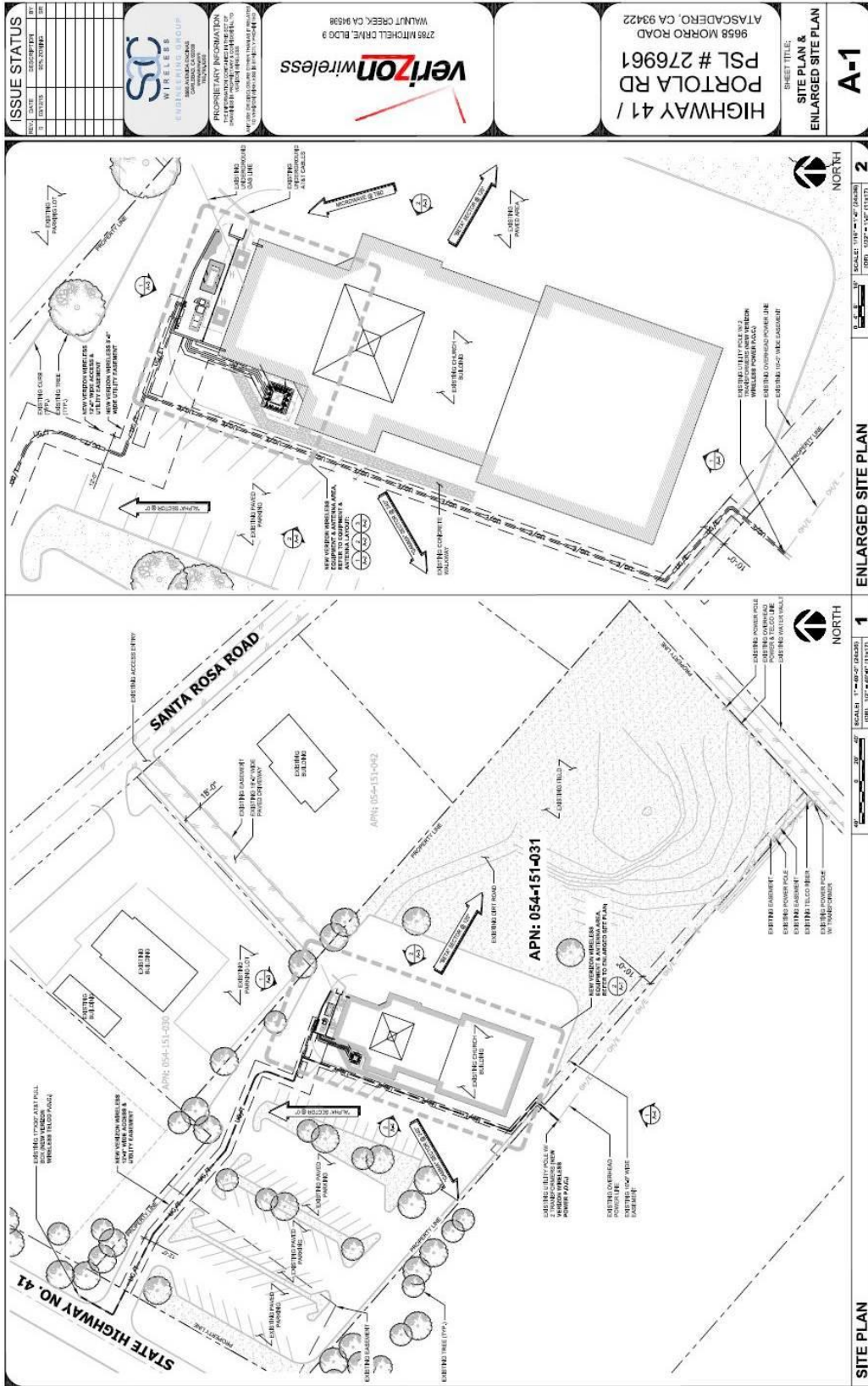
Aerial Map



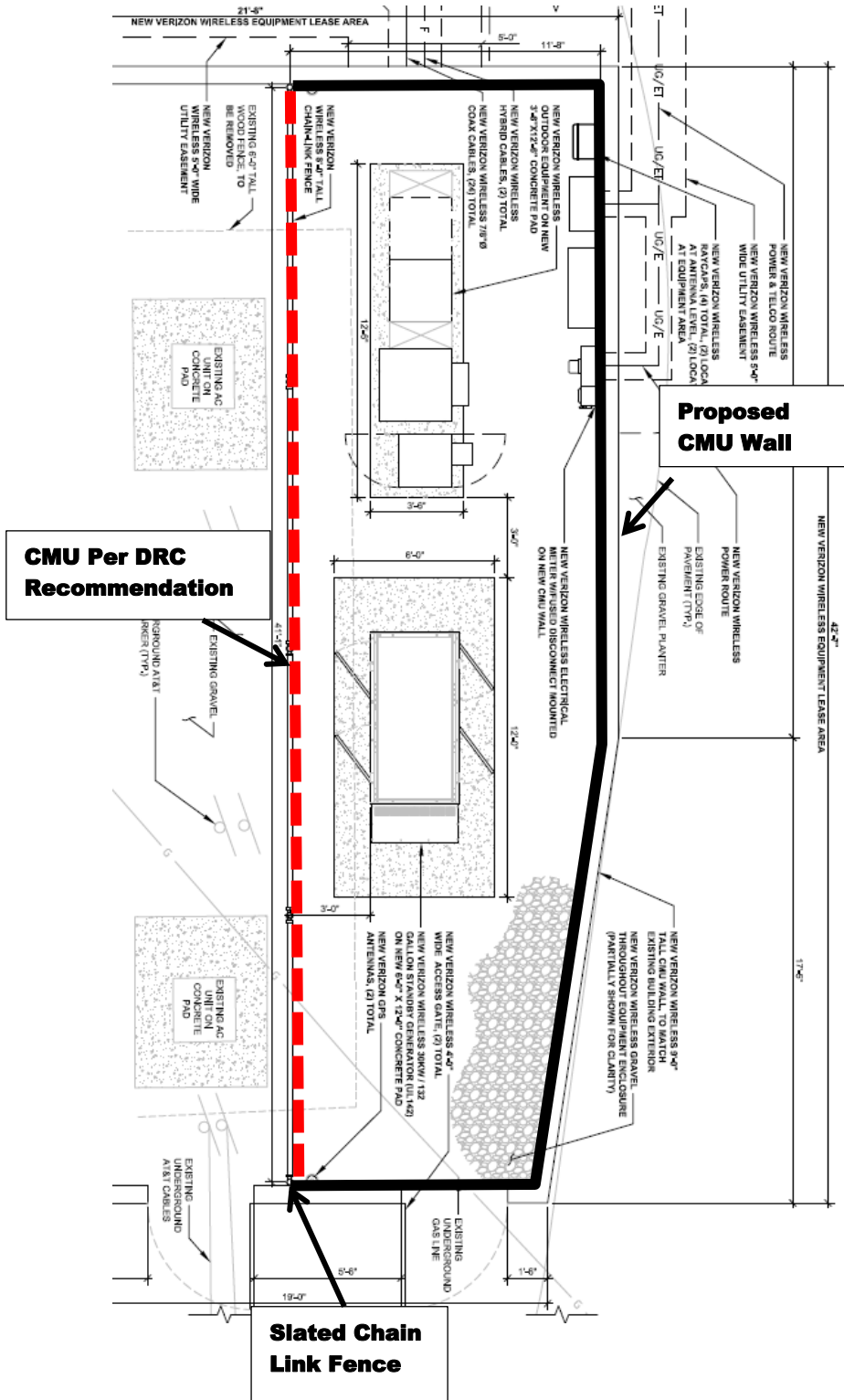
The wireless communications facility is to be unmanned. No permanent buildings are proposed to be removed to accommodate the proposed project. The applicant is proposing removal of three (3) cypress trees and no additional grading will be required. Additional environmental effects on the project have been analyzed as a part of an Initial Study/Mitigated Negative Declaration (2015-0004).

Based on the site plan, staff is conditioning the applicant to provide a masonry wall to screen all sides of proposed equipment area versus use of a chain-link fence.

Site Plan



Enlarged Site Plan - Equipment Plan



ANALYSIS:

Project Site:

The site is on the east side of the Highway 41 corridor, located on the property of Cornerstone Community Church.

The wireless communications facility is planned to be located within the existing church facility. The site plan includes a proposed church tower to house 12 new six foot (6') tall antennas. The proposed project will include an easement so that the proposed wireless communications facility can be connected to existing utilities.

Cellular Tower:

A portion of the project includes the installation of a 45-foot cellular tower (church tower) with 12 cellular antennas. The church tower structure is designed to blend with surrounding aesthetics and the existing main building of the church.

The proposed tower, at 45-feet will be the tallest structure in the project vicinity. Construction of the tower will include materials that match the existing church façade. The project requires the Planning Commission to make a finding to waive the height limitation. The maximum height for the Public (P) zone is 35-feet. The height adjustment will not exceed the lifesaving capabilities of the Fire Department, and will abide by the Atascadero Municipal Code and Conditional Use Permit Findings that certify the Mitigated Negative Declaration associated with the project. Adoption of the Planning Commission Resolution 2015-A will affirm the approval of a Planning Commission waiver for the height limitation.

Atascadero Municipal Code 9.4.113 Height limitations.

- | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>(b) Exceptions to height limitations.</p> <p>(1) Planning Commission Waiver. The height limitations of this section may be modified through conditional use permit approval, provided the Planning Commission first finds the project will not result in substantial detrimental effects on the enjoyment and use of adjoining properties and that the modified height will not exceed the lifesaving equipment capabilities of the Fire Department.</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

On-Site Buildings:

To support the main cellular tower, an equipment area consisting of a 100 square foot (sf) antenna lease area, 503 sf equipment lease area, two GPS antennas, and a generator is proposed. The equipment area is to be surrounded by a chain link fence, as well as a new nine foot tall Concrete Masonry Unit (CMU) Wall. The DRC recommends that the CMU wall wrap around the entire site with the exception of the entry gate. This has been included as a condition of approval (condition x)

Proposed Elevations:

The applicant is proposing the use of a 45-foot faux tower to encase the proposed antennas. The tower is proposed to match the existing church facility architecturally including existing roof tiles, exterior stucco walls, and color this has been included as a condition (condition X). The applicant is proposing to remove the existing cross that is at the top of the existing church and move it to the new tower. DRC has reviewed the project and has approved the site elevations and height of proposed faux tower.

Proposed Elevations

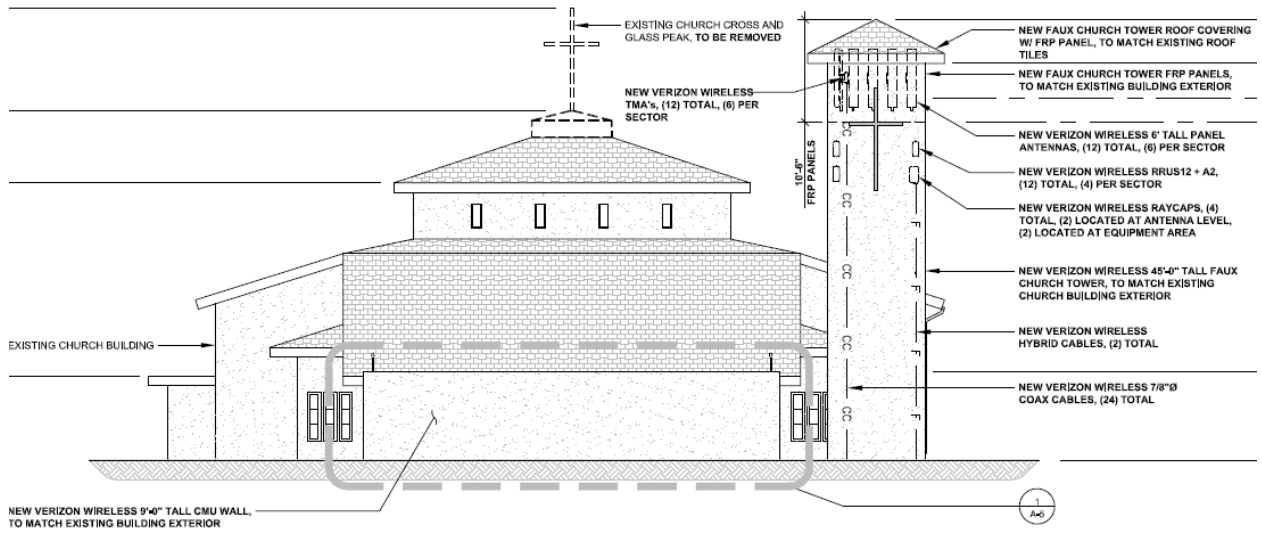
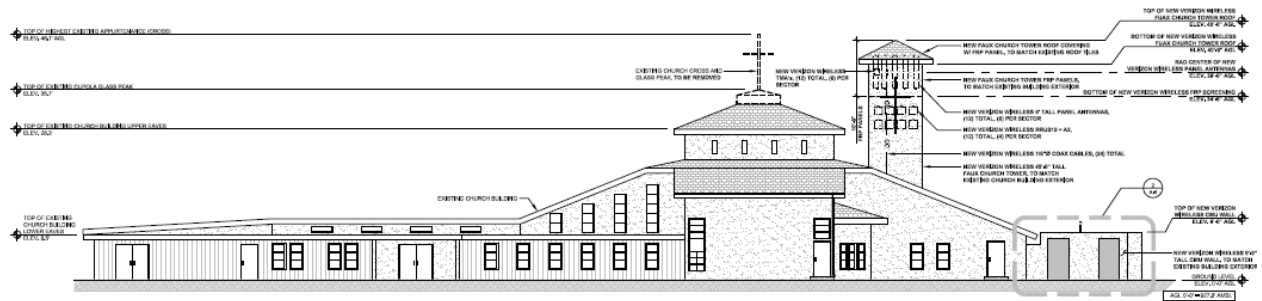
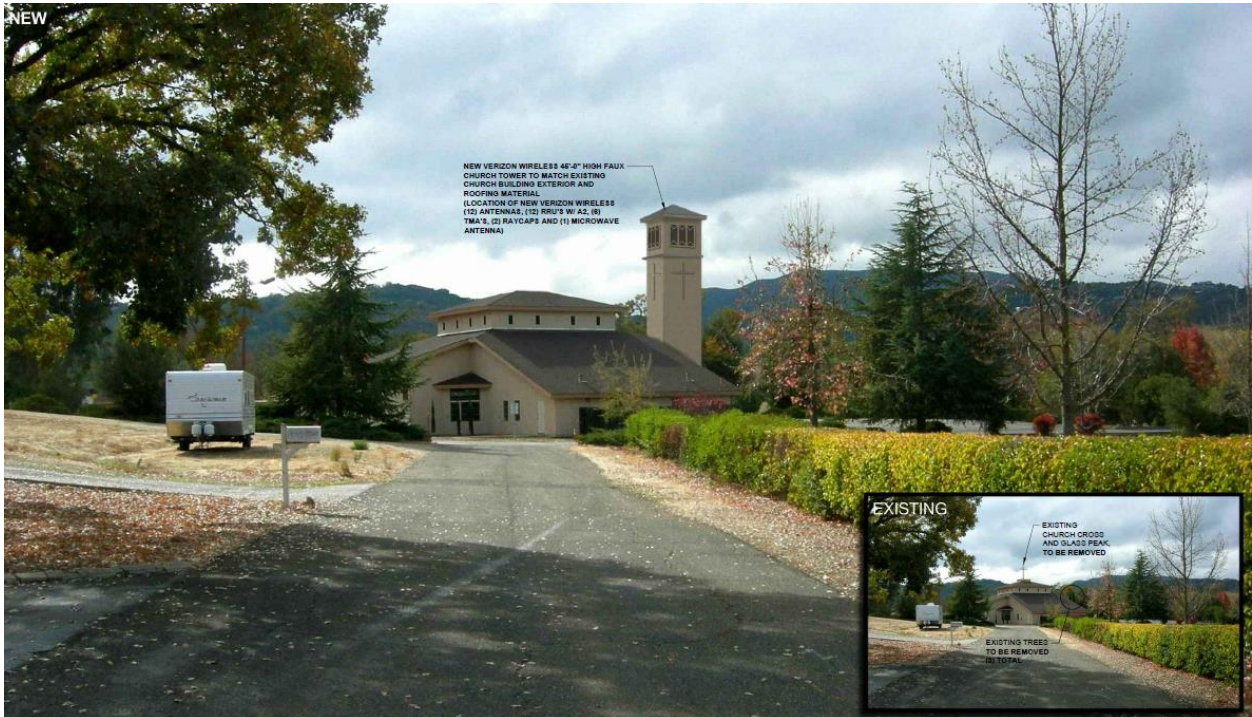


Photo Simulation



General Plan Consistency

The proposed project is consistent with the following General Plan Land Use Element Goals and Policies:

Goal LOC 15: Provide adequate public services for high-quality, orderly and sensible growth.

Land Use Policy 15.10: Require public agency and private utility development projects in the City to conform to City site improvement standards.

Findings

The Planning Commission must make the following findings in order to approve a CUP. If the Commission chooses to deny the project, the Commission must make specific findings for denial.

1. *The proposed project or use is consistent with the General Plan, as well as the City's Appearance Review Manual and any pertinent City policy or criteria adopted by ordinance or resolution of the City Council.*

Staff Comment:

The proposed project, as recommended by the DRC is consistent with the Atascadero General Plan as identified by the policies and programs listed above.

2. *The proposed project or use satisfies all applicable provisions of the Title (Zoning Ordinance).*

Staff Comment: As conditioned, the project satisfies the conditional use permit provisions for the Atascadero Municipal Code, as well as meet the requirements for a Planning Commission Waiver for Height Limitations.

3. *The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use.*

Staff Comment: The proposed wireless communications facility will not be detrimental to the general public or working person's health, safety, or welfare. Additionally, the 45-foot height waiver will not affect the lifesaving capabilities of the Atascadero Fire Department.

4. *That the proposed project or use will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development.*

Staff Comment: The proposed wireless communications facility is disguised from the public by its location within an existing church, and more specifically within the church tower. It is mostly hidden from the right-of-way and surrounding neighborhood by its substantial setback from adjacent properties and road as well as its location within an existing Cornerstone Community Church building. The proposed tower will blend with the existing aesthetic quality and cause little visual disruption to surrounding community and passerby.

5. *The proposed use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project.*

Staff Comment: The proposed use is an unmanned cellular communication facility. Periodic maintenance will occur, however this will not generate a volume of traffic beyond the safe capacity of all roads that access the site.

Based on staff's analysis in the preceding sections, the Planning Commission can make required findings for approval of a Conditional Use Permit can be made.

Environmental Determination

The Initial Study concluded that there would be no significant harm to the environment as a result of this Conditional Use Permit, when mitigation measures are implemented. A proposed Mitigated Negative Declaration has been prepared for the project and certification of the Mitigated Negative Declaration 2014-0004 is included in draft Planning Commission Resolution 2015—A.

Conclusion

The proposed wireless communications facility at 9685 Morro is consistent with the underlying zoning and is proposed to be located away from the public right-of-way. The DRC has reviewed the project and is recommending approval. Based on the above analysis and incorporated conditions, staff is recommending that the findings for approval of the CUP are made.

ALTERNATIVES:

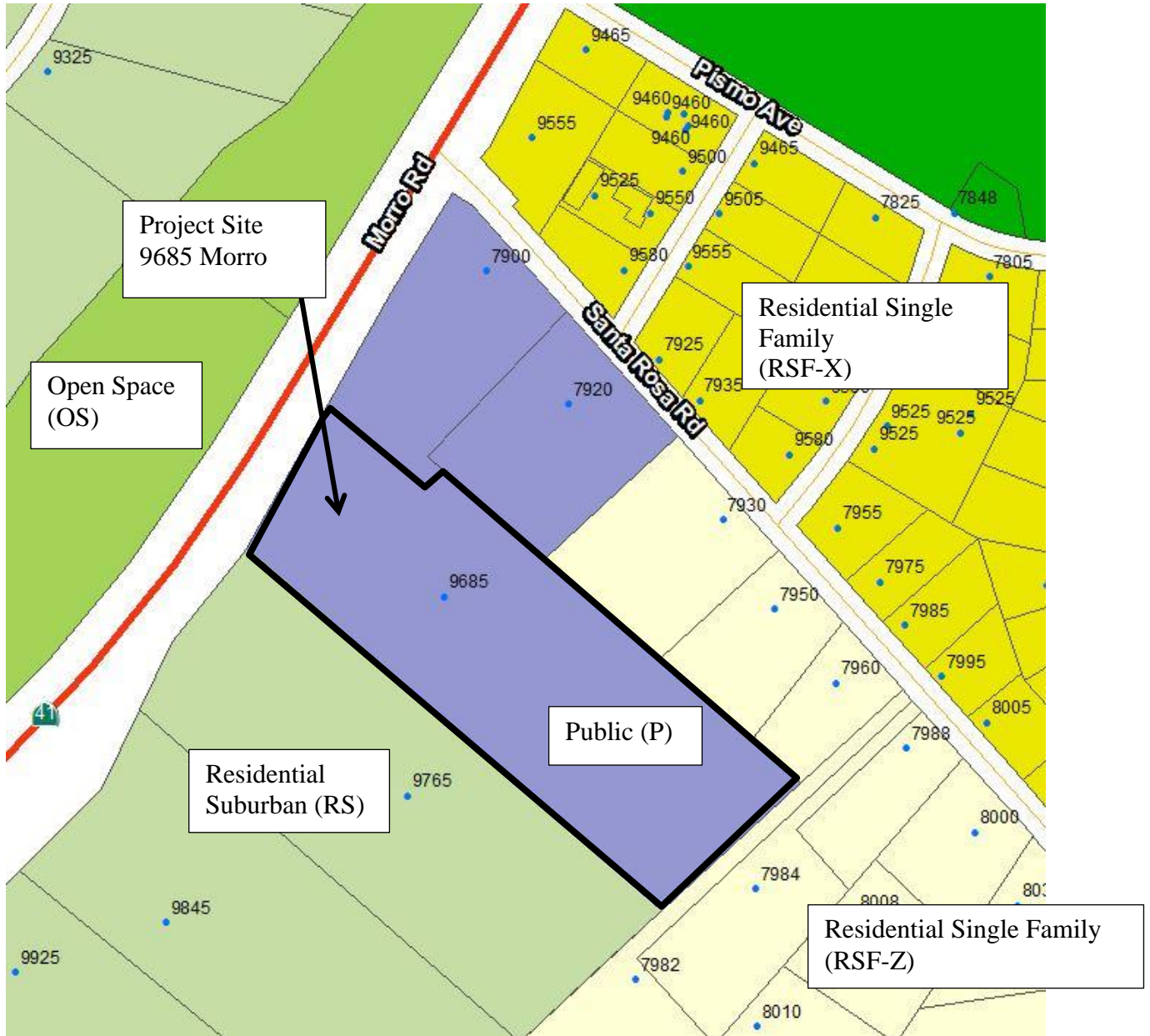
1. The Commission may approve the project with additional or revised project conditions.
2. The Commission may deny the project if it is found that the required findings cannot be made. The Commission's motion to deny must include a finding for denial.
3. The Commission may continue the hearing and refer the item back to staff for additional information or analysis. Direction should be given to staff and the applicant on required information.

ATTACHMENTS:

- Attachment 1: Location Map (General Plan and Zoning)
- Attachment 2: Site Photos
- Attachment 3: Site Plan
- Attachment 4: Elevations
- Attachment 5: Photo simulations
- Attachment 6: Proposed Mitigated Negative Declaration 2015-004
- Attachment 7: Draft Resolution PC 2015-A

ATTACHMENT 1:

**Zoning Map
PLN 2014-1524 / CUP 2014-0238
9685 Morro Road**



ATTACHMENT 2:

**Site Photos
PLN 2014-1524 / CUP 2014-0238
9685 Morro Road**

View from Rear of Property Looking West



View from Front of Property looking East



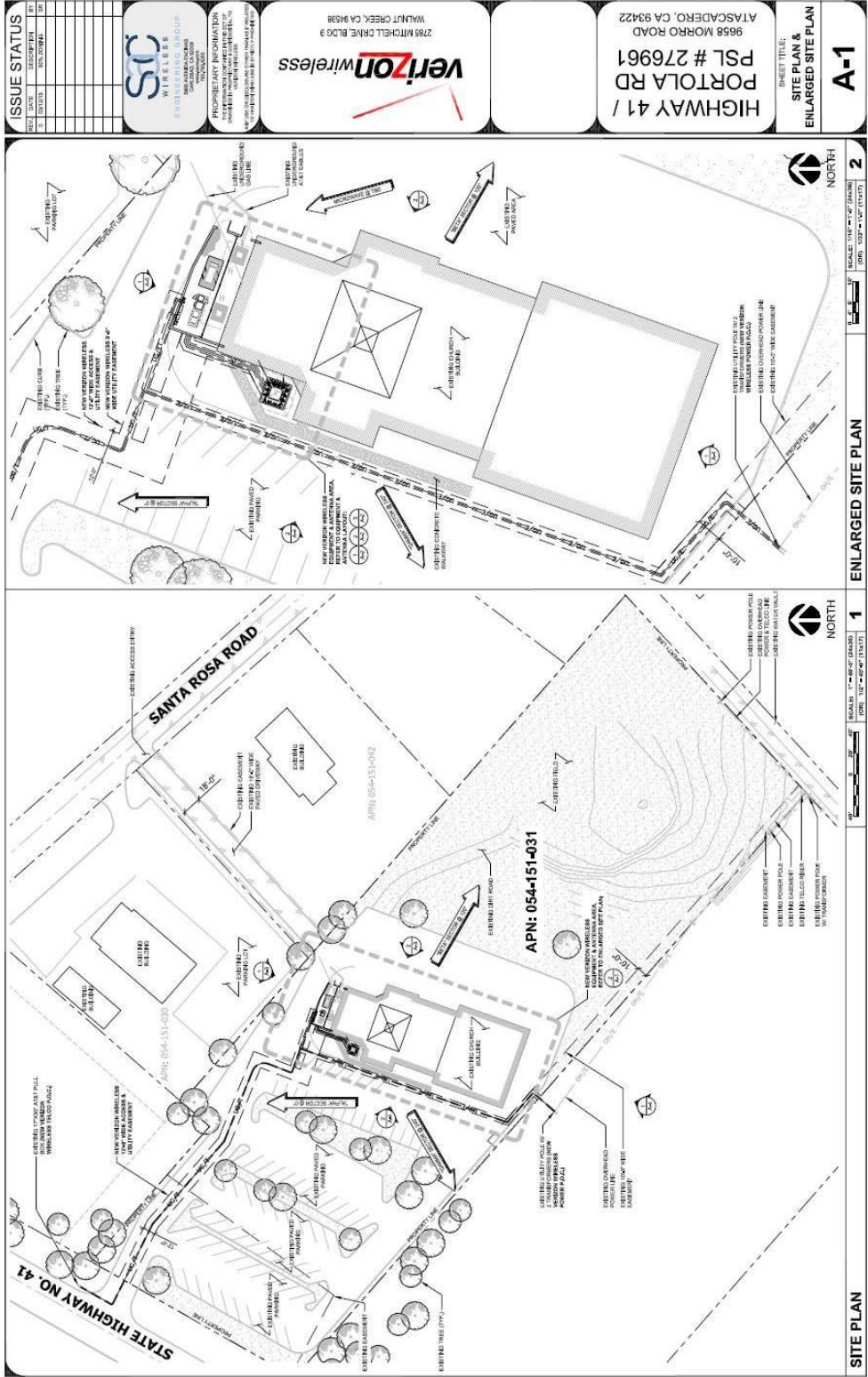
View looking North from Property at Rear



View looking Northeast from Property at Front



ATTACHMENT 4: Site Plan
PLN 2014-1524 / CUP 2014-0283
9685 Morro Road



ATTACHMENT 4: Elevations
PLN 2014-1524 / CUP 2014-0283
9685 Morro Road

ISSUE STATUS	NO.	DATE	DESCRIPTION	BY



PROPOSED WIRELESS INFRASTRUCTURE
 3658 MORRO ROAD
 ATASCADERO, CA 93422

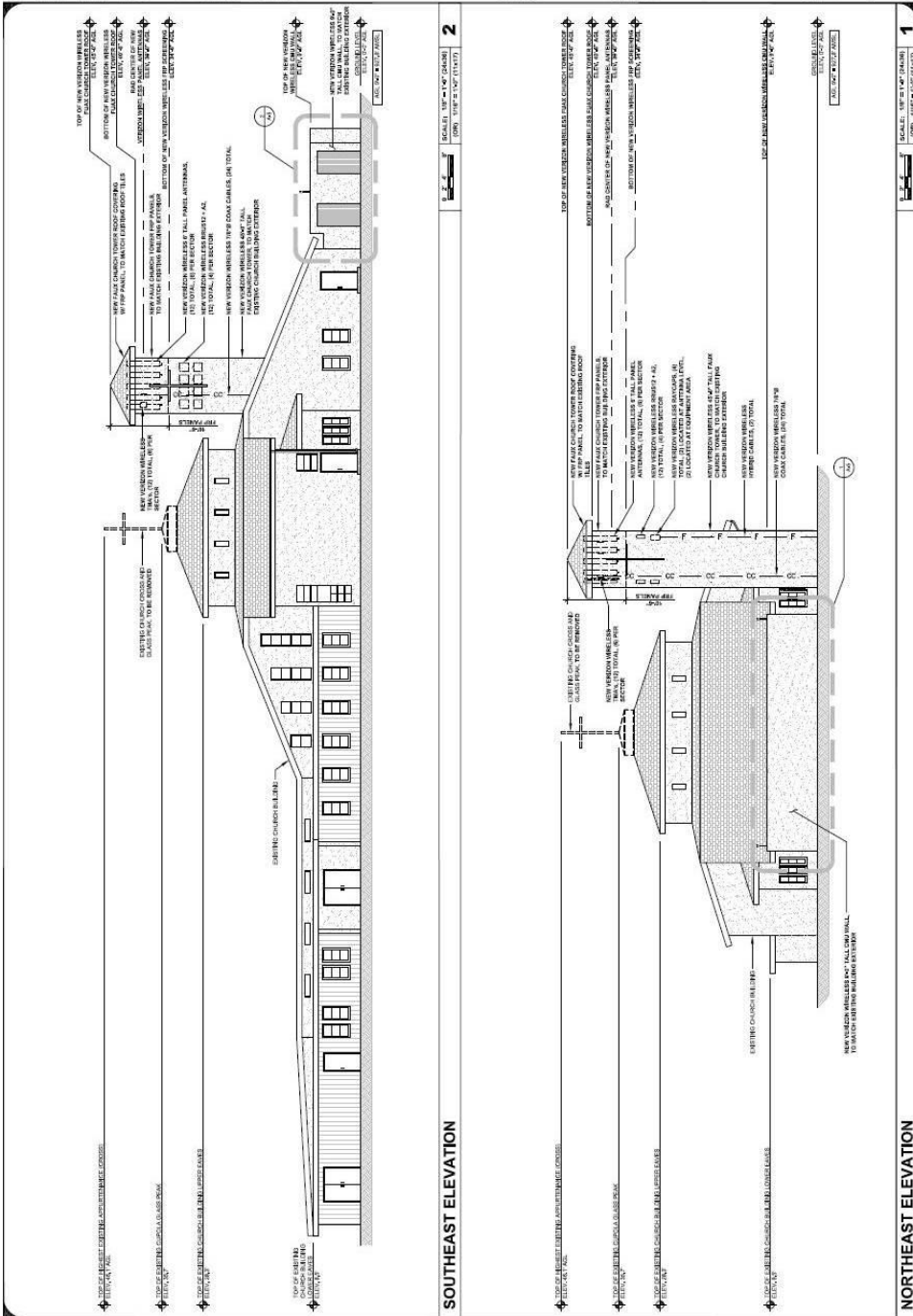


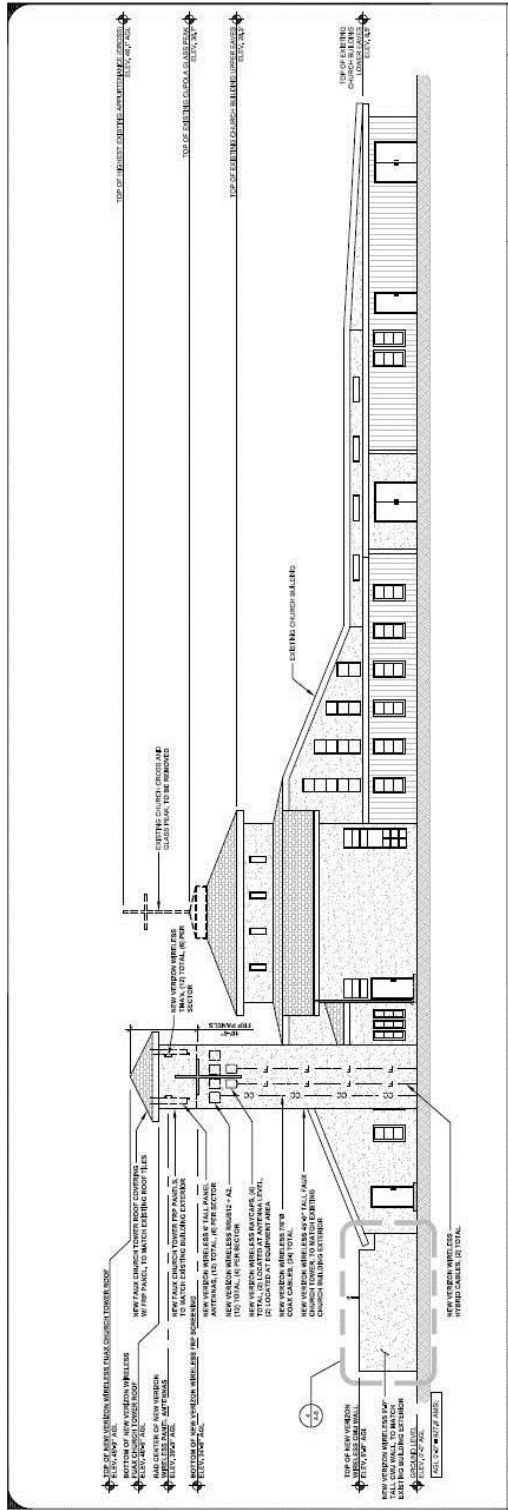
7285 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

HIGHWAY 41 /
 PORTOLA RD
 PSL # 276961
 9685 MORRO ROAD
 ATASCADERO, CA 93422

SHEET TITLE:
 NORTHEAST &
 SOUTHEAST
 ELEVATION

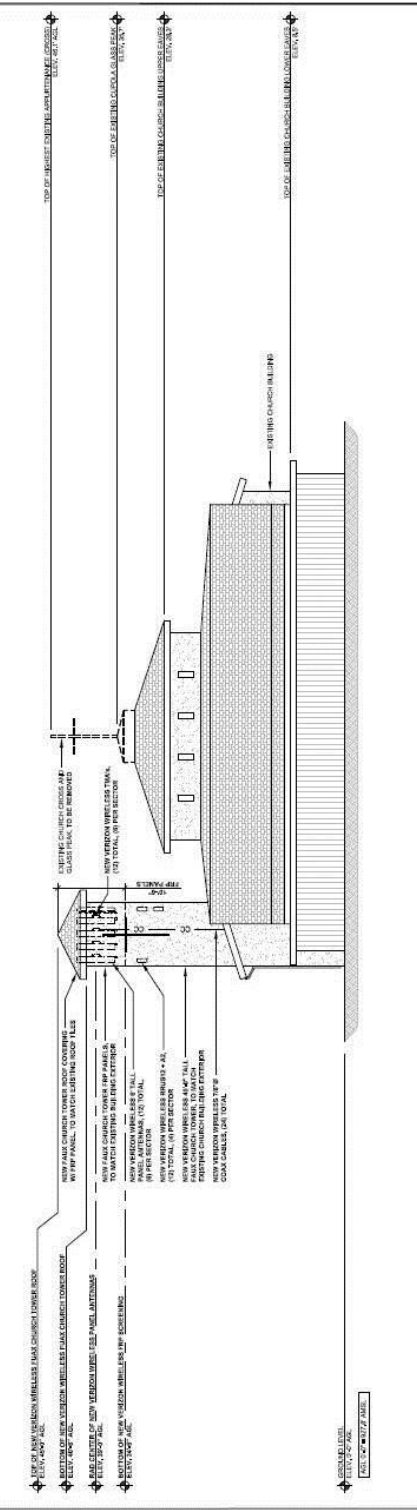
A-3





NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0" (GRAB)
 (OR) 1/16" = 1'-0" (FIXED)



SOUTHWEST ELEVATION

SCALE: 1/8" = 1'-0" (GRAB)
 (OR) 1/16" = 1'-0" (FIXED)

NO.	DATE	BY	REVISION

ISSUE STATUS



PROPRIETARY INFORMATION
THIS DRAWING IS THE PROPERTY OF SIC WIRELESS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

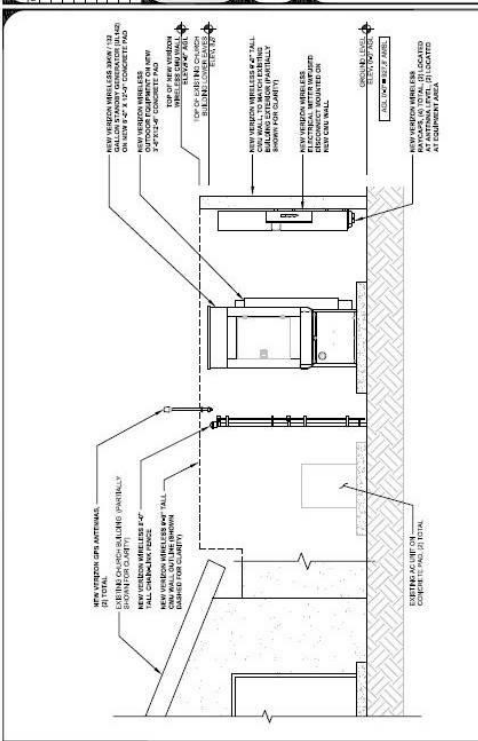


7965 MITCHELL CIRCLE, BLDG 9
WALNUT CREEK, CA 94698

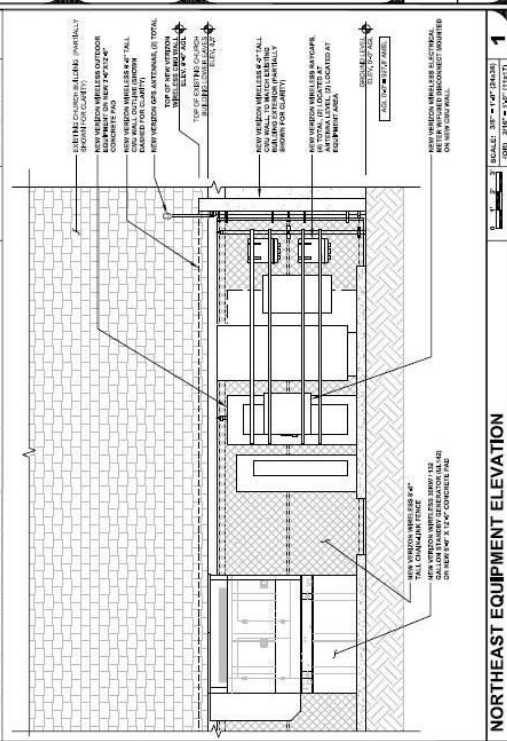
HIGHWAY 41 / PORTOLA RD
PSL # 276961
3658 MORRO ROAD
ATASCADERO, CA 93422

SHEET TITLE:
EQUIPMENT
ELEVATION

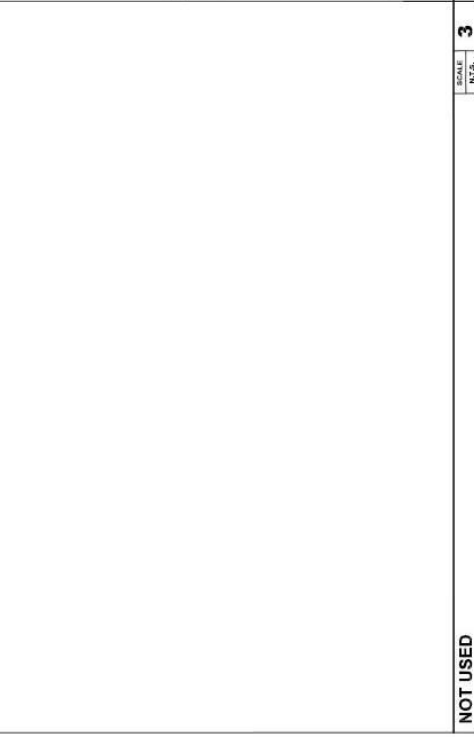
A-5



NORTHWEST EQUIPMENT ELEVATION



SOUTHEAST EQUIPMENT ELEVATION



NORTHEAST EQUIPMENT ELEVATION

NOT USED

SCALE: 3/8" = 1'-0" (AS SHOWN)

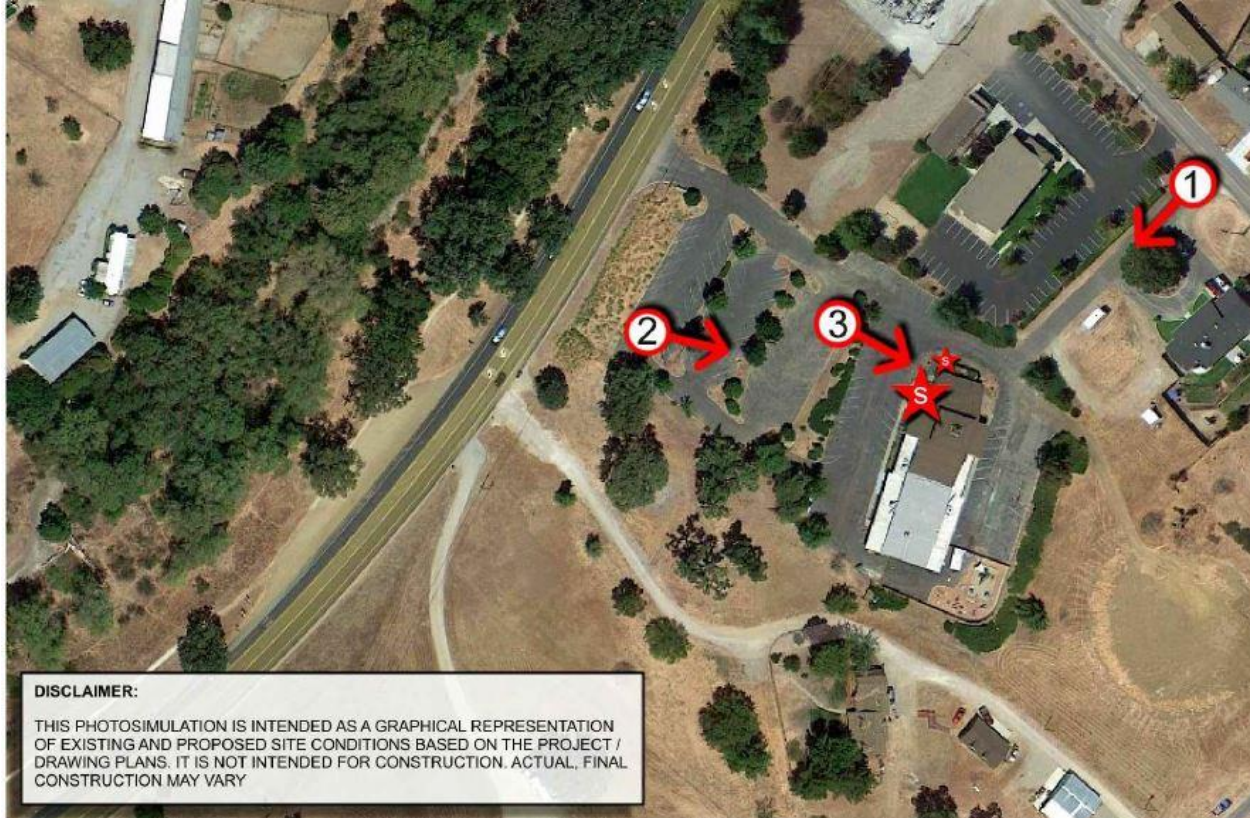
SCALE: 3/8" = 1'-0" (AS SHOWN)

SCALE: 3/8" = 1'-0" (AS SHOWN)

SCALE: 3/8" = 1'-0" (AS SHOWN)

SCALE: 3/8" = 1'-0" (AS SHOWN)

ATTACHMENT 5: Photo Simulations
PLN 2014-1524 / CUP 2014-0283
9685 Morro Road



PROPOSED PROJECT SITE



Vantage Points

Vantage Point 1



Vantage Point 2



Vantage Point 3



**ATTACHMENT 6: Response to CEQA Comments
Proposed Mitigated Negative Declaration 2015-004
9685 Morro Road**

Alfredo Castillo

From: phague@co.slo.ca.us
Sent: Thursday, May 14, 2015 11:55 AM
To: Alfredo Castillo
Subject: Mitigated Neg Dec 2015-0004 (Cornerstone)

Hi Alfredo,

Environmental Health does not object to the proposed mitigated negative declaration for this project. However, facilities handling hazardous material above threshold are required to prepare and electronically submit a Hazardous Materials Business Plan (HMBP) either via the state California Environmental Reporting System (CERS) or through our local Portal (www.ezsubmitsolgov.org). For a cell site, hazardous materials can include sulfuric acid, propane, and/or diesel fuel.

Please have the applicant provide details on the proposed project to determine if a HMBP is required. The threshold for propane would be 200 cubic feet. The threshold for diesel or sulfuric acid would be 55 gallons.

Please have the applicant provide the volume of sulfuric acid projected to be onsite, and a method of how the volume of sulfuric acid was calculated.

Regards,
Peter Hague
Environmental Health Specialist
San Luis Obispo County Public Health Department
Environmental Health Services Division
phague@co.slo.ca.us
(805) 781-5554

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[Scanned @co.slo.ca.us]



RESPONSE TO COMMENTS FOR NEGATIVE DECLARATION #2015-004
(Cornerstone Community Church)

Peter Hague, dated May 14, 2015

Response:

While Staff and the applicant have previously determined the absence of hazardous materials on site via the Department of Toxic Substances Control EnviroStor map, Staff will comply with the Public Health's Department request that the applicant provide details on the levels of sulfuric acid, propane, and diesel fuel that the new cellular facility could potentially produce. The thresholds to be tested against will be the 200 cubic feet for propane and 55 gallons for diesel fuel and sulfuric acid. Details on the volumes of the sulfuric acid onsite and how the volume of sulfuric acid was calculated shall be provided. In the case that any one of these toxic substances surpasses the thresholds stated, the applicant will be required to submit a Hazardous Materials Business Plan (HMBP) either via the state California Reporting System (CERS) or through the local portal (www.ezsubmitsolgov.org). The approval of the Conditional Use Permit (CUP) will be subject to the completion of this request.

ATTACHMENT 7:	Proposed Mitigated Negative Declaration 2015-004 PLN 2014-1524 / CUP 2014-0283 9685 Morro Road
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See Attachment on Next Page



CITY OF ATASCADERO

COMMUNITY DEVELOPMENT DEPARTMENT

(ENDORSED)
FILED

APR 28 2015

TOMMY GONG, COUNTY CLERK
[Signature]
DEPUTY CLERK

NOTICE OF INTENT TO ADOPT PROPOSED MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that the Environmental Coordinator of the City of Atascadero has completed a review of the following project and is proposing the following environmental determination:

Property Owner/Applicant:	Cornerstone Community Church, 7920 Santa Rosa Road, Atascadero, CA 93422 Represented by Tricia Knight for TEK Consulting , 123 Seacliff Dr., Pismo Beach, CA 93449
Project Title:	Wireless Cellular Communications Tower at 9685 Morro Road – PLN-2014-1524 / CUP-2014-0283
Project Location:	9685 Morro Road, Atascadero, CA 93422 (San Luis Obispo County) APN: 054-151-031
Project Description:	<p>Applicant is requesting a conditional use permit (CUP) for a new Verizon Unmanned Telecommunications Wireless Facility. The project consists of a 100 square foot (sf) antenna lease area, 503 sf equipment lease area, two GPS antennas, and a generator. The project will also include a new electrical meter mounted on a new wall, a 45 foot faux church tower, twelve new six (6') feet tall antennas. Additional equipment includes:</p> <p style="padding-left: 40px;">New Verizon Wireless 9'0 Tall CMU Wall</p> <p style="padding-left: 40px;">New Verizon Wireless Outdoor Equipment on a 180 sf Concrete Pad</p> <p>The project requires further environmental review consistent with the California Environmental Quality Act (CEQA) based on aesthetics, air quality, hydrology/water quality, and noise.</p> <p>Zoning: Public (P)</p> <p>General Plan Designation: Public (P)</p>

Environmental Review Dates:	Begins: April 28, 2015 Ends: May 17, 2015
Electronic Public Review:	This Document can be found electronically in PDF format on the City of Atascadero Website: http://www.atascadero.org/environmentaldocs
Proposed Environmental Determination:	Based on the Initial Study prepared for the project, a Mitigated Negative Declaration is proposed. The Mitigated Negative Declaration is available for public review from 4/28/2015 through 5/17/15 at 6500 Palma Avenue, Community Development Department from 8:30 a.m. to 5:00 p.m. Monday through Thursday.
Hearing Date:	The hearing will be held at City Hall at 7:00 p.m. on Tuesday, May 19, 2015 at 6500 Palma Avenue, 4 th Floor, Atascadero, CA.

Any interested person may review the proposed Mitigated Negative Declaration and project files. Questions should be directed to Alfredo R. Castillo, ATCP, at 805-470-3436.

[Signature]
Robert A. Lewis, Interim Community Development Director

APR 28 2015

Date



CITY OF ATASCADERO PROPOSED MITIGATED NEGATIVE DECLARATION #2015-0004

6500 Palm Avenue

Atascadero, CA 93422

805/461-5035

Property Owner/Applicant:	Cornerstone Community Church, 7920 Santa Rosa Road, Atascadero, CA 93422 Represented by Tricia Knight for TEK Consulting TEK Consulting , 123 Seacliff Dr., Pismo Beach, CA 93449
Project Title:	Wireless Cellular Communications Tower at 9685 Morro Road – PLN-2014-1524 / CUP-2014-0283
Project Location:	9685 Morro Road, Atascadero, CA 93422 (<i>San Luis Obispo County</i>) APN: 054-151-031
Project Description:	<p>Applicant is requesting a conditional use permit (CUP) for a new Verizon Unmanned Telecommunications Wireless Facility. The project consists of a 100 square foot (sf) antenna lease area, 503 (sf) equipment lease area, two GPS antennas, and a generator. The project will also include a new electrical meter mounted on a new wall, a 45 foot faux church tower, twelve new six (6') feet tall antennas. Additional equipment includes:</p> <p style="padding-left: 40px;">New Verizon Wireless 9'0 Tall CMU Wall</p> <p style="padding-left: 40px;">New Verizon Wireless Outdoor Equipment on a 180 sf Concrete Pad</p> <p>The project requires further environmental review consistent with the California Environmental Quality Act (CEQA) based on aesthetics, air quality, hydrology/water quality, and noise.</p> <p>Zoning: Public (P)</p> <p>General Plan Designation: Public (P)</p>

Findings:

1. The project does not have the potential to degrade the environment.
2. The project will not achieve short-term goals to the disadvantage of long-term environmental goals and policies.
3. The project does not have impacts which are individually limited, but cumulatively considerable.
4. The project will not cause substantial adverse effects on human beings either directly or indirectly.

Determination:

Based on the above findings, and the information contained in the Initial Study PLN-2014-1524 / CUP-2014-0283 (made a part hereof by reference and on file in the Community Development Department), it has been determined that the above project will not have an adverse impact on the environment when the following mitigation measures are incorporated into the project (see attachment).

Prepared By: Sarah Wood, Planning Intern / Alfredo R. Castillo, AICP

Date Posted: April 28, 2015

Public Review Ends: May 17, 2015

Attachments

- Aerial Map
- Grading Plan
- Floor Plan
- Elevations
- Site Photos
- National Wetlands Inventory Map
- Fire Hazard Risk
- FEMA Flood Zone Map
- Landslide Risk Map
- Liquefaction Risk Map
- Fault Line Map
- EnviroStor Map
- Airport Location Relative to Project Site
- Tsunami Inundation Risk
- RF Study
- Initial Study 2015-0004

ENVIRONMENTAL CHECKLIST FORM

Environmental Review 2015-0004

Property Owner/Applicant:	Cornerstone Community Church, 7920 Santa Rosa Road, Atascadero, CA 93422 Represented by Tricia Knight for TEK Consulting TEK Consulting , 123 Seacliff Dr., Pismo Beach, CA 93449
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Lead Agency Name and Address:	City of Atascadero 6500 Palma Avenue, Atascadero, CA 93422
Contact Person and Phone Number:	Sarah Wood, Planning Intern / Alfredo R. Castillo, AICP, Planner City of Atascadero, Phone: (805) 470-3470 / (805) 470-3436
General Plan Designation:	Public (P)
Zoning:	Public (P)
Surrounding Land Uses and Setting East:	Single-Family Residential (SFR-Z)
North:	Single-Family Residential (SFR-X)
South:	Residential Estate (RE)
West:	Open Space (OS)
Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement)	None



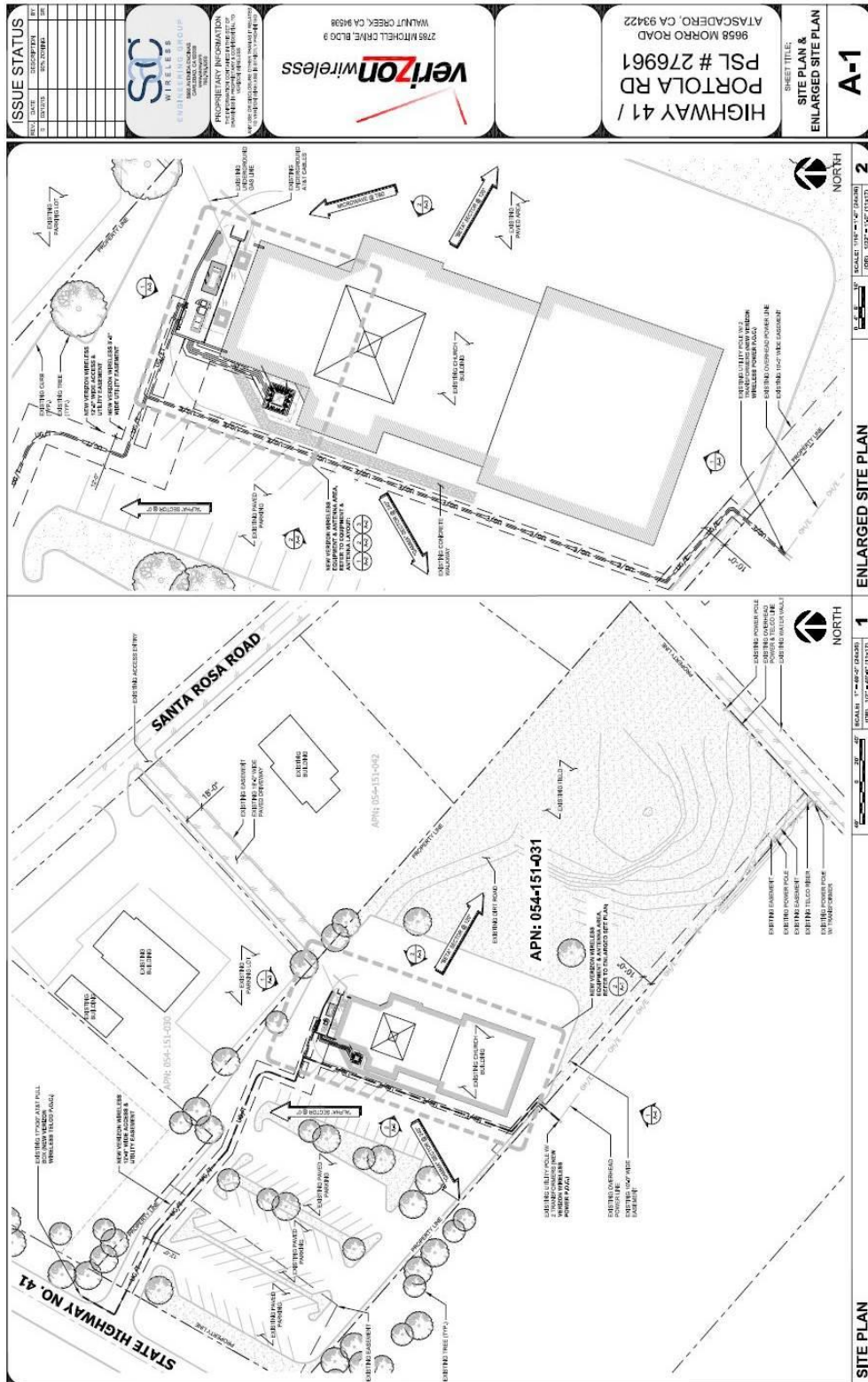
Attachment 1
Aerial Map





CITY OF ATASCADERO PROPOSED MITIGATED NEGATIVE DECLARATION

Attachment 2 Site Plan



ISSUE STATUS	NO. _____	DATE _____	DESCRIPTION _____
	BY _____	DATE _____	COMPLETED _____

SIS
ENGINEERING GROUP
2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

verizon
wireless

ATASCADERO, CA 93422
9658 MORRO ROAD
PORTOLA RD
PSL # 276961
HIGHWAY 41 /

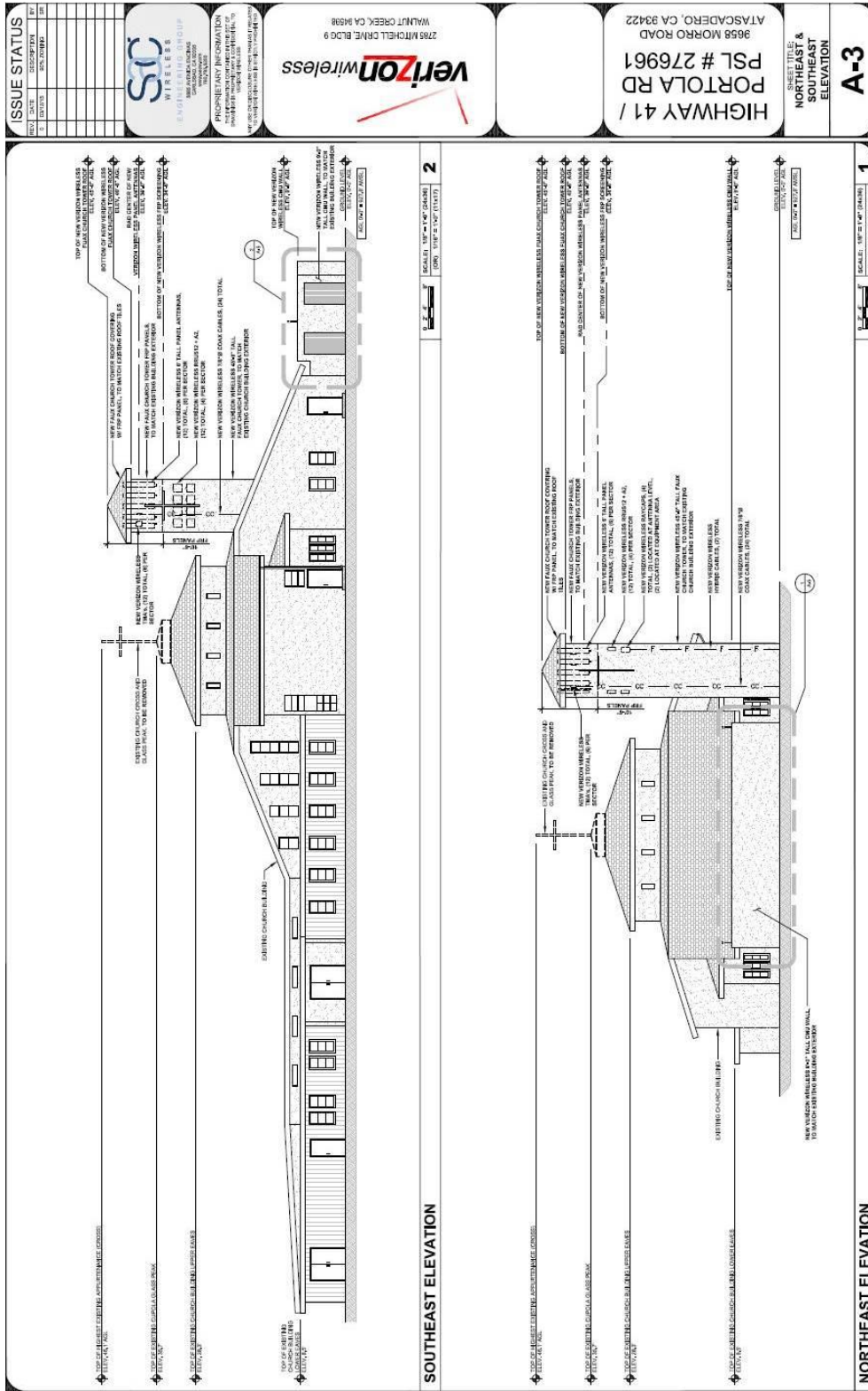
SHEET TITLE:
**SITE PLAN &
ENLARGED SITE PLAN**

A-1



**CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION**

**Attachment 3
Elevations**



ISSUE STATUS

NO.	DATE	DESCRIPTION	BY
1	02/12/15	ISSUED	CS
2			
3			

CS
ENGINEERING GROUP
WIRELESS

PROPRIETARY INFORMATION
THIS DOCUMENT IS THE PROPERTY OF CS ENGINEERING GROUP AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CS ENGINEERING GROUP.

verizon wireless

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

ATASCADERO, CA 93422

**HIGHWAY 41 /
PORTOLA RD
PSL # 276961**

**SHEET TITLE:
NORTHEAST &
SOUTHEAST
ELEVATION**

A-3

2

SCALE: 1/8" = 1'-0" (PLAN)
(OR) 1/8" = 1'-0" (ELEV.)

SOUTHEAST ELEVATION

1

SCALE: 1/8" = 1'-0" (PLAN)
(OR) 1/8" = 1'-0" (ELEV.)

NORTHEAST ELEVATION



Attachment 5 Photo Simulations



PROPOSED PROJECT SITE



Vantage Points



Vantage Point 1





Vantage Point 2





Vantage Point 3





**Attachment 6
Pictures of Project Site**

View from Rear of Property Looking West





**CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION**

View from Front of Property looking East





**CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION**

View looking North from Property at Rear





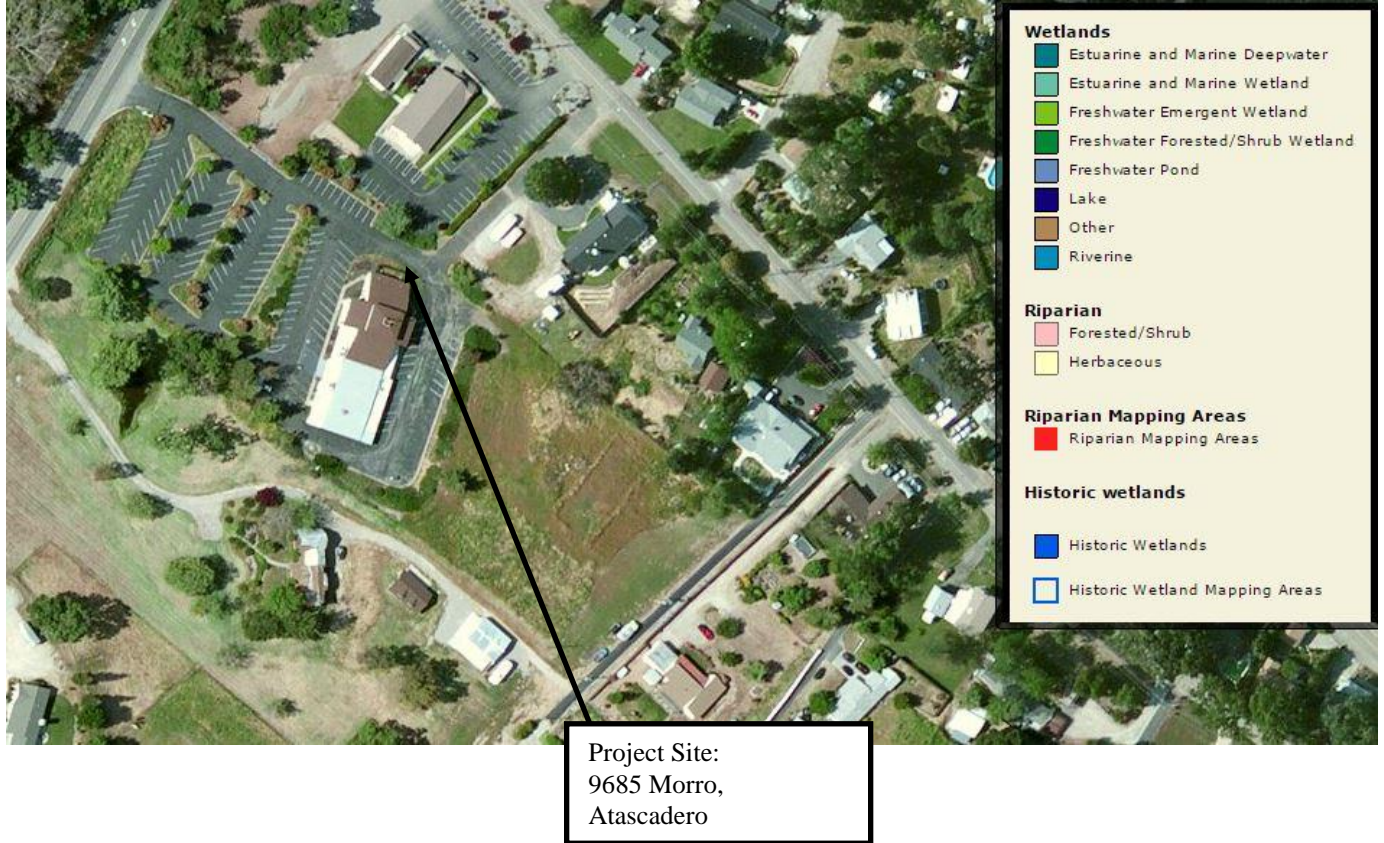
**CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION**

View looking Northeast from Property at Front



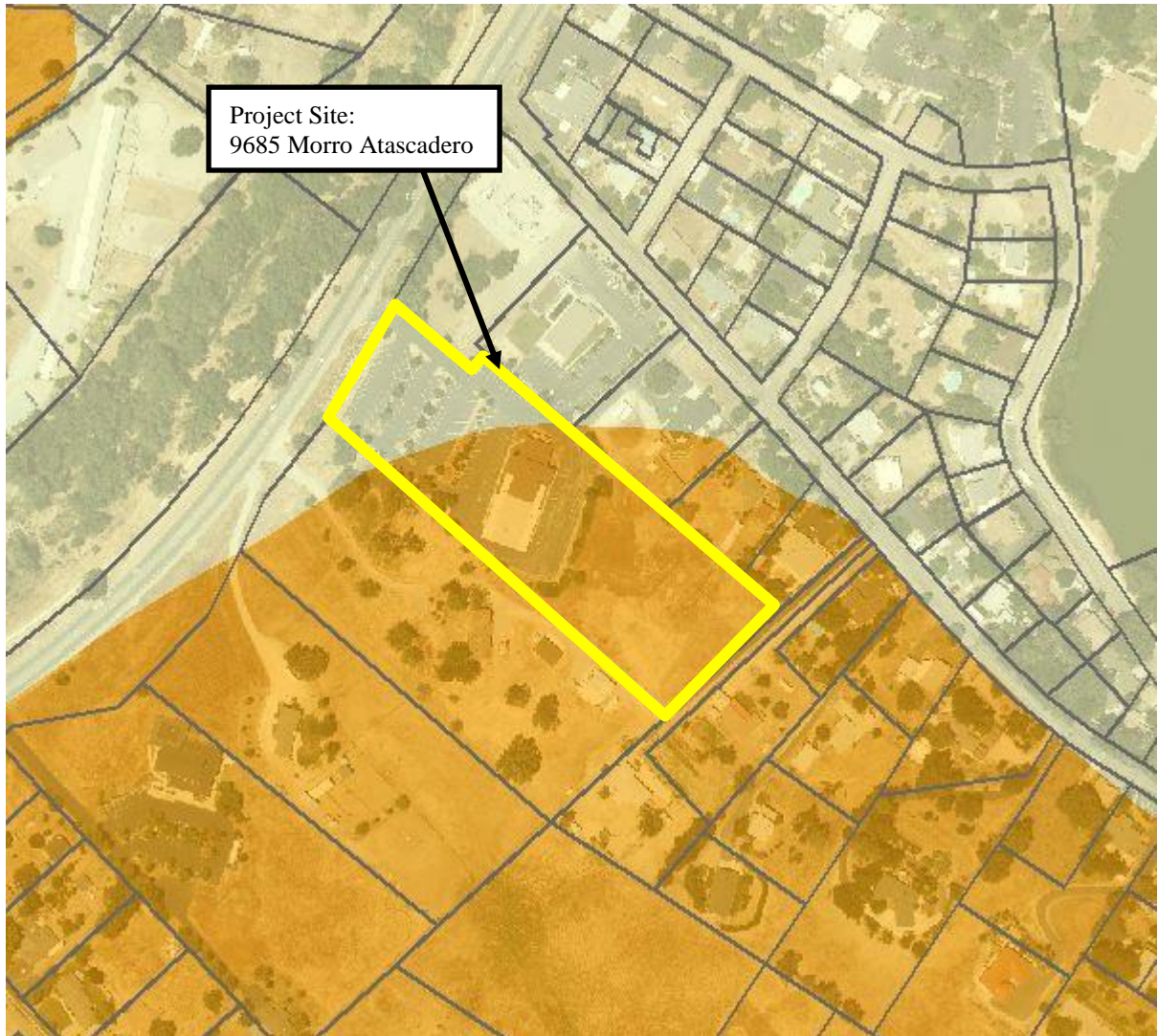


Attachment 7
National Wetlands Inventory Map





Attachment 8
Fire Hazard Risk



Legend

Fire Hazard - County

- Fire Hazard
-  Moderate
 -  High
 -  Very High













**Attachment 9
FEMA Flood Zone Map**



Legend

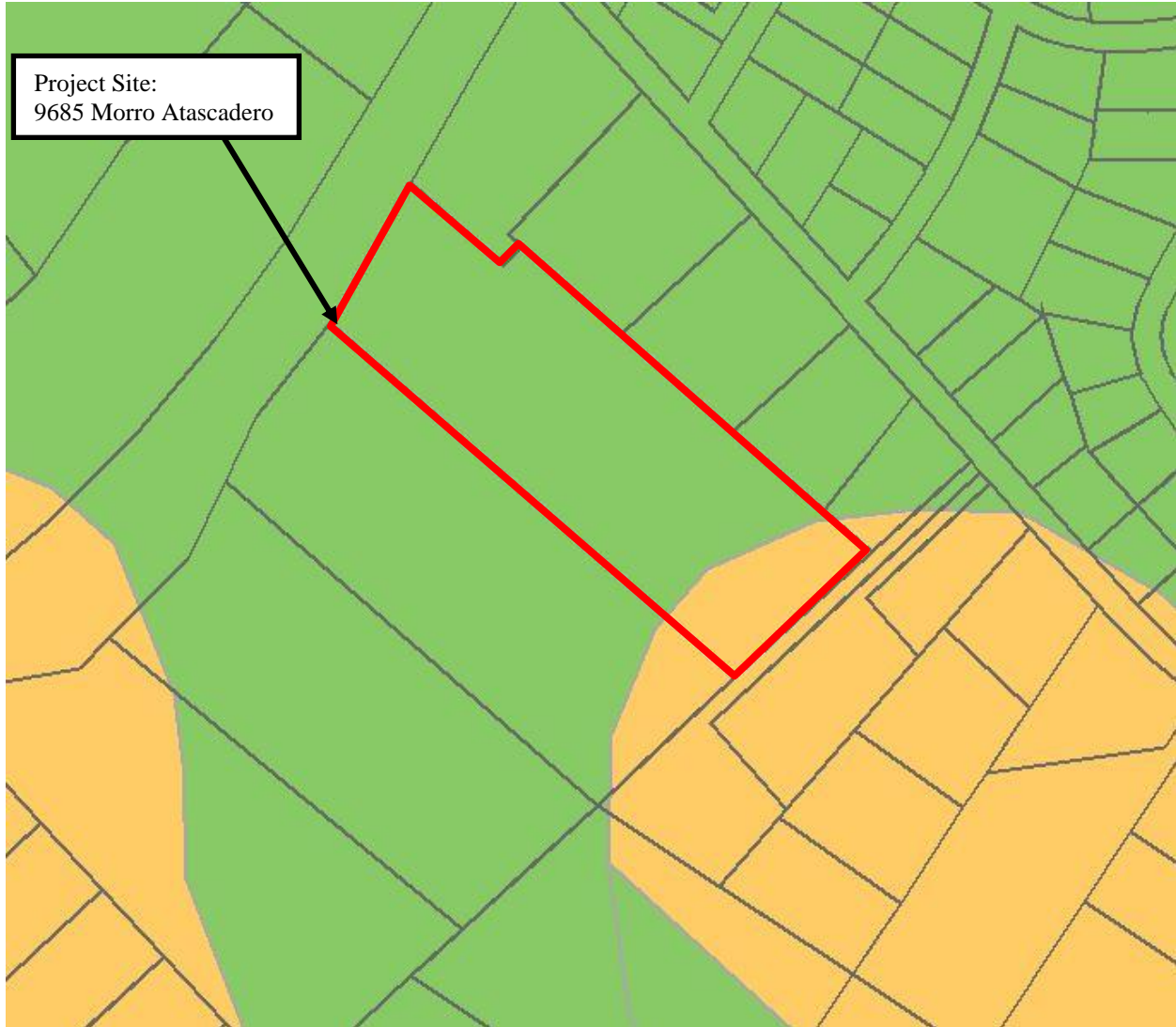
Flood Insurance Rate Map

Flood Zone

-  1% Annual Chance of Flooding - Contained in Channel
-  A: 1% Annual Chance of Flooding - No Detailed Analysis
-  AE: 1% Annual Chance of Flooding - Detailed Analysis
-  AH: 1% Annual Chance of Flooding - Resulting from Pond
-  AD: 1%+ Annual Chance of Flooding - River or Stream
-  X: 0.2% Annual Chance of Flooding
-  V: 1%+ - Coastal Area Storm Waves
-  VE: 1%+ - Coastal Area Storm Waves
-  X: Outside 0.2% Annual Chance Floodplain
-  D: No Flood Analysis



Attachment 10
Landslide Risk






Attachment 11
Liquefaction Risk



Liquefaction Risk

-  low
-  moderate
-  high



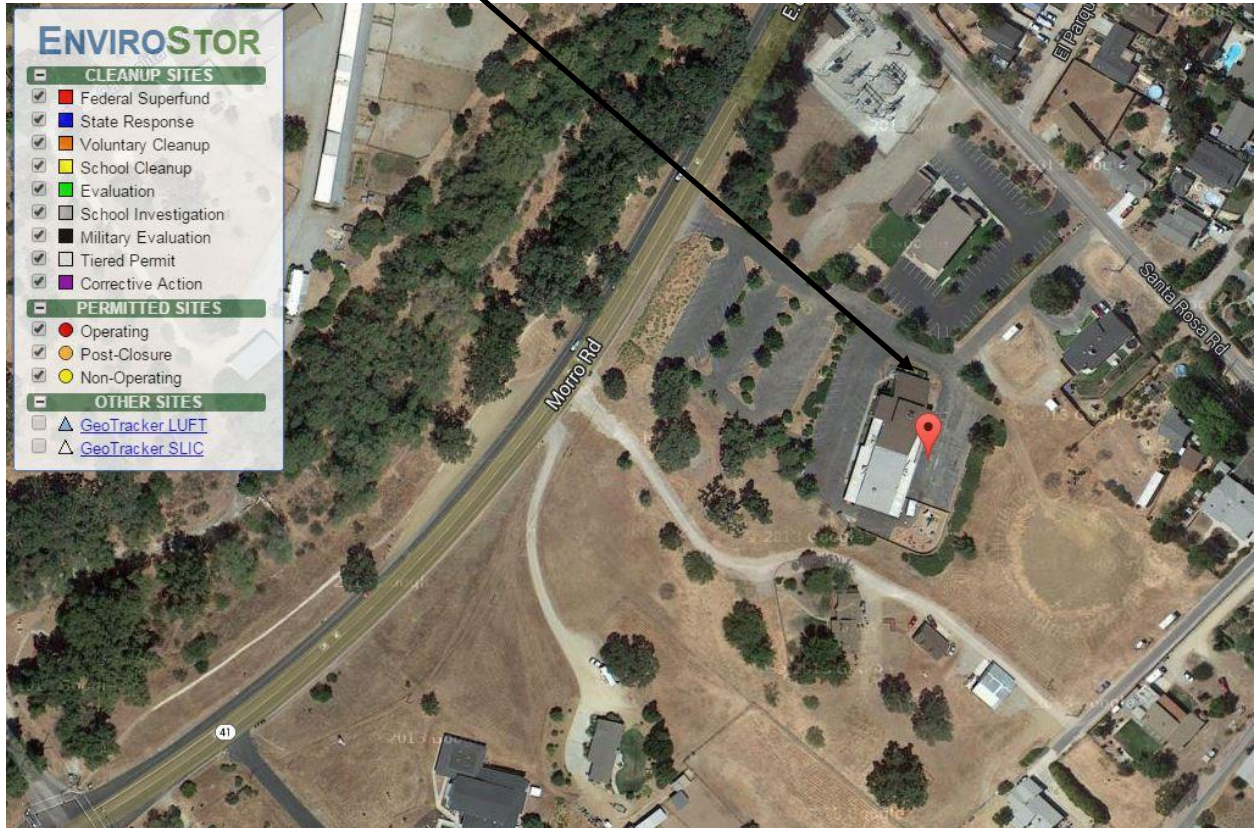
Attachment 12
Fault Line Map





Attachment 13
Department of Toxic Substances Control: EnviroStor

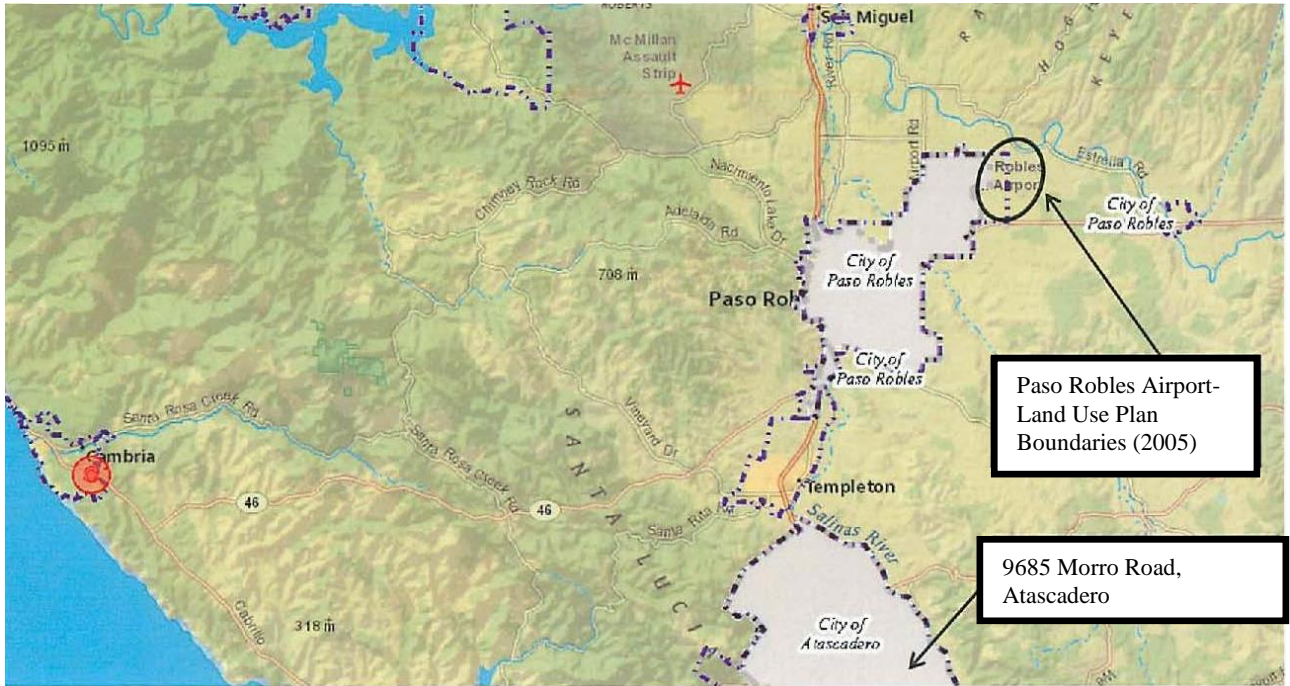
Project Site:
9685 Morro Atascadero





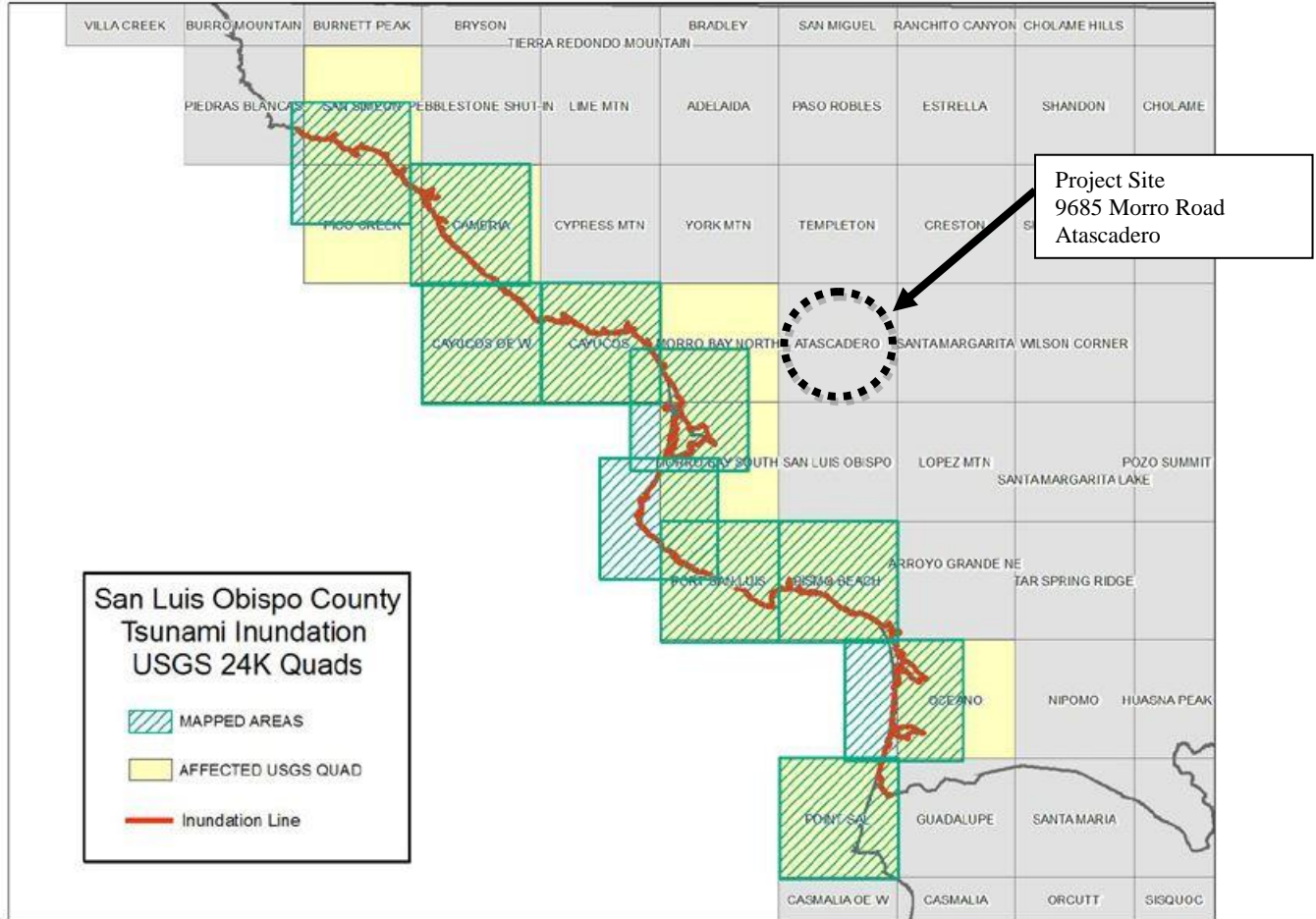
**CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION**

**Attachment 14
Airport Location Relative to Project Site**





**Attachment 15
Tsunami Inundation Risk**





*CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION*

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**Attachment 16
RF Study – See Attached**

**Verizon Wireless • Proposed Base Station (Site No. 276961 “Highway 41/Portola Rd”)
9658 Morro Road • Atascadero, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 276961 “Highway 41/Portola Rd”) proposed to be located at 9658 Morro Road in Atascadero, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Executive Summary

Verizon proposes to install directional panel antennas on a tall pole to be sited at 9658 Morro Road in Atascadero. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

Prevailing Exposure Standards

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5,000–80,000 MHz	5.00 mW/cm ²	1.00 mW/cm ²
BRS (Broadband Radio)	2,600	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

General Facility Requirements

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky. Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the

**Verizon Wireless • Proposed Base Station (Site No. 276961 “Highway 41/Portola Rd”)
9658 Morro Road • Atascadero, California**

antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

Computer Modeling Method

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 attached describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

Site and Facility Description

Based upon information provided by Verizon, including zoning drawings by SAC Wireless, LLC., dated March 6, 2014, it is proposed to install twelve directional panel antennas – six Andrew Model LNX-6514DS antennas and six Andrew Model HBXX-6517DS antennas – on a new 50-foot steel pole, configured to resemble a pine tree, to be sited near the undeveloped, south corner of the property of Cornerstone Community Church of Atascadero, located at 9658 Morro Road in Atascadero. The antennas would be mounted with no downtilt at an effective height of about 47 feet above ground and would be oriented in groups of four toward 0°T, 120°T, and 240°T, to provide service in all directions. The maximum effective radiated power in any direction would be 13,700 watts, representing simultaneous operation at 4,950 watts for AWS, 4,520 watts for PCS, 2,630 watts for cellular, and 1,600 watts for 700 MHz service. There are reported no other wireless telecommunications base stations at the site or nearby.

Study Results

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation is calculated to be 0.016 mW/cm², which is 1.8% of the applicable public exposure limit. The maximum calculated level at the second-floor elevation of any nearby residence* is 2.2% of the public exposure limit. It should be noted that these results include several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operation.

* Located at least 70 feet away, based on photographs from Google Maps.

**Verizon Wireless • Proposed Base Station (Site No. 276961 “Highway 41/Portola Rd”)
9658 Morro Road • Atascadero, California**

No Recommended Mitigation Measures

Due to their mounting locations, the Verizon antennas would not be accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. It is presumed that Verizon will, as an FCC licensee, take adequate steps to ensure that its employees or contractors receive appropriate training and comply with FCC occupational exposure guidelines whenever work is required near the antennas themselves.

Conclusion

Based on the information and analysis above, it is the undersigned’s professional opinion that operation of the base station proposed by Verizon Wireless at 9658 Morro Road in Atascadero, California, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations.

Authorship

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2015. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.



William F. Hammett, P.E.

707/996-5200

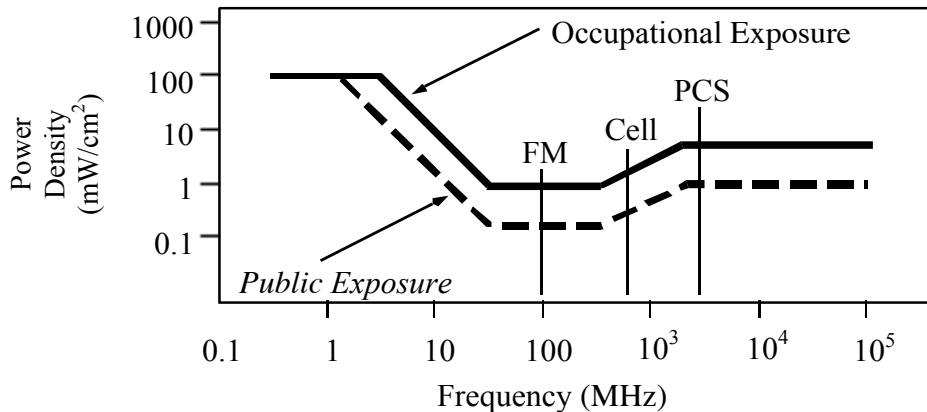
July 15, 2014

FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

Frequency Applicable Range (MHz)	Electromagnetic Fields (f is frequency of emission in MHz)					
	Electric Field Strength (V/m)		Magnetic Field Strength (A/m)		Equivalent Far-Field Power Density (mW/cm ²)	
0.3 – 1.34	614	<i>614</i>	1.63	<i>1.63</i>	100	<i>100</i>
1.34 – 3.0	614	<i>823.8/f</i>	1.63	<i>2.19/f</i>	100	<i>180/f²</i>
3.0 – 30	1842/f	<i>823.8/f</i>	4.89/f	<i>2.19/f</i>	900/f ²	<i>180/f²</i>
30 – 300	61.4	<i>27.5</i>	0.163	<i>0.0729</i>	1.0	<i>0.2</i>
300 – 1,500	3.54√f	<i>1.59√f</i>	√f/106	<i>√f/238</i>	f/300	<i>f/1500</i>
1,500 – 100,000	137	<i>61.4</i>	0.364	<i>0.163</i>	5.0	<i>1.0</i>



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

Near Field.

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$, in mW/cm²,

and for an aperture antenna, maximum power density $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$, in mW/cm²,

- where θ_{BW} = half-power beamwidth of the antenna, in degrees, and
- P_{net} = net power input to the antenna, in watts,
- D = distance from antenna, in meters,
- h = aperture height of the antenna, in meters, and
- η = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

Far Field.

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

power density $S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}$, in mW/cm²,

- where ERP = total ERP (all polarizations), in kilowatts,
- RFF = relative field factor at the direction to the actual point of calculation, and
- D = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.



CITY OF ATASCADERO INITIAL STUDY

Exhibit A Mitigation Monitoring Program PLN-2014-1524 / CUP-2014-0283	Timing	Responsibility /Monitoring	Agency Requirement
	FM: Final Map GP: Grading Permit BP: Building Permit TO: Temporary Occupancy FI: Final Inspection FO: Final Occupancy	PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney AMWC: Water Comp.	FED: Federal Government CAL: California Government LOC: Local Government
<u>Mitigation Measure 3.b.1:</u> The project shall be conditioned to comply with all District regulations pertaining to the control of fugitive dust (PM-10) as contained in Section 2 “Assessing and Mitigating Construction Impacts.”	BP	BS/PS	CAL
<u>Mitigation Measure 3.b.2:</u> The project shall be conditioned to comply with all applicable APCD regulations pertaining to Naturally Occurring Asbestos (NOA). Prior to any grading activities a geologic evaluation should be conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, and exemptions request must be filed with the District. If NOA is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety program for approval by the APCD. Technical Appendix 4.4 of the SLO County APCD CEQA Air Quality Handbook includes a map of zones throughout San Luis Obispo County where NOA has been found and geological evaluation is required prior to any grading.	BP	BS/PS	CAL
<u>Mitigation 5.b.1:</u> In the event that archaeological resources are discovered on the property, all work on the project shall stop. When a project will impact an archeological site, the Atascadero Community Development Department shall first determine whether the site is a historical resource. If a lead agency determines that the archaeological site is an historical resource, it shall refer to the Public Resources Code Sections for guidance. If an archaeological resource is neither a unique archaeological nor an historical resource, the effects of the project on those resources shall not be considered a significant effect on the environment.	BP/GP	PS/BS	CAL
<u>Mitigation 5.d.1:</u> In the event that human remains are discovered on the property, all work on the project shall stop and the Atascadero Police Department and the County Coroner shall be contacted. The Atascadero Community Development Department shall be notified. If the human remains are identified as being Native American, the California Native American Heritage Commission (NAHC) shall be contacted at (916) 653-4082 within 24 hours. A representative from both the Chumash Tribe and the Salinan Tribe shall be notified and present during the excavation of any remains.	Ongoing	PS	CAL
<u>Mitigation Measure 6.c.d.1:</u> A soils report shall be required to be submitted with a building permit by the building department. The building plans will be required to follow the recommendations of the	BP	BS/PS	CAL



Exhibit A Mitigation Monitoring Program PLN-2014-1524 / CUP-2014-0283	Timing FM: Final Map GP: Grading Permit BP: Building Permit TO: Temporary Occupancy FI: Final Inspection FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney AMWC: Water Comp.	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
soils report to assure safety for residents and buildings. The property contains no unusual geological formations.			
<u>Mitigation Measure 9.e.f.1:</u> The developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Failure to comply with the approved construction Best Management Practices will result in the issuance of correction notices, citations, or stop orders.	BP	BS/PS	CAL
<u>Mitigation Measure 12.d.1:</u> All construction activities shall comply with the City of Atascadero Noise Ordinance for hours of operation.	BP	BS/PS	LOC
<u>Mitigation Measure 16. e.</u> The proposed cellular facility must be consistent with Atascadero Fire Department Standards.	BP	BS/PS	LOC



ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---------------------------------------------------|-----------------------------------------------------------|-------------------------------------------------------------|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forest Resources | <input checked="" type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality |
| <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Noise |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

I find that the proposed project MAY have a "potentially significant effect" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project.

4-28-2015

Alfredo R. Castillo, AICP, Planner

Date



EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, and then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
 - a) The significance criteria or threshold, if any, used to evaluate each question; and
 - b) The mitigation measure identified, if any, to reduce the impact to less than significance.



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	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. AESTHETICS -- Would the project:

a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project Description, Site Plan, Elevation Drawings, California Department of Transportation, FEIR, 2002

DISCUSSION:

1.a. The proposed project does not substantially obscure a scenic vista. Scenic vistas are described as landscapes, "visible to a large number of people. In addition, resources visible to recreating persons are considered of higher scenic value, as opposed to views enjoyed by persons commuting to work or other daily activities proposed." (FEIR, 2002) The project is not within a recreational context. The proposed project consists of a 45' tower to blend the new cellular facility in with its surrounding aesthetics. The project also utilizes a church tower roof covering with fiberglass reinforced plastic panel to match the exiting roof tiles. All additional structures are expected to match and blend with the existing building exterior. The new concrete masonry unit (CMU) wall will also aid in shielding equipment from public viewpoints, and will match the existing building exterior as well. See the photo simulations (Attachment 5) for additional illustrations. Therefore, no impact is determined.

1.b. The project is not viewable from a designated state scenic highway. No impact is determined.

1.c. The proposed project is within the character of the surrounding area. The project is to be built as an addition to an established church, with its aesthetic quality designed to match the existing church architecture, color, and building style. Therefore, the impact is considered less than significant.

1.d. A cellular tower at this location is not expected to generate substantial light or glare. Any additional lighting will need to comply with the City's lighting regulations for shielded lights and no off-sight spillage. The impact is considered less than significant.

2. AGRICULTURAL AND FOREST RESOURCES -- In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and the forest carbon measurement methodology provided in the Forest Protocols adopted by the California Air Resources Board. Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined in Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))??	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Site Plan, Department of Conservation, Atascadero General Plan

DISCUSSION

- 2.a. The property is not shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency as prime farmland. Therefore, no impact.
- 2.b. The property is not in an agricultural zone and is not under a Williamson Act contract. Therefore, no impact.
- 2.c. The project does not involve rezoning of forest land or timberland. No impact is determined.
- 2.d.e. The project will not result in a loss of forest land and will not result in a conversion of forest land to non-forest use or farmland to non-agricultural uses. There is no impact.

3. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions that exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Air Pollution Control District (APCD) CEQA Air Quality Handbook, 2012; Project Description, Site Plan

DISCUSSION:

- 3. a.c.) According to the Operational Screening Criteria for Project Air Quality Analysis (SLOAPCD, 2012), the project does not contribute enough pollutants to exceed the Annual GHG Bright Line Threshold, as well as the APCD Daily Ozone Precursor Significance Threshold. Therefore no significant impacts were found.
- 3.b.) Construction activities, including site grading, have the potential to produce small quantities of air pollution that include dust and equipment exhaust. Air quality impacts from construction will be temporary and short term. The project shall be conditioned to comply with all applicable APCD regulations pertaining to the control of fugitive dust



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(PM-10) as showed in Section 2 “Assessing and Mitigating Construction Impacts” of the April 2012 CEQA Air Quality Handbook. The proposed project is within the South Central Coast Air Basin and is in a non-attainment zone for Particle Mater (PM-10).

3.d.e) The construction of the cellular facility will not concentrate pollutants or create objectionable odors.

Mitigation Measure 3.b.1: The project shall be conditioned to comply with all applicable District regulations pertaining to the control of fugitive dust (PM-10) as contained in Section 2 “Assessing and Mitigating Construction Impacts.”

2.4 Fugitive Dust Mitigation Measures: Short List

- A. Reduce the amount of the disturbed areas where possible;
- B. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible;
- C. All dirt stock pile areas should be sprayed daily as needed;
- D. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used;
- E. All of these fugitive dust mitigation measures shall be shown on grading and building plans;
- F. The contractor or builder shall designate a person or person to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complains, reduce visible emission below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading, earthwork or demolition.

Mitigation Measure 3.b.2: The project shall be conditioned to comply with all applicable APCD regulations pertaining to Naturally Occurring Asbestos (NOA). Prior to any grading activities a geologic evaluation should be conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, and exemptions request must be filed with the District. If NOA is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety program for approval by the APCD. Technical Appendix 4.4 of the SLO County APCD CEQA Air Quality Handbook includes a map of zones throughout San Luis Obispo County where NOA has been found and geological evaluation is required prior to any grading.

4. BIOLOGICAL RESOURCES -- Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Atascadero Native Tree Regulations; General Plan 2025; Site Plan, Site Visit, National Wetland Inventory

DISCUSSION:

- 4.a. During a site visit, it was determined that no sensitive species were located near the project site. Therefore, no impact is expected to occur.
- 4.b. Using the National Wetland Inventory Map provided by the U.S. Fish and Wildlife Service, it was determined that there is no riparian habitat within the project site. There is no impact.
- 4.c. The latest National Wetland Inventory Map provided by the U.S. Fish and Wildlife Service indicated that there are no wetlands on the project site as defined by Section 404 of the Clean Water Act. No impact is determined.
- 4.d. Cellular communications facilities are known by the U.S. Fish and Wildlife Service to have an impact on migratory birds in particular. However, the Land Use Element EIR concludes that development within the City limits will not have a significant impact on wildlife or wildlife corridors. Development of this type was accounted for in the EIR and the property is within the Urban Services Line. Therefore, a less than significant impact is determined.
- 4.e. The proposed project does not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. All utilities servicing the site are located underground. No grading is expected to occur and no impact is determined.
- 4.f. The proposed project is not located in an area that will conflict with an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan. No impact is determined.

5. CULTURAL RESOURCES -- Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in '15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to '15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project description; Site Plan, CEQA Guidelines Sections 15060 to 15065, Atascadero City GIS Data, Site Visit

DISCUSSION:

- 5.a. There are no known historic resources located on or adjacent to the site based on GIS data collected by the City of Atascadero. Therefore, no impact.
- 5.b. There are no known archaeological resources located on or adjacent to the project site based on City GIS data that identifies area of archaeological significance. Mitigation is proposed to make any potential impact less than



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significant.

5. c. Paleontological resources or unique geologic features are not known to be located on the project site based on City GIS data. Therefore, no impact.

5. d. No known human remains have been found or documented in the vicinity of the project, however construction activities may unearth remains. Mitigation is proposed to make this impact less than significant.

Mitigation 5.b.1: In the event that archaeological resources are discovered on the property, all work on the project shall stop. When a project will impact an archeological site, the Atascadero Community Development Department shall first determine whether the site is a historical resource. If a lead agency determines that the archaeological site is an historical resource, it shall refer to the Public Resources Code Sections for guidance. If an archaeological resource is neither a unique archaeological nor an historical resource, the effects of the project on those resources shall not be considered a significant effect on the environment.

Mitigation 5.d.1: In the event that human remains are discovered on the property, all work on the project shall stop and the Atascadero Police Department and the County Coroner shall be contacted. The Atascadero Community Development Department shall be notified. If the human remains are identified as being Native American, the California Native American Heritage Commission (NAHC) shall be contacted at (916) 373-3710 within 24 hours. A representative from listed tribes shall be notified and present during the excavation of any remains.

6. GEOLOGY AND SOILS -- Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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SOURCES: Project description; Site Plan, City of Atascadero GIS Data

DISCUSSION:

6.a. The City of Atascadero GIS Data shows that the project is not located on any known earthquake faults, and the property contains no unusual geological formations. However, the liquefaction and landslide risks were noted as moderate, but are determined to be less than significant with mitigations.

6.b. Construction activity on site is minimal and is not expected to generate a significant impact.

6.c.d.e. Soil conditions will be reviewed during building permit review in accordance with the municipal code. Soils report is required for submittal with a future building permit by the development. The building plans will be required to following the recommendations of the soil report to assure safety of the buildings. Implementation of mitigation measures reduce this impact to a less than significant impact.

Mitigation Measure 6.c.d.1: A soils report shall be required to be submitted with a building permit by the building department. The building plans will be required to follow the recommendations of the soils report to assure safety for residents and buildings. The property contains no unusual geological formations.

7. GREENHOUSE GAS EMISSIONS -- Would the project:

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SOURCES: Project description, Site Plan, San Luis Obispo County Air Pollution Control District (APCD) CEQA Air Quality Handbook, 2012; Atascadero Climate Action Plan, General Plan 2025, 2014

DISCUSSION:

7.a. The project will not generate greenhouse gas emission directly or indirectly that will have a significant impact on the environment. The proposed project is cellular facility, and will not generate more than 1,150 metric tons per year (MT/yr) of CO₂e; ORr 4.9 MT CO₂e/service population (SP)/yr (residents + employees²). Therefore, no impact is determined.

7.b. The new cellular facility is consistent with City and regional plans, policies, and regulations, regarding reduction of emissions of greenhouse gases. The proposed project is consistent with adopted 2014 Climate Action Plan (CAP). No impact is determined.

8. HAZARDS AND HAZARDOUS MATERIALS -- Would the project:

- | | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |



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Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| e) For a project located within an airport land use plan area or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people living or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people living or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SOURCES: Project description; General Plan Land Use Element, Department of Toxic Substances Control: EnviroStor. GIS

DISCUSSION

8a.b.c. The proposed cellular facility does not generate or involve use of significant amounts of hazardous materials. There are no known hazardous materials on the site or nearby according to Department of Toxic Substances Control: EnviroStor. No impact is determined.

8.d. The property is not a listed hazardous material site based on the EnviroStor map. No impact is determined.

8e.f. The property is not near an airport. No impact is determined.

8g.h. Although GIS determines the site has a high fire severity level, the site is within the Fire Department's five minute or less response area. During building permit review, the fire department will verify appropriate fire hydrant locations consistent with California Building Code. The implementation of these measures makes this impact less than significant.

9. HYDROLOGY AND WATER QUALITY -- Would the project:

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Violate any water quality standards or waste discharge requirements? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of previously-existing nearby wells would drop to a level that would not support existing land uses or planned uses for which permits have been granted)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |



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stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?

e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures that would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description, GIS, FEMA Flood Map, Site Plan, Resolution No. R3-2013-0032 Central Coast Water Control Board, California Department of Conservation

DISCUSSION:

- 9a. The construction of the cellular facility will not violate water quality standards. No impact is determined.
- 9b. The project will not deplete ground water supplies. Water will be provided by Atascadero Mutual Water Company.
- 9c.d.f. Construction activities are subject to review for compliance with City drainage and grading regulations. Drainage will not be permitted to create or intensify any hazards for persons or property in the vicinity.
- 9e. The Central Coast Water Control Board requires reducing pollutant discharges to the Maximum Extent Practicable and preventing storm water discharges from causing or contributing to a violation of receiving water quality standards in all applicable development projects that require approvals and/or permits issued under the Permittee's planning, building, or other comparable authority.
- 9.g.h.i. The proposed cellular facility is outside of the 100-year flood hazard area. No impact was determined.
- 9.j. The project area is not subject to inundation by a tsunami, according to the California Department of Conservation and no impact was determined.

Mitigation Measure

9.e.f.1: The developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Failure to comply with the approved construction Best Management Practices will result in the issuance of correction notices, citations, or stop orders.

10. LAND USE AND PLANNING - Would the project:

a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



Initial Study 2015-0004 PLN 2014-1524 / CUP 2014-0283 9685 Morro Road – Wireless Cell Phone Tower	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Land Use Element; project description; Lot Line Adjustment Map, Atascadero Municipal Code

DISCUSSION:

10.a. The project will not physically divide an established community. The proposed project is located away from any established communities. There is no impact.

10.b. The General Plan identifies the proposed cellular facility as a compatible use upon the approval of a Conditional Use Permit (CUP) in the Public (P) Zone. The proposed use is also consistent with City ordinances that permit the construction and use of cellular facility with a CUP. The site's zoning and use is consistent with the General Plan with a CUP. There is no impact.

10.c. The project is consistent with the open space and conservation policies identified in the General Plan. There is no impact.

11. MINERAL RESOURCES -- Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; Planning staff site visit.

DISCUSSION:

11.a.b. No mining is proposed as a part of this project. No known mineral resources have been identified in the area. Therefore, no impact is determined.

12. NOISE -- Would the project result in:

a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people living or working in the project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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9685 Morro Road – Wireless Cell Phone Tower

Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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area to excessive noise levels?

SOURCES: Project description; Noise Element; Noise Ordinance; Acoustical Design Manual.

DISCUSSION:

12a.b.c.d. Construction is expected to involve some construction equipment and use of impact tools that make noise. Noise levels on the site are thus expected to be raised temporarily. The cellular facility is not expected to generate unacceptable levels of noise. Any electrical or mechanical equipment used for construction of the proposed project is required to comply with the Atascadero Noise Ordinance, Chapter 14 in the Atascadero Municipal Code. Any permanent change in ambient noise levels that might be created by equipment or equipment shelter mechanical features will be required to be designed to be consistent with the Noise Ordinance. Therefore, the impact is less than significant.

12.e.f.) The project is not located within an airport land use plan or private airstrip. Therefore, no impact is determined.

13. POPULATION AND HOUSING -- Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; General Plan Land Use Element, FEIR.

DISCUSSION:

13.a.) A cellular facility will not contribute to the increase in population of the City. The cellular facility will not be inhabited by any persons, and will only routinely be visited for maintenance purposes. Therefore, no impact was determined.

13.b.c.) No housing or persons will be displaced. Therefore, there is no impact.

14. PUBLIC SERVICES -- Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other public facilities?				



Initial Study 2015-0004 PLN 2014-1524 / CUP 2014-0283 9685 Morro Road – Wireless Cell Phone Tower	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project description; Land Use Element EIR.

DISCUSSION:

14 a. No development impact fees are required for the facility that is being constructed. Therefore, no impact is determined.

15. RECREATION --

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; Parks and Recreation Element.

DISCUSSION:

15.a. No new residents will be added to the City's population as a result of this project's construction. There is no impact.
 15.b. The project does not involve construction of recreational facilities. There is no impact.

16. TRANSPORTATION/TRAFFIC -- Would the project:

a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



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f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

SOURCES: Land Use Element; Circulation Element; Project Description; ITE Trip Generation Rates (8th edition), Atascadero Fire Department, City of Atascadero Engineering Standards

DISCUSSION:

16a.b. The Circulation Element in the Atascadero General Plan identifies policies and programs to address cumulative trips in Atascadero. The project is not expected to substantially increase the amount of generated trips to create a significant impact. The project is consistent with polices and mitigations discussed in the Circulation Element.
 16.c. No changes will occur to air traffic patterns.
 16.d. The proposed project will not substantially increase hazards due to a design feature.
 16.e. The proposed project will have adequate emergency through appropriate mitigations. GIS data shows that although the project site has a high fire risk, the site has a less than 5 minutes fire response.
 16.f. The proposed project will not affect the circulation in the area. The home will have no significant impact of the performance of circulation in the area.

Mitigation Measure:

16. e. The proposed cellular facility must be consistent with Atascadero Fire Department Standards.

17. UTILITIES AND SERVICE SYSTEMS --Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider that serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; Land Use Element; Hydrology and Water Quality Element

DISCUSSION:

Water: The Atascadero Mutual Water Company (AMWC) provides water to the established property (church). All



Initial Study 2015-0004

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9685 Morro Road – Wireless Cell Phone Tower

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property within the City limits is entitled to water from the AMWC. The project is not expected to require a significant quantity of water for the proposed use.

Water is pumped from several portions of the largest underground basin in the county, the Paso Robles Formation, using a series of shallow and deep wells. The water company anticipates that it will be able to meet the city's needs through build out and beyond:

Water demand at build out is estimated to be at 16,000-20,000 acre-feet per year (AFY). The City is projected to have enough water to meet the demand with the approval of the Nacimiento Water Project which has allocated the City an additional 3,000 AFY with a flow rate of 3.48 million gallons per day (mgd).

The project will not require additional water.

Storm Water. On-site storm water drainage will be managed by the design of the existing facility.

No impact is determined.

18. MANDATORY FINDINGS OF SIGNIFICANCE --

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Does the project have the potential to achieve short-term environmental goals to the disadvantage of long term environmental goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DISCUSSION: The project is an addition to an established religious building site which is currently being proposed for the new cellular facility, consistent with the General Plan and Zoning Ordinance, and upon approval of a required Conditional Use Permit (CUP). The proposed project has been analyzed as required by CEQA and the Atascadero Municipal Code. Project-related impacts have been identified and mitigation measures have been included within the proposal to reduce the effect of the proposed project as described herein.

SOURCES:

General Plan 2025, City of Atascadero, 2004
California Department of Conservation
Zoning Ordinance, part of Municipal Code, City of Atascadero, as amended through March 2012.
CEQA Air Quality Handbook, Air Pollution Control District San Luis Obispo County, April 2012



Acoustical Design Manual, Brown-Buntin Associates, 1991
Flood Insurance Map FEMA Flood Map
Central coast Water Control Board
CEQA Guidelines, Sections 15060 to 15065
City of Atascadero, GIS Data
Atascadero Fire Department
City of Atascadero Engineering Standards
California Department of Toxic Substances Control: Envirostor
ITE Trip Generation Rates (8th edition)
Atascadero Climate Action Plan 2014

PROJECT SOURCES:

Project Description
Site Survey
Site Plan
Elevations

DRAFT RESOLUTION PC 2015-A

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ATASCADERO APPROVING
PLN 2014-1524/CONDITIONAL USE PERMIT 2014-0283
TO ALLOW A CELLULAR TELECOMMUNICATIONS FACILITY
IN A PUBLIC ZONE
AT 9685 MORRO ROAD, APN 054-151-031
(TEK CONSULTING / CORNERSTONE COMMUNITY CHURCH)**

WHEREAS, an application has been received from Applicant Tricia Knight, TEK Consulting, 123 Seacliff Dr., Pismo Beach, CA 93449, and Property Owner, Cornerstone Community Church, 9685 Morro Road, CA 93422, to consider a project consisting of a Conditional Use Permit 2014-0283 to allow a Wireless Communications Tower on a portion of 4.41 acre parcel at 9685 Morro Road (APN 054-151-031); and,

WHEREAS, the site's current General Plan Designation is Public (P); and,

WHEREAS, the site's current zoning district is Public (P); and,

WHEREAS, a Conditional Use Permit is required for cellular facilities in the City of Atascadero; and,

WHEREAS, an Initial Study and Proposed Mitigated Negative Decalration2015-004 were prepared for the project and made available for public review in accordance with the requirements of the California Environmental Quality Act (CEQA); and,

WHEREAS, the laws and regulations relating to the preparation and public notice and hearing, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and,

WHEREAS, a timely and properly noticed Public Hearing upon the subject application was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Master Plan of Development Amendments; and,

WHEREAS, the Planning Commission of the City of Atascadero, at a duly noticed Public Hearing held on May 19, 2015, studied and considered CUP 2014-0283,

NOW, THEREFORE, the Planning Commission of the City of Atascadero takes the following actions:

SECTION 1. Findings of Environmental Certification. The Planning Commission finds as follows:

1. The Proposed Negative Declaration has been completed in compliance with CEQA guidelines section 15070 through 15075; and,
2. Proposed Negative Declaration 2015-0004 was circulated for a 30-day public review from April 28, 2015 to May 17, 2015, consistent with CEQA Guidelines section 15105 (b); and
3. CEQA section 21091(f) and 15704 require a lead agency to consider a Negative Declaration together with any comments received before approving the projects, one (1) written comments received by the lead agency; and
4. The City of Atascadero Community Development Department is the custodian of Negative Declaration 2015-0004 along with other material that constitutes the record of proceedings upon which this determination is made, which this record is available to the public for viewing at 6500 Palma Avenue, Atascadero, CA 93422; and
5. Based on the Planning Commission recommendation there is no substantial evidence that the project may have a significant effect on the environment; and
6. Based on the entire record, including any comments received, and the Planning Commission determines that there is no substantial evidence that the project may have a significant effect on the environment; and
7. The Negative Declaration prepared for the project reflects the Planning Commission's independent judgment and analysis.

SECTION 2. Findings for approval of Conditional Use Permit. The Planning Commission finds as follows:

1. The proposed project or use is consistent with the General Plan, as well as the City's Appearance Review Manual and any pertinent City policy or criteria adopted by ordinance or resolution of the City Council; and,
2. The proposed project or use satisfies all applicable provisions of the Title (Zoning Ordinance); and,
3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use; and,

4. That the proposed project or use will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development; and,
5. That the proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

SECTION 3. Height Requirement Waiver. The Planning Commission finds as follows:

1. The proposed project will not result in substantial detrimental effects on the enjoyment and use of adjoining properties.
2. The modified height will not exceed the lifesaving equipment capabilities of the Fire Department.

SECTION 4. Approval. The Planning Commission of the City of Atascadero, in a regular session assembled on May 19, 2015, resolved to approve the amended Conditional Use Permit 2014-0283 subject to the following:

- EXHIBIT A: Mitigated Negative Declaration 2015-0004
- EXHIBIT B: Conditions of Approval / Mitigation Monitoring Program
- EXHIBIT C: Proposed Site Plan
- EXHIBIT D: Existing and Proposed Elevations

On motion by Commissioner _____, and seconded by Commissioner _____ the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ()
NOES: ()
ABSTAIN: ()
ABSENT: ()
ADOPTED:

CITY OF ATASCADERO, CA

Mark Dariz
Planning Commission Chairperson

Attest:

Robert A. Lewis
Planning Commission Secretary



CITY OF ATASCADERO

COMMUNITY DEVELOPMENT DEPARTMENT

(ENDORSED)
FILED

APR 28 2015

TOMMY GONG, COUNTY CLERK

 DEPUTY CLERK

NOTICE OF INTENT TO ADOPT PROPOSED MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that the Environmental Coordinator of the City of Atascadero has completed a review of the following project and is proposing the following environmental determination:

Property Owner/Applicant:	Cornerstone Community Church, 7920 Santa Rosa Road, Atascadero, CA 93422 Represented by Tricia Knight for TEK Consulting, 123 Seaciff Dr., Pismo Beach, CA 93449
Project Title:	Wireless Cellular Communications Tower at 9685 Morro Road – PLN-2014-1524 / CUP-2014-0283
Project Location:	9685 Morro Road, Atascadero, CA 93422 (San Luis Obispo County) APN: 054-151-031
Project Description:	<p>Applicant is requesting a conditional use permit (CUP) for a new Verizon Unmanned Telecommunications Wireless Facility. The project consists of a 100 square foot (sf) antenna lease area, 503 sf equipment lease area, two GPS antennas, and a generator. The project will also include a new electrical meter mounted on a new wall, a 45 foot faux church tower, twelve new six (6') feet tall antennas. Additional equipment includes:</p> <p style="padding-left: 40px;">New Verizon Wireless 9'0 Tall CMU Wall</p> <p style="padding-left: 40px;">New Verizon Wireless Outdoor Equipment on a 180 sf Concrete Pad</p> <p>The project requires further environmental review consistent with the California Environmental Quality Act (CEQA) based on aesthetics, air quality, hydrology/water quality, and noise.</p> <p>Zoning: Public (P)</p> <p>General Plan Designation: Public (P)</p>

Environmental Review Dates:	Begins: April 28, 2015 Ends: May 17, 2015
Electronic Public Review:	This Document can be found electronically in PDF format on the City of Atascadero Website: http://www.atascadero.org/environmentaldocs
Proposed Environmental Determination:	Based on the Initial Study prepared for the project, a Mitigated Negative Declaration is proposed. The Mitigated Negative Declaration is available for public review from 4/28/2015 through 5/17/15 at 6500 Palma Avenue, Community Development Department from 8:30 a.m. to 5:00 p.m. Monday through Thursday.
Hearing Date:	The hearing will be held at City Hall at 7:00 p.m. on Tuesday, May 19, 2015 at 6500 Palma Avenue, 4 th Floor, Atascadero, CA.

Any interested person may review the proposed Mitigated Negative Declaration and project files. Questions should be directed to Alfredo R. Castillo, ATCP, at 805-470-3436.

Robert A. Lewis, Interim Community Development Director

APR 28 2015

Date

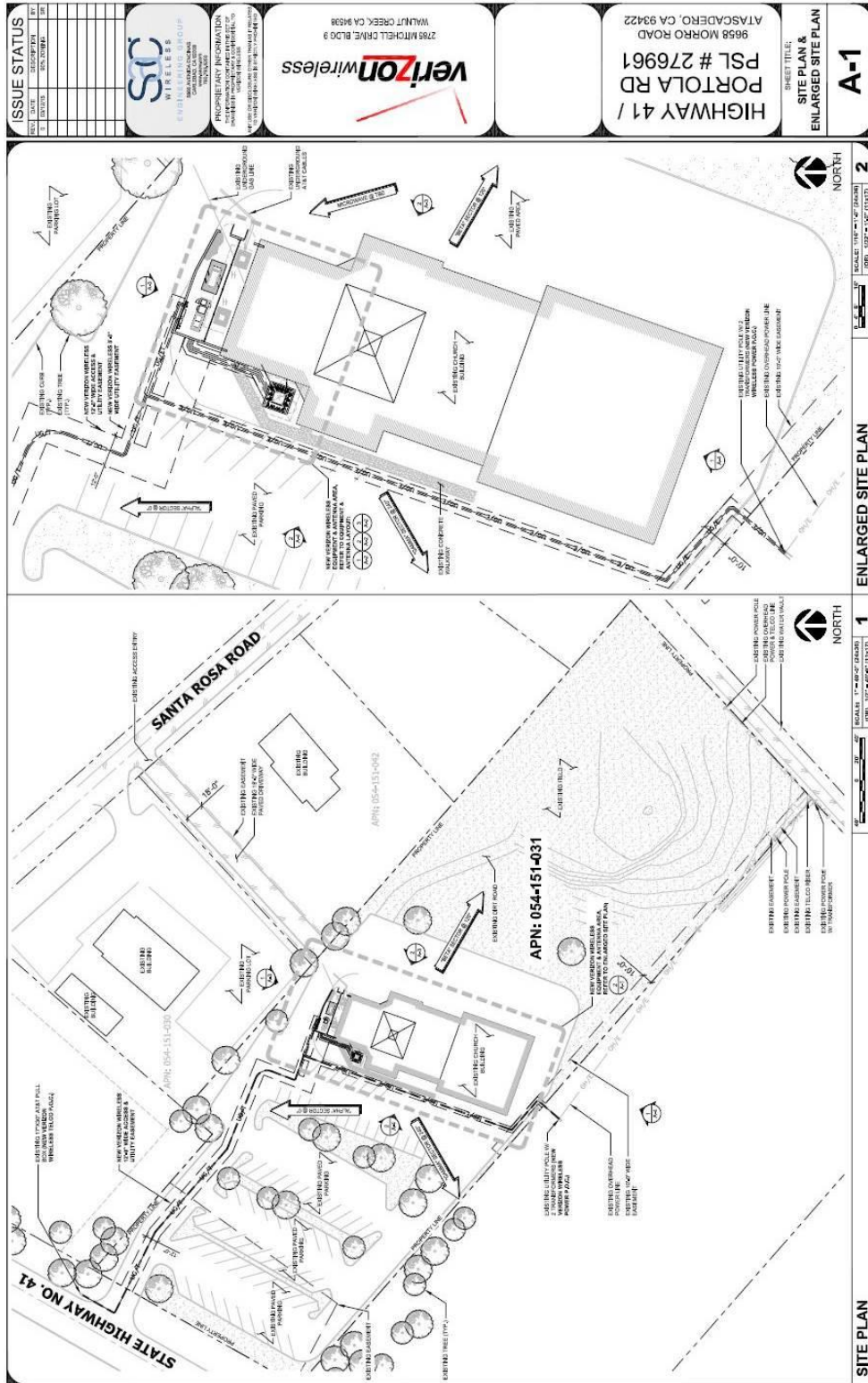
**EXHIBIT B: Conditions of Approval / Mitigation Monitoring Program
 PLN 2014-1524 / CUP 2014-0283 – 9685 Morro Road**

Conditions of Approval / Mitigation Monitoring Program PLN-2014-1524 / CUP-2014-0283 9685 Morro Road Cellular Facility	Timing FM: Final Map GP: Grading Permit BP: Building Permit TO: Temporary Occupancy FI: Final Inspection FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney AMWC: Water Comp.	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
Standard Conditions			
1. The approval of this use permit shall become final and effective for the purposes of issuing building permits, provided the required conditions of approval have been satisfied, fourteen (14) days following the Planning Commission approval unless prior to the time, an appeal to the decision is filed as set forth in Section 9-1.111(b) of the Zoning Ordinance.	BP	PS	LOC
2. Approval of this Conditional Use Permit shall be valid for twenty – four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless the applicant has received a building permit or applied for an extension of entitlement.	BP	PS	LOC
3. The Community Development Department shall have the authority to approve minor changes to the project that (1) increase the square footage of the project by less than 10%, (2) result in a superior site design or appearance, and/or (3) address a construction design issue that is not substantive to the Conditional Use Permit.	BP	PS	LOC
Project Conditions			
4. All site design, landscaping, antenna / shelter placement, site fencing, exterior elevations, finish materials and colors shall be consistent with Exhibit C and Exhibit D.	BP/FO	PS	LOC
5. Cellular tower shall not exceed a height of 45-feet, measured from the highest point of the structure to ground level, consistent with Exhibit D	BP	PS	LOC
6. Cellular provider shall be limited to that area which is shown on Exhibit C. Co-location for additional wireless carriers will be required to obtain approval of a separate Conditional Use Permit or as required by the Federal Communications Commission (FCC).	On-Going	PS	LOC / FED
7. Proposed colors for cell phone tower must be consistent with existing church colors and materials.	BP	PS	LOC
8. The proposed CMU wall shall encase the equipment shelter on all sides with the exception of a gated fence. The gated fence must use vinyl slats or other type of screening.	BP	PS	LOC

Conditions of Approval / Mitigation Monitoring Program PLN-2014-1524 / CUP-2014-0283 9685 Morro Road Cellular Facility	Timing FM: Final Map GP: Grading Permit BP: Building Permit TO: Temporary Occupancy FI: Final Inspection FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney AMWC: Water Comp.	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
9. Proposed color of CMU wall shall be consistent with the existing architecture of the church facility and faux tower.	BP	PS	LOC
10. Lighting installations shall be consistent with the approved site plan. No new light glare sources shall be permitted.	BP	PS	LOC
11. While Staff and the applicant have previously determined the absence of hazardous materials on site via the Department of Toxic Substances Control EnviroStor map, Staff will comply with the Public Health's Department request that the applicant provide details on the levels of sulfuric acid, propane, and diesel fuel that the new cellular facility could potentially produce. The thresholds to be tested against will be the 200 cubic feet for propane and 55 gallons for diesel fuel and sulfuric acid. Details on the volumes of the sulfuric acid onsite and how the volume of sulfuric acid was calculated shall be provided. In the case that any one of these toxic substances surpasses the thresholds stated, the applicant will be required to submit a Hazardous Materials Business Plan (HMBP) either via the state California Reporting System (CERS) or through the local portal (www.ezsubmitsolgov.org). The approval of the Conditional Use Permit (CUP) will be subject to the completion of this request.	BP	PS	CAL
City Engineer Conditions			
12. The applicant shall be responsible for the relocation and/or alteration of existing utilities.	BP	CE	LOC / CAL
13. Prior to the issuance of building permits the applicant shall submit a grading and drainage plan prepared by a registered civil engineer for review and approval by the City Engineer, if required.	BP	CE	LOC
14. Prior to the final inspection, the applicant shall submit a written statement from a registered civil engineer that all work has been completed and is in full compliance with the approved plans and the California Building Code (CBC) prior to the final inspection, if required.	FO	CE	LOC
Mitigation Monitoring Program 2015-0004			
Mitigation Measure 3.b.1: The project shall be conditioned to comply with all District regulations pertaining to the control of fugitive dust (PM-10) as contained in Section 2 "Assessing and Mitigating Construction Impacts.	BP	BS/PS	CAL
Mitigation Measure 3.b.2: The project shall be conditioned to comply with all applicable APCD regulations pertaining to Naturally Occurring Asbestos (NOA). Prior to any grading activities a geologic evaluation should be conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, and exemptions request must be filed with the District. If NOA is found at the site, the applicant	BP	BS/PS	CAL

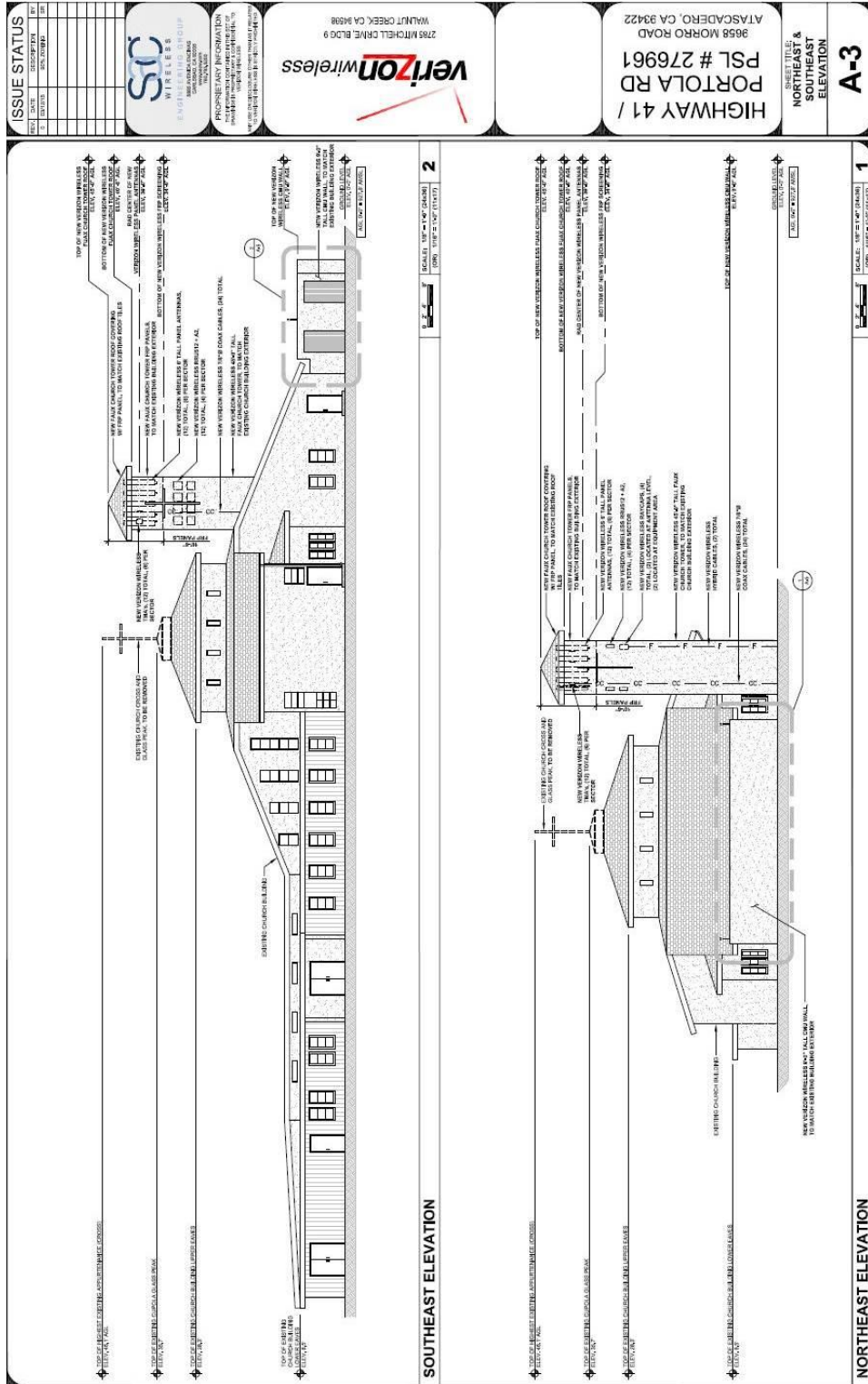
Conditions of Approval / Mitigation Monitoring Program PLN-2014-1524 / CUP-2014-0283 9685 Morro Road Cellular Facility	Timing FM: Final Map GP: Grading Permit BP: Building Permit TO: Temporary Occupancy FI: Final Inspection FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney AMWC: Water Comp.	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
<p>must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety program for approval by the APCD. Technical Appendix 4.4 of the SLO County APCD CEQA Air Quality Handbook includes a map of zones throughout San Luis Obispo County where NOA has been found and geological evaluation is required prior to any grading.</p>			
<p><u>Mitigation 5.b.1:</u> In the event that archaeological resources are discovered on the property, all work on the project shall stop. When a project will impact an archeological site, the Atascadero Community Development Department shall first determine whether the site is a historical resource. If a lead agency determines that the archaeological site is an historical resource, it shall refer to the Public Resources Code Sections for guidance. If an archaeological resource is neither a unique archaeological nor an historical resource, the effects of the project on those resources shall not be considered a significant effect on the environment.</p>	BP/GP	PS/BS	CAL
<p><u>Mitigation 5.d.1:</u> In the event that human remains are discovered on the property, all work on the project shall stop and the Atascadero Police Department and the County Coroner shall be contacted. The Atascadero Community Development Department shall be notified. If the human remains are identified as being Native American, the California Native American Heritage Commission (NAHC) shall be contacted at (916) 653-4082 within 24 hours. A representative from both the Chumash Tribe and the Salinan Tribe shall be notified and present during the excavation of any remains.</p>	Ongoing	PS	CAL
<p><u>Mitigation Measure 6.c.d.1:</u> A soils report shall be required to be submitted with a building permit by the building department. The building plans will be required to follow the recommendations of the soils report to assure safety for residents and buildings. The property contains no unusual geological formations.</p>	BP	BS/PS	CAL
<p><u>Mitigation Measure 9.e.f.1:</u> The developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Failure to comply with the approved construction Best Management Practices will result in the issuance of correction notices, citations, or stop orders.</p>	BP	BS/PS	CAL
<p><u>Mitigation Measure 12.d.1:</u> All construction activities shall comply with the City of Atascadero Noise Ordinance for hours of operation.</p>	BP	BS/PS	LOC
<p><u>Mitigation Measure 16. e.</u> The proposed cellular facility must be consistent with Atascadero Fire Department Standards.</p>	BP	BS/PS	LOC

EXHIBIT C: Overall Site Plan
PLN 2014-1524 / CUP 2014-0283 – 9685 Morro Road



ISSUE STATUS NO. DATE BY 1. 1/15/14 JLD 2. 2/10/14 JLD 3. 3/10/14 JLD		PROCESSED BY THE COUNTY THE ENGINEER HAS REVIEWED THIS PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL ORDINANCES AND THE STATE ENGINEERING REGULATIONS.		2785 MITCHELL DRIVE, BUILD 9 WAKUL CREEK, CA 94588	ATASCADERO, CA 93422 9685 MORRO ROAD PSL # 276961 PORTOLA RD HIGHWAY 41 /	SHEET TITLE: SITE PLAN & ENLARGED SITE PLAN	A-1		
									ENLARGED SITE PLAN
								SCALE: 1/8" = 1'-0" (VERTICAL) 1/4" = 100'-0" (HORIZONTAL)	2

EXHIBIT D: Proposed Elevations
PLN 2014-1524 / CUP 2014-0283 – 9685 Morro Road



ISSUE	DATE	DESCRIPTION	BY



PROPOSED INSULATION
 NEW VERISON WIRELESS
 2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598



ATASCADERO, CA 93422
 PSL # 276961
 PORTOLA RD
 HIGHWAY 41 /

SHEET TITLE
 NORTHEAST &
 SOUTHEAST
 ELEVATION
A-3



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Atascadero Planning Commission

Staff Report - Community Development Department

Alfredo R. Castillo, AICP, Planner, (805) 470-3436, acastillo@atascadero.org

PLN 2014-1522

CUP 2015-0288 / TRP 2015-0181

10785 El Camino Real / 9355 Avenida Maria

Atascadero Family Apartments

(Corporation for a Better Housing / 9355 Avenida Maria, LLP)

SUBJECT:

The proposed project consists of an application for a Conditional Use Permit (CUP) and Tree Removal Permit (TRP) to construct an 86-Unit apartment complex on 3.9 acres. In addition to the CUP and TRP entitlements, the applicant is requesting the use State Density Bonus provisions, consistent with California Government Code (CGC) Section 65915 et. seq with developer incentives to providing deed restricted affordable housing units.

RECOMMENDATION:

Staff Recommends:

1. The Planning Commission recommend to the City Council adoption of Draft Resolution PC 2015-A certifying Mitigated Negative Declaration 2015-0002.
2. The Planning Commission recommend to the City Council adoption of Draft Resolution PC 2015-B, approving and approving Conditional Use Permit (CUP) 2015-0288 and a State Density Bonus with a maximum of three (3) developer incentives in exchange for a minimum of 9 units set aside for a minimum of 55 years to households earning less than 50% of Area Median Income (AMI), which is considered very-low income, based on findings and subject to mitigation monitoring and conditions.

Situation and Facts:

1. Applicant: Corporation for a Better Housing
5947 Variel Avenue, Woodland Hills, CA 91367
2. Owners: 9355 Avenida Maria, LLP
5947 Variel Avenue, Woodland Hills, CA 91367
3. Project Address: 10785 El Camino Real / 9355 Avenida Maria,
Atascadero, CA 93422
(San Luis Obispo County) APN 045-321-020, 021
4. General Plan Designation: High Density Residential (HDR)
5. Zoning District: Residential Multi-family (RMF-20)
6. Site Area: 3.9 acres
7. Existing Use: Vacant / Abandoned House
8. Environmental Status: Proposed Mitigated Negative Declaration 2015-0002

DISCUSSION:Background

City staff has worked with the applicant, Corporation for a Better Housing, since early 2014 on a location suitable for a multi-family housing development. The applicant is a non-profit 501(c)(3) organization that constructs and manages affordable housing developments throughout the State of California. This is the applicant's first project in San Luis Obispo County. The applicant has been meeting with City Staff since August of 2014 developing site plans and architectural elevations for a proposed multi-family housing development at the intersection of El Camino Real and Avenida Maria. The site is zoned RMF-20 with a minimum of 20 units to the acre and a maximum of 24 units to the acre.

The applicant formally submitted an application for a Conditional Use Permit (CUP), Tree Removal (TRP), and State Density Bonus request in February 2015 for entitlement to construct a total of 86 apartment units at 10785 El Camino Real and 9355 Avenida Maria over two phases. The applicant is proposing a mix of 2-bedroom, 3-bedroom, and 4-bedroom units to be occupied by households that are income qualified as either very low, or low income families. The proposed development encompasses the following:

- 86 total apartment units including a mix of 1, 2, 3 and 4 bedroom apartments;
- Two corridor style buildings 2-stories in height (24-feet) with two (2) 32-foot tall mechanical / staircase shafts with decorative architectural features;

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- One (1) corridor style building 3-stories in height (37-feet, 4-inches) with two (2) 43-foot tall mechanical / staircase shafts with decorative architectural features;
- A total of 157 parking spaces; 86 spaces covered / 71 uncovered;
- Solar panels to be utilized on top of carports to provide alternative energy sources, consistent with the City's Climate Action Plan;
- Proposed construction and materials to utilize US Green Building Council methodology to obtain Leadership in Energy & Environmental Design (LEED) certified platinum;
- On-site recreational amenities including tot-lot, basketball court, and outdoor eating areas;
- On-site management is proposed including full-time manager (non-care taker type);
- On-site social services programs available for residents only through the use of two (2) recreational rooms;
- Proposed landscaping plan including use of drought tolerant native plants;
- Preservation of 46 on-site native trees, including critical blue oak woodland;
- Removal of 21 on-site native trees to allow for proposed improvements including buildings, parking lots, and road improvements.

Surrounding Land Use and Setting:

Aerial Photo



North: Residential Multi-Family (RMF-20)
South: Public (P)

East: Residential Multi-Family (RMF-20)
West: Residential Multi-Family (RMF-20)

DRC Review

The Design Review Committee discussed the proposed project on April 15, 2015. At this meeting, the applicant was directed to include the following:

- Provide pavers within driveways at project entry and at emergency access;
- Eliminate the use of California Sycamore along El Camino Real and substitute with London Plane tree or similar type of low water use tree;
- Spread out proposed blue oak tree plantings along El Camino Real;
- Substitute Bay Tree plantings along Avenida Maria for London Plan or other ornamental, drought tolerant type of tree;
- Add decorative ornamental caps for proposed awnings on building façade;
- Use hardy plank siding on top of pop-out projections / gable and if feasible, carry hard-plank on additional pop-outs;
- Provide an elevation of proposed carports;
- Review elevations of staircase shafts / elevator shafts and add additional architectural details, if feasible.

Based on these comments, the applicant has revised the architectural elevations and site plan to reflect the DRC comments.

Analysis**Site Plan**

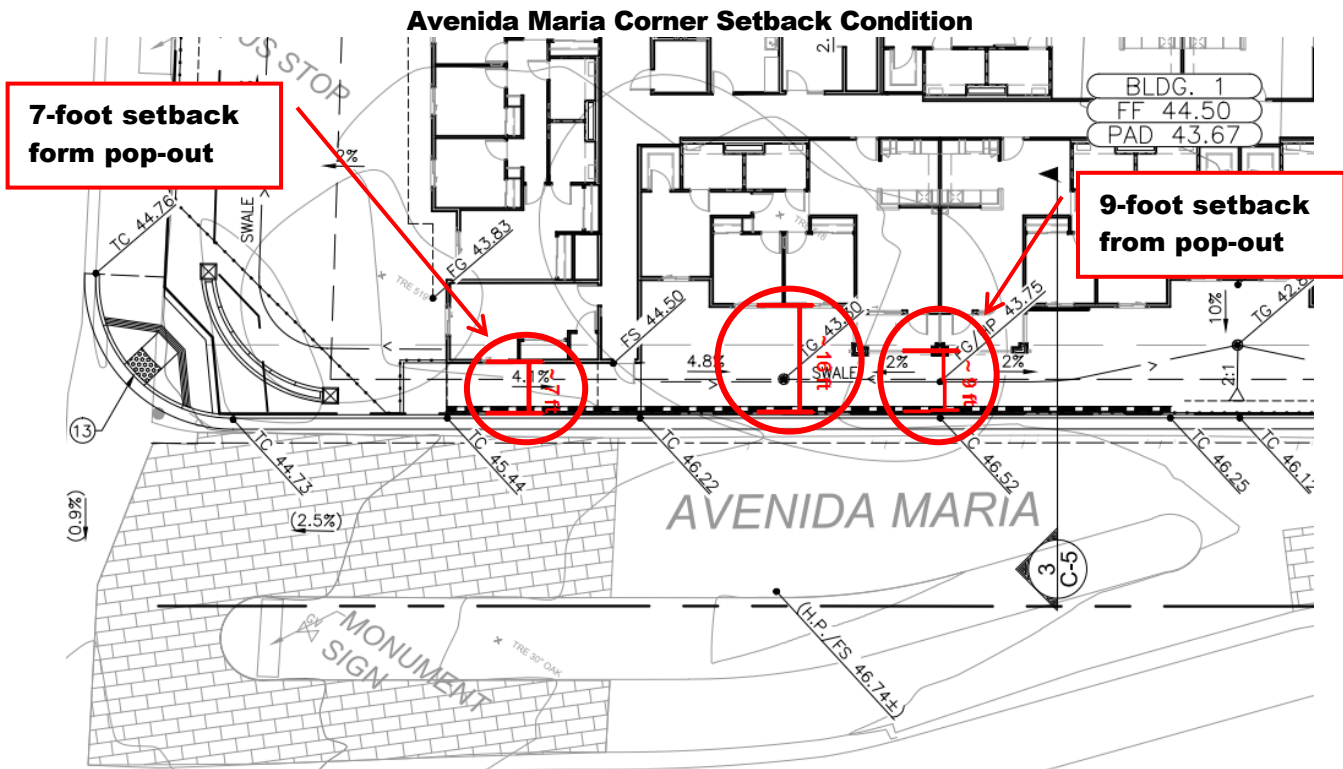
The proposed project consists of two legal lots of record on 3.9 acres. Currently the site has one vacant single-family residence on-site that will be demolished as a part of the proposed project. Based on the AMC Section 9-3.173, the minimum number of units allowed on-site is 78 units with a maximum of 94 units on-site. The applicant is proposing a total of 86 units, or 22 units per acre. This is consistent with the City's General Plan and Municipal Code's density range for High Density Residential / Residential Multi-Family (RMF-20).

Table 1 – Unit Breakdown Per Phase / Building

Phase I					
	1- bedroom unit	2- bedroom unit	3- bedroom units	4- bedroom units	Total Units Per Building
Building 1	0	4	16	10	30
Building 2	0	18	8	4	30
Phase II					
Building 3	22	4	0	0	26
<i>Totals</i>	22	26	24	14	86

Buildings are located on the western side of the property near Avenida Maria to avoid an existing blue oak woodland area, which the majority of native trees are located on-site and provide a desirable transition with incorporated landscaping. The parking areas are hidden from visibility along both Avenida Maria and El Camino Real. These elements of the site plan are consistent with the City's Appearance Review Manual (APR).

The proposed project does not meet the required side setback consistent with Atascadero Municipal Code Section 9-4.107 (a)(1), as the lot at the corner of El Camino Real / Avenida Maria is considered a corner lot, thus has a minimum side setback of 10-feet. Staff is requesting a State Density Bonus concession on the side setback as the applicant's proposed patios along Avenida Maria (a total of 3 patios) and a portion of Building 1 does not meet the this condition. Corner of the building is approximately seven (7) feet from the property line and has patios protruding as close as eight (8) feet from the side property line. Additional landscaping is included to reduce the appearance the buildings and bring a more pedestrian oriented scale with the reduced setbacks.



The proposed project is expected to be developed in two phases. Phase 1 development will include construction of a two-story building containing 30 units adjacent to El Camino Real and Avenida Maria and a three-story building located along Avenida Maria containing an additional 30 units. Phase 2 is proposed to include construction of a two-story building consisting of 26 units on the northeastern edge of the property.

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The applicant is proposing to preserve a blue oak woodland area located on the western portion of the site adjacent to Jordana Lane / The Oaks Apartments complex. 38 native trees are proposed to be preserved in this blue oak grove, or 55% of the native trees on-site. In total the applicant is proposing to preserve 46 native trees (67% of total native trees on-site).

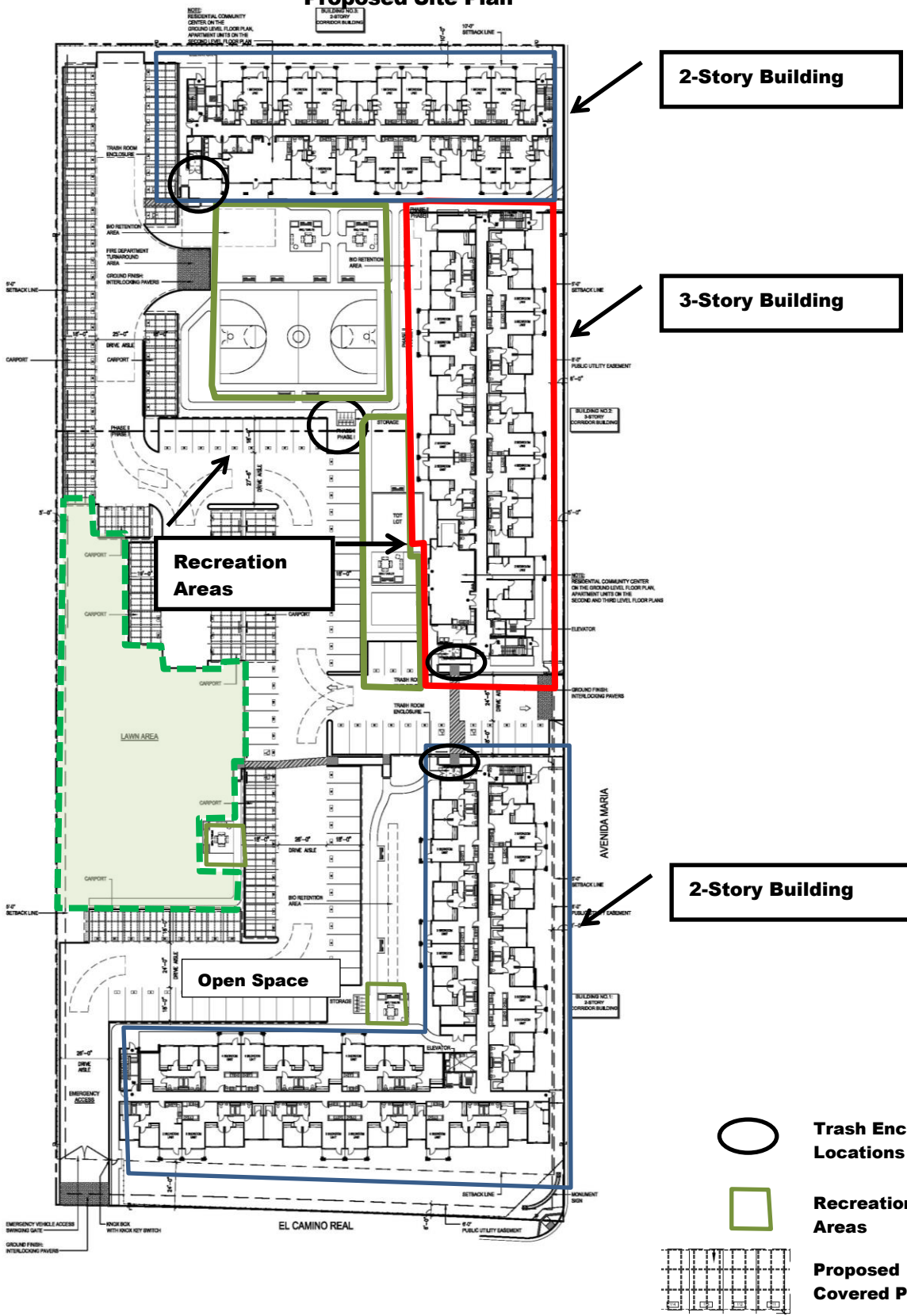
The site plan includes additional recreation areas for use by the potential residents on-site. These recreational amenities include BBQ and picnic areas, tot-lot, a basketball court, and additional passive open space areas. Additional amenities include laundry facilities located within the buildings, two recreational rooms that include social services and programs for use by residents including after-school programs.

Proposed access to the development will be from Avenida Maria. Staff had reviewed previous iterations of the site plan with the applicant and, through meetings, determined that it was in the best interest of traffic flow, pedestrian movements, and transit uses, to reduce the number of turning movements along El Camino Real. The primary entry provides access to parking stalls within the entire complex. There is no proposed gated access from the primary access point and includes the use of pavers to delineate the project entry, consistent with direction from the DRC.

Parking

The applicant is requesting a State Density Bonus (Attachment 2), consistent with California Government Code (CGC) Section 65915 et. seq. and the City of Atascadero's Municipal Code Section 9-3.801. The City recently updated its Density Bonus regulations in 2013 for consistency with State Law. As a part of this update, the City was required to list potential "concession" or developer incentives to provide affordable housing. Although the developer is not requesting additional density, consistent with CGC § 65915(d) and AMC Section 9-3.173(g), the applicant is requesting concessions from the City in order to make the development feasible.

Proposed Site Plan



2-Story Building

3-Story Building

Recreation Areas

Open Space

2-Story Building

Trash Enclosure Locations

Recreation Areas

Proposed Covered Parking

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A requested concession is the number of parking spaces required. Specifically, the applicant is requesting implementation of CGC § 65915(p) which states:

California Government Code § 65915 – Density Bonus (State Requirement)

(p) (1) Upon the request of the developer, **no city, county, or city and county shall require a vehicular parking ratio, inclusive of handicapped and guest parking, of a development meeting the criteria of subdivision (b), that exceeds the following ratios:**

- (A) Zero to one bedroom: one onsite parking space.
- (B) Two to three bedrooms: two onsite parking spaces.
- (C) Four and more bedrooms: two and one-half parking spaces.

(2) If the total number of parking spaces required for a development is other than a whole number, the number shall be rounded up to the next whole number. For purposes of this subdivision, a development may provide "onsite parking" through tandem parking or uncovered parking, but not through on-street parking.

The applicant is providing the State mandated parking ratio requirement of 157 parking spaces. When compared to the City's typical requirements for a multi-family project, the proposed project would have required 189 spaces. This would give a parking "concession" of 32 spaces. The applicant has met the State mandated requirement for parking for an affordable housing, below market rate project. The State of California has recognized that parking ratios may be an impediment to the construction of affordable housing project and has included these parking ratio or "caps" as an incentive to developers whom otherwise may not be able to meet required density or have an increased cost of construction to provide parking through underground or parking structures to meet local municipalities parking requirements.

The City establishes its Municipal Code parking ratios based on "market-rate" units, or units that are sold or rented based on what the housing market conditions demand. In typical market-rate based on housing, additional parking is required to compensate for not only typical two-car households, but assumes additional automobile use over time or additional occupants within a rental unit. The proposed project tenants are controlled by the applicant and must be income qualified, thus additional leases or sub-leasees to meet rental prices, thus creating additional drivers, is typically reduced due to strict control mechanism placed on the applicant by both the Federal Government and the State as a part of funding the proposed project. The applicant and City staff discussed this issue at the DRC meeting. Based on this meeting, the applicant has further analyzed affordable housing projects within San Luis Obispo County (projects that contain a majority of affordable housing units, not majority market rate units) to provide additional information for the Commission in regards to this issue. This is included in Attachment 3. The State Density Bonus discussion includes the required findings to approve or not approve this request.

Table 2 – Parking Requirements Breakdown

Proposed Parking Calculations – Atascadero Family Apartments					
Unit Types	Number of Units	Typical Parking Requirement - AMC	Parking Spaces Needed- AMC	State Mandated Parking Ratios- CGC 65015.(p)	Provided Spaces
1 bedroom unit	22	1.5 spaces per unit	33 spaces	1 space per unit	22 spaces
2 bedroom unit	26	2 spaces per unit	38 spaces	2 spaces per unit	52 spaces
3 bedroom unit	24	2.5 spaces per unit	65 spaces	2 spaces unit	48 spaces
4 bedroom unit	14	3 spaces per unit	36 spaces	2.5 spaces per unit	35 spaces
Guest Spaces		1 per 5 units	17 spaces	0 space	
Total Number of Parking Spaces Required under AMC			189 spaces		157 spaces provided -32 space concession
Total Parking Spaces Required per California Government Code section 65015.(p)			157 spaces		157 Spaces provided

Proposed Architectural Elevations / Colors / Materials

The applicant is proposing three (3) corridor style buildings located on the western portion of the site. Two of the buildings will be two-stories with a height of 24-feet from finish grade to the roof line. Additional mechanical / staircase shafts are included in both two-story buildings that are approximately 32-feet in height. The mechanical / staircase shafts exceed the City's height limit requirements per AMC Section 9-4.113. The applicant is proposing one (1) three-story building that is approximately 37-feet in height with a mechanical / staircase shafts approximately 43-feet in height. Similar to the two-story building, it exceeds the height requirements. The Planning Commission may waive the height requirement consistent with the following:

Atascadero Municipal Code – Height Waiver section 9-4.113(b)

(b)Exceptions to Height Limitations.

(1) Planning Commission Waiver. The height limitations of this section may be modified through conditional use permit approval, provided the Planning Commission first finds the project will not result in substantial detrimental effects on the enjoyment and use of adjoining properties and that the modified height will not exceed the lifesaving equipment capabilities of the Fire Department.

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With the applicant's density bonus request, a height waiver is the 3rd item that was requested as a concession item. The AMC does allow for height waivers to be granted through a Conditional Use Permit (CUP). Staff and the Fire Department reviewed the proposed heights and have no issues with fire safety and the ability to provide fire services to the buildings. The 3-story building is located a portion of the site that drops in elevation from El Camino Real moving east. The applicant has taken into account this elevation change and is utilizing this drop in elevation to reduce the overall height and bulk of the building. Additional side landscape helps to reduce the façade and bring a more pedestrian scale to the buildings.

The proposed architecture is mix of stucco and California Craftsman elements and includes architectural elements and variations such as pop-outs, roofline variations, use of shutters, awnings, and other architectural features throughout the buildings. The architectural pop-outs and variation is consistent with APR Section 1.E that requests applicants utilize "varied setbacks and height to provide visual relief" and is consistent with APR section 4.H that the "building design and scale should relate to occupant activities and reflect a diversity of façade elements" (Appearance Review Manual). The colors and materials board is included in Attachment 5.

The interior of the project is a corridor style apartment complex with individual units accessed from primary entry points from the buildings. Potential residents would then utilize corridors located in the interior of the building to access their residence. This architectural element was chosen over typical outdoor access to maximize the density of the proposed project.

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Proposed Architectural Elevations – Three Story Building



Proposed Architectural Elevations – Two Story Building



Proposed Architectural Elevations – Renderings



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Landscape Design

The applicant has submitted a proposed landscaping plan. The applicant is preserving a significant blue oak woodland area on the eastern portion of the site. This area of preservation is proposed to remain in its natural state and act as a buffer between the proposed project and the existing Jordana Lane apartment complex.

The applicant is proposing landscaping both internally in the project, along Avenida Maria, and El Camino Real in the form of additional native shrubs, groundcover and trees. The applicant is proposing to plant London Plane Trees every 30-feet on center along El Camino Real and has a substantial, drought tolerant, planting plan for the buildings and areas located adjacent to Avenida Maria and proposed bio-retention areas. A condition has been added requiring the applicant to enter into a water wise program or similar program offered by the Atascadero Mutual Water Company. The proposed landscaping plan is consistent with the City's water efficient landscaping.

Wastewater and Utilities

Sanitary sewer will be connected to existing sewer facilities. Sanitary sewer will be connected to existing sewer facilities within the El Camino Real right-of-way. The Wastewater Treat Plant and the City collection system have sufficient capacity to handle the proposed additional effluent.

Stormwater Drainage

The proposed project conforms with Post-Stormwater Construction requirements established by the Central Coast Regional Water Quality Control Board (RWQCB). The applicant is proposing to meet stormwater and drainage requirements through a series of bio-swales and an underground detention basin located within the parking lot. The bio-swales coupled with the underground detention basin will collect stormwater run-off on-site and will allow the water to percolate back into the ground, re-charging the groundwater aquifer and mimic the pre-development stormwater recharge. Additionally to reduce concentrated stormwater run-off and on-site pollutants, the use of porous pavers have been included throughout the site as a decorative feature and to reduce the amount of impervious surface, which is a contributor to stormwater runoff and pollutants.

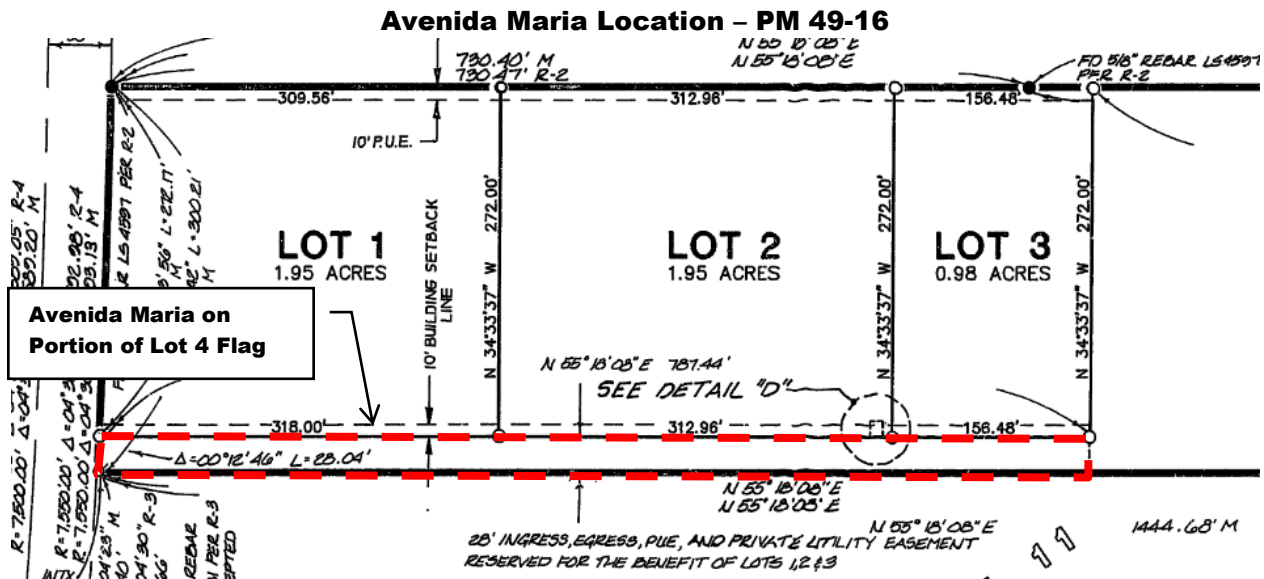
Native Tree Removal

The project site includes over 68 native blue oaks on-site. The applicant is proposing to preserve native trees where feasible, however 499-inches DBH of blue oak native trees are proposed to be removed, which is a total of 21 native trees based on the applicant's revised arborist report. This is approximately 33% or 1/3 of the total native trees on-site. The majority of the trees that are proposed to be removed include native trees that are within building foot prints, driveways, fire-turnaround areas, and within the designated bio-swales needed to comply with State mandated stormwater drainage regulations. The applicant has shown some mitigation re-plantings along El Camino Real. The proposed mitigation re-plantings are expected to be 24-inch box replacements.

The Applicant is required to pay \$16,333.33 into the tree fund or replant 333 five-gallon native trees. A combination of mitigation fees and replanting is also available. Final mitigation fees based on re-plantings will be calculated as a part of a building permit submittal for on-site improvements.

Circulation

The existing circulation system is built-out adjacent to the project area. This includes a four lane facility plus bicycle lane and transit stop along El Camino Real and a 28-foot right-of-way along Avenida Maria. Avenida Maria is a private street located on a flag portion of APN 045-321-023 (Hidden Oaks Apartments INC). Parcel Map 49-16, which was recorded in January of 1992, created the four (4) parcels along Avenida Maria. This Map includes language for construction and use of a 28-foot ingress, egress, public utility easement, and private utility easement for the benefits of the three lots along Avenida Maria that extend to El Camino Real.



The current section of Avenida Maria includes curb, gutter, and a pedestrian path moving eastbound towards the Hidden Oaks Apartment complex. There is no curb, gutter, or sidewalk located on the western side of the Avenida Maria. The applicant will be required to completed curb and gutters on the frontage of Avenida Maria directly adjacent to the proposed project (Condition CUP #35). Additionally, the project has been conditioned to provide dedicated turning lanes for a left turn and right turn onto El Camino Real (Condition CUP #35).

The DRC recommended elimination of proposed sidewalks on Avenida Maria directly adjacent to the project. Staff had initially requested a sidewalk, however, the sidewalk would have further reduced the amount of building setback between Avenida Maria, as well as, eliminating landscaping used to provide a more pedestrian scale and reduce bulk and height appearance of the structures along Avenida Maria. In addition, the DRC

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received feedback from the adjacent property owner in regards to the undue need of an additional pedestrian facility along Avenida Maria. Staff concurs with the DRC recommendation and has eliminated this requirement for a sidewalk. The project does have an internal pedestrian sidewalk system that does connect the three buildings to both the parking lot and the adjacent transit stop. This internal connection coupled with the existing adjacent transit stop aids in facilitating transit use by residents.

A traffic impact report was completed in conjunction with the Mitigated Negative Declaration. This traffic impact report indicated that with the additional trips (a total of 562 new trips daily) including an additional 43 trips during the AM peak period and 52 PM peak trips. With the additional trips generated by the project, the intersection of Avenida Maria and El Camino Real, the intersection will still operate at acceptable Level of Service (LOS) consistent with the City's General Plan.

The existing intersection operates at a LOS A/B during the AM and PM peak, depending on the turning movement a vehicle is making on El Camino Real. In the existing plus project scenario (existing traffic today, plus the additional anticipated traffic generated by the proposed project), the LOS at the intersection of Avenida Maria and El Camino Real remains at a LOS A/B. The LOS is expected to drop to a level "C" operation in the cumulative plus project scenario (the proposed project plus all additional growth anticipated by the City's General Plan). Even with this drop in service operation, the anticipated LOS still meets the City's current General Plan requirement. The traffic study also examined warrants established by the Caltrans Manual of Uniform Traffic Devices (CMUTD) for signalization of the intersection of Avenida Maria and El Camino Real. At this time, both the existing plus project and cumulative plus project scenarios, the intersection does not warrant a traffic signal.

The traffic study indicated that the following would need to be implemented to reduce traffic impacts created by the proposed development:

- City Engineer to determine if a crosswalk is required at El Camino Real and Patria Circle with a pedestrian refuge area (cut-out at median);
- Contribution of TIF program for Santa Rosa Road / US 101 interchange improvements.

In addition to the proposed traffic impact mitigation, additional traffic impacts will be created at the both the Santa Rosa Road / US 101 interchange and Santa Barbara Road / US 101 interchange. These specific impacts are to the approach ramps to enter and exit the freeway. The City's Traffic Impact Fee (TIF) fully funds interchange improvements. The applicant will be required to pay the City's TIF as a mitigation measure to impacts to the interchanges.

State Density Bonus

The applicant is requesting to utilize the State of California Density bonus provisions established by California Government Code section 65915-65918. The City, as a part of

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its 2007-2014 Housing Element, modified its previous density bonus ordinance to match the State Density Bonus criteria that was updated by the legislature in 2005 and in 2007. The Planning Commission and/or City Council may approve a density bonus based on the criteria set forth in AMC Section 9.3-801 through 9-3.806 (City's Density Bonus Ordinance). Although the applicant is not seeking additional residential units above the maximum number of units allowed under the RMF-20 zoning district, the applicant is requesting the use of Density Bonus incentives in order to develop a minimum of 11% of the total units in the project (9 units total) set aside for household making what is considered very-low income or 50% below Area Median Income (AMI). This is allowed through CGC section 65915 (a) in addition to Atascadero Municipal Code (AMC) Section 9-3.173(g), which states:

Atascadero Municipal Code 9-3.173 Density – RMF Zone.

(g) In lieu of granting a density bonus, the Planning Commission shall consider other bonus incentives allowable under Government Code Section 65915.

Developer incentives are defined as “road blocks” in the City's Municipal Code that may prohibit a developer from providing affordable housing as defined by the CGC Section 65915 (c)(2). The developer requests that the City make “concessions” in applying its typical standards to create affordable housing developments. In exchange for these “concessions,” the developer is required to deed restrict a certain number of units that are set aside to be occupied by households that qualify as either very-low, low, or moderate income households for a period of no less than 55 years. Unlike the City's equity share program or affordable housing policy, the State requires a minimum of 55 years for each unit that is deed restricted that is constructed under the Density Bonus provisions.

The City's Density Bonus ordinance defines what type of developer incentives may be provided. The following is a list of incentives consistent with AMC Section 9-3.804(c).

AMC Section 9-3.804 Developer Incentives

- (1) Reduced site development standards;
- (2) Modified zoning code;
- (3) Architectural design requirements that exceed the minimum building standards approved by the California Building Standards Commission as provided in Part 2.5 (commencing with Section 18901) of Division 13 of the Health and Safety Code;
- (4) A reduction in setback requirements;
- (5) Reduction of vehicular parking standards;
- (6) Approval of mixed-use zoning if commercial, office, industrial, or other land uses will reduce the cost of the housing development and if the commercial, office, industrial, or other land uses are compatible with the housing project and the existing or planned development in the area;
- (7) Other regulatory developer incentives proposed by the developer;
- (8) Other regulatory developer incentives proposed by the City.

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The applicant has identified two incentives listed in Attachment 2 needed for reduction in standards in order for the applicant's proposed project to be feasible. Those incentives are a reduction in vehicle parking standards for consistency with CGC 69515(p) and a height waiver requirement. In addition, staff has identified the need to reduce a portion of the corner yard setback for the parcel adjacent to El Camino Real and Avenida Maria. The applicant will be providing 86 residential units set aside for household that make at or below both the low income (less than 80% of the Area Median Income) and very low (less than 50% of the Area Median Income). Of the total 86 units, a minimum of 9 units will be deed restricted for very-low income households.

The applicant has met the thresholds established by CGC § 65915(b) et. seq. and AMC Section 9-3.804 by setting aside at least 15% of the total units are set aside to family with very low income (a family of 4 making less than \$37,700 in San Luis Obispo County as of April 1, 2015), therefore the applicant qualifies for three (3) "concessions" or reduction in requirements of the Municipal Code.

The applicant has demonstrated that it meets the City and State requirements for the proposed developer incentives. The City must grant those incentives unless it finds any of the following findings consistent with the AMC and CGC § 65915(d)(1)(a) through (c).

AMC Section 9-3.804(a) / CGC § 65915(d)(1)(a) through (c)

(1) The developer incentives are not required in order to provide affordable housing, as defined in Section 50052.3 of the Health and Safety Code, or for rents for the targeted units to be set as specified in GC Section 65915(c).

(i) The developer incentives would have a specific adverse impact, as defined in paragraph (2) of Subdivision (d) of Section 65589.5, upon public health and safety or the physical environment or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low- and moderate-income households.

(ii) The developer incentives would be contrary to State or Federal law.

Based on the proposed project, City staff cannot make any of the required denial findings. A condition has been added to ensure that a minimum of 9 units are set-aside for the households that are considered Very-Low income and that these units are to be deed restricted for a minimum of 55 years in exchange for concession in applying the City's Zoning Ordinance standards (Condition CUP #14).

General Plan Consistency

The General Plan High Density Residential (HDR) land use designation permits a maximum density of 24 dwelling units per acre. Implementing General Plan programs requires appearance review of architectural design, materials, landscaping, and

incorporate architectural themes into the site and building design. As analyzed above, the proposed project, as conditioned, is consistent with the City's adopted General Plan.

In staff's opinion, the project is consistent with the goals and policies of the Land Use Element and the Housing Element. The project will provide 86 new dwellings units targeted to households of low and very-low incomes, fulfilling an important housing need within the community and helping the City to meet its 2014-2019 Regional Housing Needs Allocation (RHNA) goals. As conditioned, the project incorporates architectural and landscape elements that are consistent with the character of the surrounding neighborhood, and the General Plan's appearance review requirement.

Findings:

Conditional Use Permit (Master Plan of Development):

A Master Plan of Development is required for all multi-family projects over 12 units, which is approved through the Conditional Use Permit process (AMC section 9-2.110(2)). The Conditional Use Permit process provides the opportunity for the public and the Planning Commission to review the specifics of land use proposals, such as architectural design, site design, landscape, and specific standards of the Zoning Ordinance. The following five findings must be made to approve a Conditional Use Permit:

1. The proposed project or use is consistent with the General Plan and the City's Appearance Review Manual.

Staff Comment: The use and appearance is consistent with the high density residential designation of the Plan and General Plan Land Use Element Policies and Housing Element Policies.

2. The proposed project or use satisfies all applicable provisions of the Title (Zoning Ordinance).

Staff Comment: As conditioned, the project satisfies the City's Zoning Code provisions, incorporating high-quality architectural design. The City is required to provide "concessions" or a reduction in parking standards, side setback, and height waiver for use of a 3-story building consistent with the California Government Code (CGC) Density Bonus regulations. Through these concessions, the project is consistent with the remaining portions of the City's Zoning Ordinance.

3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use.

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Staff Comment: The proposed residential project will not be detrimental to the general public or working persons' health, safety, or welfare.

4. That the proposed project or use will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development.

Staff Comment: The project has been designed to be consistent with the existing neighborhood character as the site has taken into account environmental consideration and site design challenges to provide the necessary high density targets.

5. That the proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

Staff Comment: The proposed project and use is consistent with the traffic projections and road improvements anticipated within the General Plan. A traffic impact report was produced as a part of the proposed project and projects traffic volumes associated with the proposed project to meet LOS level C or above.

Based on staff's analysis in the preceding sections, it appears that all of the required findings for approval of a Master Plan of Development (Conditional Use Permit) can be made. The project is consistent with the City's General Plan Land Use and Housing Elements.

Native Tree Removal Findings:

The Planning Commission must recommend to the City Council the following findings related to removal of a native tree(s) that is 24-inches or above:

The tree is obstructing proposed improvements that cannot be reasonably designed to avoid the need for tree removal, as certified by a report from the site planner and determined by the Community Development Department based on the following factors:

- a. Early consultation with the City,
- b. Consideration of practical design alternatives,
- c. Provision of cost comparisons (from applicant) for practical design alternatives,
- d. If saving tree eliminates all reasonable use of the property, or
- e. If saving the tree requires the removal of more desirable trees.

Staff Comment: The applicant has consulted with the City and has considered design alternatives. The proposed removes constitutes 33% of all the native trees on-site,

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however, the applicant has preserved a substantial blue-oak woodland on-site. In order to meet density targets in the land use designation, the applicant has sited buildings to preserve as many native trees as feasibly possible.

Based on Staff's analysis and the arborist report, staff recommends that the Planning Commission can make the required findings for native tree removals.

Density Bonus Wavier and Modifications:

The Planning Commission must recommend to the City Council the following findings related to State Density Bonus waiver or reduction of standards pursuant to the City's Municipal Code. In accordance with Government Code Section 65915(e), the City may deny an applicant's request to waive or modify the City's development standards in any of the following circumstances:

1. *The application does not conform with the requirements of this section or Government Code Sections 65915 through 65918.*

Staff Comment: The proposed project conforms with the requirements set forth in California Government Code (CGC) sections 65915 through 65918, to which the applicant will be providing affordable housing units for households that meet the low and very-low income threshold.

2. *The applicant fails to demonstrate that the City's development standards physically preclude the utilization of a density bonus on a specific site.*

Staff Comment: The applicant has demonstrated that they need reductions in parking, setbacks, and additional height to provide the required density to make the project feasible.

3. *The waiver or reduction would have a specific, adverse impact, as defined in Government Code Section 65589.5(d)(2), upon health, safety, or the physical environment, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact.*

Staff Comment: The proposed reduction in standards will not have an adverse impact upon the health, safety, or physical environment, nor will the proposed project create an adverse or unmitigated impact.

4. The waiver or reduction would have an adverse impact on any real property that is listed in the California Register of Historical Resources.

Staff Comment: The proposed project is not listed as a historical resource.

5. *The waiver or reduction would be contrary to State or Federal law.*

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Staff Comment: The proposed project is not contrary to State or Federal Law.

Based on staff's analysis of the proposed density bonus request and use of developer incentives for the construction of deed restricted affordable housing, staff recommends that the Planning Commission can make the required findings to approve a State Density Bonus developer incentives for modification and/or reduction in the City's Zoning Standards for side yard setbacks, parking reduction, and height waiver in exchange for deed restricted affordable housing units designated for low and very-low income households for a term of no less than 55 years.

Proposed Environmental Determination

Staff has prepared a Draft Mitigated Negative Declaration that was circulated to public agencies and interested members of the public on April 28, 2014. The Environmental Analysis identified concerns regarding potential impacts to aesthetics, air quality, biology, cultural resources, geology and soils, water quality, noise, and traffic. Mitigation measures pertaining to these areas are included. A finding is proposed that this project would not have a significant effect on the environment based upon the implementation of the identified mitigation measures.

Staff is recommending the Commission recommend that the City Council certification of Proposed Mitigated Negative Declaration 2015-0002.

CONCLUSION:

The proposed project is consistent with the General Plan and Atascadero Municipal Code, as analyzed within this staff report. The project has been reviewed by the City's Design Review Committee and recommendations have been included in the plans or conditioned in the attached resolutions. It is staff's opinion that the proposed project, as conditioned, allows the Planning Commission to make all of the required findings for project approval recommendation to the City Council.

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ALTERNATIVES:

1. The Commission may recommend modifications to the project and/or conditions of approval for the project.
2. The Commission may determine that more information is needed on some aspect of the project and may refer the item back to the applicant and staff to develop the additional information. The Commission should clearly state the type of information that is required and move to continue the item to a future date.
3. The Commission may recommend the City Council deny the project. The Commission should specify the reasons for denial of the project and make an associated finding with such action.

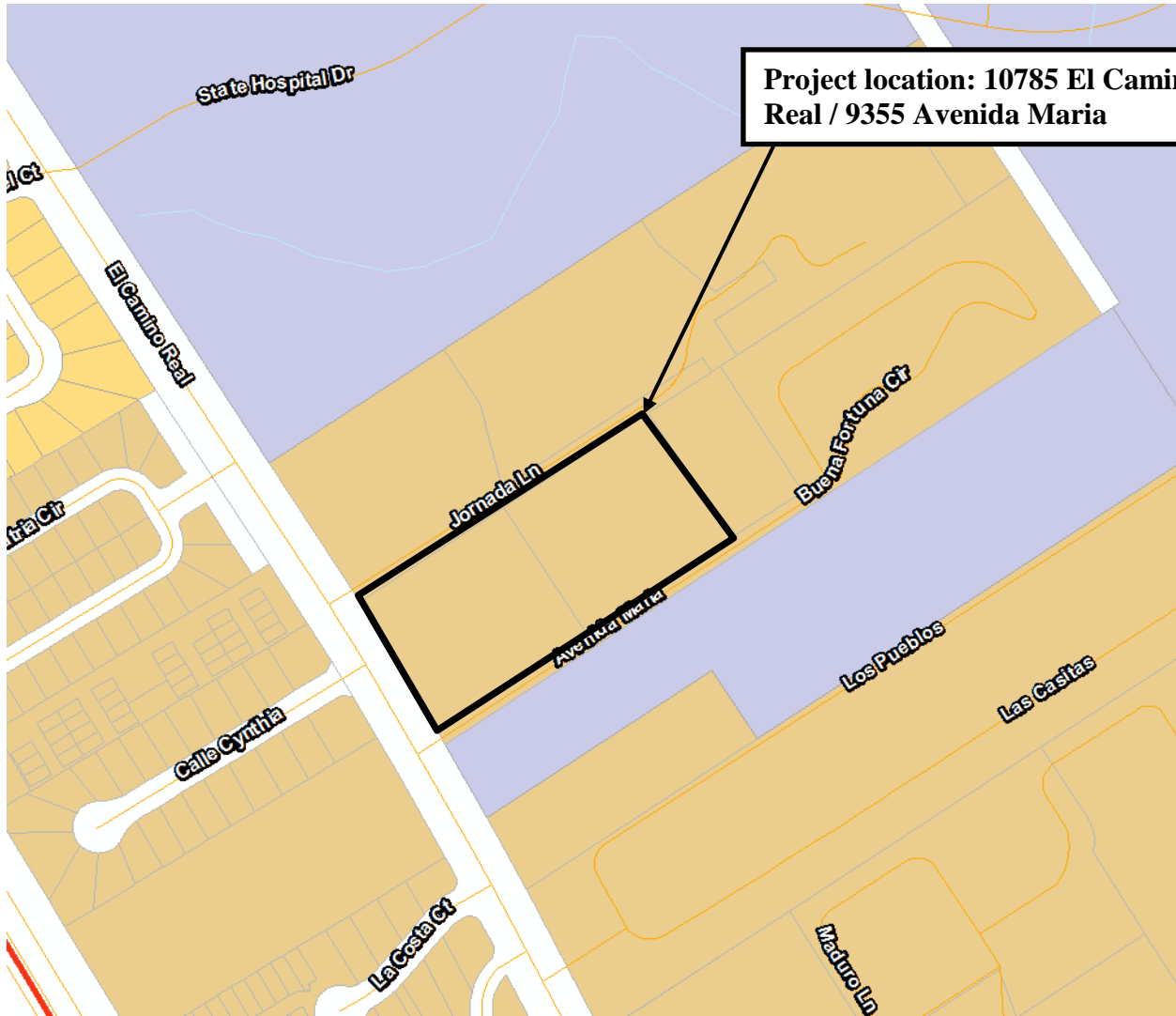
ATTACHMENTS:

- Attachment 1: Location Map, General Plan, and Zoning
- Attachment 2: Density Bonus Request Letter
- Attachment 3: Applicant Parking Study Analysis
- Attachment 4: Native Tree Mitigation Chat
- Attachment 5: Applicant Design Package
- Attachment 6: Proposed Mitigated Negative Declaration 2015-0002
- Attachment 7: Response to CEQA Comments
- Attachment 8: Draft Resolution PC 2015-A – Certification of Mitigated Neg Dec
- Attachment 9: Draft Resolution PC 2015-B – CUP / State Density Bonus Approval

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Attachment 1: Location Map, General Plan, and Zoning



Existing Designations:

- General Plan: High Density Residential
- Zoning District: Residential Multi-Family - 20

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Attachment 2: Density Bonus Request Letter



February 13, 2015

City of Atascadero
ATTN: Rachelle Rickard
6500 Palma Avenue
Atascadero, CA 93422

Re: Atascadero Family Apartments / Density Bonus

Dear Ms. Rickard:

Corporation for Better Housing (CBH) is requesting a density bonus for the above referenced affordable housing development to allow the construction of 86 affordable housing units. The California State Density Bonus Regulations as stated within California Government Code Sections 65915 et seq. and the City of Atascadero's Municipal Code require jurisdictions to provide a density bonus and incentives to developers for the production of lower income housing units. The density bonus and incentives are intended to compensate developers for the financial value lost when residential units are set aside for lower income families.

To qualify, the developer must either reserve 20 percent of the units for low income families (80% of Area Median Income or less); or set aside 11 percent of the units for very low income families (50% of Area Median Income or less). In addition, the developer must maintain the affordability for at least 30 years. Developments that meet these parameters are entitled to a density bonus of at least 35 percent over the maximum allowable density of the existing general plan designation.

Additionally, if a developer agrees to construct 30 percent of the units for low income households or 15 percent for very low income households, the developer is entitled to more than one density bonus concession. With these parameters the developer can receive, at a minimum, three concessions in addition to receiving the applicable density bonus. A development meeting these parameters does not require discretionary approval for a density bonus and accompanying concessions.

Acceptable concessions include, but are not limited to:

- a) A reduction of site development standards or a modification of zoning code requirements;
- b) Approval of mixed use zoning;
- c) Reduced vehicular parking ratio;
- d) Reduced setback and square footage requirements; and
- e) Other regulatory incentives or concessions resulting in cost reductions.

48 percent of the Atascadero Family Apartment units will be leased at rent levels of 50 percent of AMI or less qualifying these units as very low income and all 86 units will be leased at rent

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levels of 60 percent of AMI qualifying all units as low income units. The affordability covenant will be in place for fifty-five years.

Since at least 15 percent of the development's units will be restricted to very low income (50% of AMI or less), the development will be entitled to receive three concessions.

At this time, CBH will request two concessions.

The development's feasibility is dependent upon receiving two density bonus concessions to allow for:

1. Reduction in the amount of on-site parking required. CBH is seeking a concession to reduce the required parking to meet the parking standards set forth in the density bonus code. This requires one stall for a one bedroom unit, two stalls for a two or three bedroom unit and two and one-half stalls for a four bedroom unit. Therefore, this development requires 157 parking stalls.
2. A waiver of the development standard that requires buildings in the RMF zone to have a maximum height of 30 feet and not to exceed two stories. To be economically feasible the development will have one building that is three stories in height and approximately 37'4" at its tallest point. This design allows for more energy efficiency and is cost effective. If the development were held to the two stories and 30 foot maximums, another building would be required and/or a loss of density would occur. This would significantly increase construction costs and deem the development financially infeasible. The three story building is set back from El Camino Real approximately 300 feet on a portion of the site that is substantially lower than the site is at El Camino Real. The building will blend in nicely with the surrounding neighborhood while also creating a more visually engaging and attractive facade. The surrounding neighborhood includes multi-family development to the north and east and Chalk Mountain Community School to the south.

The development's feasibility is dependent upon receiving the requested density bonus concessions.

In accordance with the Density Bonus Law, the City may either grant the requested concession or provide concessions of equivalent financial value. The requested density bonus is well within the parameters of the Density Bonus Law, and will afford the City of Atascadero an attractive, well-planned affordable housing development.

If you have any questions, please feel free to call. I look forward to your response.

Sincerely,



Lori Koester
Executive Director

Attachment 3: Applicant Parking Analysis

April 30, 2015

City of Atascadero
ATTN: Alfredo Castillo
6500 Palma Avenue
Atascadero, CA 93422

Re: San Luis Obispo County Affordable Housing Parking Survey

Dear Mr. Castillo:

During the April 15, 2015, Design Review Committee (DRC) meeting regarding the Atascadero Family Apartments there was significant discussion regarding parking. Specifically, the discussion focused on if the state mandated parking ratios for affordable housing would be sufficient for Atascadero. During the meeting, CBH presented parking data from our portfolio of over 60 affordable housing developments located throughout the state. This data showed the proposed Atascadero Family Apartment parking ratios to be more than sufficient. CBH's policies, experience and portfolio parking studies support the following:

- Affordable housing developments maintain housing occupancy standards that market rate developers do not have to follow; therefore, affordable housing developments do not have overcrowded conditions and overwhelmed parking lots.
- Residents that qualify for affordable housing typically do not have the means to own and operate multiple vehicles.
- Residents that reside in our developments must show valid registration and insurance for every vehicle being parked on the premises.
- CBH constantly monitors parking space utilization throughout our portfolio and have evidence that communities similar to Atascadero utilize on average 1 to 1.2 parking spaces per unit.

Upon presentation of our internal parking data and the facts stated above there was further conversation from the DRC members that Atascadero was different from the other markets CBH operates in. The opinions expressed in the DRC meeting were that due to Atascadero's rural nature, most apartment renting households own multiple vehicles. We disagree with this assumption, but in order to further supplement our position that the Atascadero Family Apartments has more than adequate parking, we commissioned a parking study of affordable housing developments within San Luis Obispo County. The parking analysis was conducted on the evening of Sunday, April 26, 2015. This day and time were chosen because Sunday evenings traditionally is the day and time when the maximum numbers of residents are home.

We used a representative sample of sites located in similar communities which would represent a similar tenant pool of the proposed Atascadero Family Apartments. The data was collected from five developments which ranged in size from 43 units to 81 units.

Based on our survey, the normalized parking spaces per unit ratio at these operating developments is approximately 1.0 parking spaces per unit, which exactly matches the data of CBH's portfolio in rural markets. Below is a summary of each affordable housing development that was included in the study.

- Rolling Hills - 971 Las Tablas Drive, Templeton, CA 93464
 - 53 units
 - 80 parking spaces
 - 50 cars parked
 - 1 cars per unit

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- Serenity Hills - 112 Brewer Drive, Templeton, CA 93465
 - 43 units
 - 71 parking spaces
 - 47 cars parked
 - 1.1 cars per unit
- Canyon Creek Apartments - 400 Oak Hill Road, Paso Robles, CA 93446
 - 68 units
 - 132 parking spaces
 - 70 cars parked
 - 1.1 cars per unit
- Hidden Creek Village - 80 Cary Street, Paso Robles, CA 93446
 - 81 units
 - 134 parking spaces
 - 80 cars parked
 - 1 cars per unit
- Oak Park Apartments - 3201 Pine Street, Paso Robles, CA 94447
 - 80 units
 - 95 parking spaces
 - 70 cars parked
 - .9 cars per unit

We also collected data on the only affordable housing development in Atascadero, but did not include it in our analysis because it is a senior development. Senior affordable housing residents are even less likely to own a car than families and the data collected supports this premise.

- California Manor Apartments - 10165 El Camino Real, Atascadero, CA 93422
 - 95 units
 - 120 parking spaces
 - 46 cars parked
 - .5 cars per unit

With regards to the affordable housing family apartments within San Luis Obispo County studied in our survey the developments provided, on average, 1.6 parking spaces per unit. In practice **1 parking space per unit is being used.** Over 30% of the spaces were vacant.

The proposed Atascadero Family Apartments development is planned for 157 parking spaces which equals 1.8 parking spaces per unit. Based on our sampling of representative and performing developments in our portfolio and those studied in close proximity to Atascadero we are of the opinion that there is more than sufficient parking at the development.

Should you have any questions regarding this analysis please contact Jake Lingo at (818) 974-2966 or jakelingo@hotmail.com.

Sincerely,



Lori Koester
Executive Director

Attachment 4: Native Tree Report

FEBRUARY 16, 2015

KAY J. GREELEY, BCMA

Native Tree Report

Atascadero Family Apartments
APN: 045-321-020 and 045-321-021
Atascadero, California 93422

INTRODUCTION

This Native Tree Report was prepared at the request of Corporation for Better Housing. Corporation for Better Housing desires to install an affordable housing development in Atascadero, California. The site and immediate vicinity contain a total of 68 native trees, all of which are blue oak (*Quercus douglasii*). These trees are protected under the City of Atascadero Municipal Code. The purpose of this Native Tree Report is as follows:

- Document findings related to a field inventory and ground-level visual analysis of the subject trees, including photographs and a tree location map.
- Analyze potential impacts to the subject trees that might result from the proposed affordable housing development.
- Present recommendations with respect to protection of the protected trees during construction activities, as well as any treatments that would serve to improve or promote their health.

This report was prepared in accordance with Section 9-11 of the City of Atascadero Municipal Code, relating to Native Tree Regulations. Preservation of natural flora and fauna is a basic community goal of the Atascadero General Plan and native trees are valued community assets. The Municipal Code established regulations for the installation, maintenance, planting, preservation, protection and selected removal of native trees within the City limits. A permit is required for the removal of any deciduous native tree two inches dbh or greater and four inches dbh or greater for all other protected native trees, and for pruning of more than 25 percent of the live canopy in native trees.

SCOPE OF WORK

The scope of work included a full ground field observation of the cultural and physical conditions of a total of 68 native trees. Pertinent data was recorded by associate Certified Arborist Thomas Juhasz in October and November 2014 as shown on the Field Evaluation Forms in Appendix A. Photographs for reference and record purposes are included in Appendix B. A Tree Location Map is included in Appendix C. This map was prepared using a site plan provided by Corporation for Better Housing.

Tree locations were determined per the underlying topographic survey and by locating some trees from known points. All information provided by the preparer is certified to be true and correct as of the date of the field observations. All protected native trees that might be impacted within the vicinity of the proposed project were inventoried.

TREE CHARACTERISTICS AND SITE CONDITIONS

A 1-1/4 inch diameter metal tag stamped with the tag number shown on the Tree Location Map in Appendix C was attached to the north side of each of the 68 native trees within the vicinity of the proposed project. The tag numbers used include '279' through '282' and the numbers '518' through '581', sequentially. The oak trees are generally located in clusters within the site, as shown on the Tree Location Map contained in Appendix C. The largest grouping is along the westerly side of the parcel. All of the trees are growing within grassy open space.

Detailed information with respect to species, diameter, and number of trunks, height, canopy dimensions, form, crown class, age class, and pruning history is provided for the each of the subject trees on the Field Evaluation Forms in Appendix A.

TREE HEALTH AND DEFECTS

A health and appearance rating of each tree is listed on the summary table shown on the map in Appendix C. Specific details are documented for each tree on the Field Evaluation Forms in Appendix A. Issues noted on the forms include foliage color, density and leaf size, and presence of epicormic growth or twig dieback. Assessments of relative annual shoot growth, woundwood development and vigor are also provided. Specific tree defects were evaluated and noted as to their location (root crown, trunk, scaffolds, or branches), as well as the severity of the defect. Any recommended treatments are also noted on the individual Field Evaluation Forms.

Many of the trees exhibited epicormic growth and twig dieback as a result of the prolonged drought period.

IMPACT ANALYSIS AND SPECIFIC RECOMMENDATIONS

A summary of the impact analysis is provided on the table contained in Appendix C. The impacts may be summarized as follows:

Impact	Quantity
Preserve	32
Encroach	14
Remove	21
Dead	1
Total	68

GENERAL RECOMMENDATIONS

The following general recommendations are provided for educational purposes and should be followed to establish and maintain a healthy cultural environment for native trees. These recommendations apply to native trees in general; specific questions should always be referred to the project arborist or the City of Atascadero. The recommendations also apply to the care of most ornamental trees.

WORK WITHIN THE PROTECTED ZONE

The protected zone is an area surrounding a tree, defined within the City of Atascadero Native Tree Regulations. It includes all area within the dripline of the tree. Given the high sensitivity of native trees, great care must be taken when work is conducted within the protected zone. Specifically:

Observation -- All work conducted within the protected zone of a protected native tree should be performed within the presence of a qualified arborist. This work will also require a permit from the City of Atascadero. This will help to insure that work is performed in a manner that will not harm the tree.

Notice -- A minimum of 48 hours notice should be provided to the project arborist prior to the planned start of work. This notification must also be provided to the City of Atascadero. The notice will insure that the project receives the highest possible scheduling priority and avoid delays.

Hand Tools -- All work should be accomplished with the use of hand tools only. Except under special circumstances, tractors, backhoes and other vehicles cannot be operated in a manner that will preserve major tree roots, minimize soil compaction, and insure the safety of both the vehicle operator and the tree.

Certification -- All work conducted within the protected zone should be certified by the project arborist. For work performed under a permit, this may be a requirement of the City of Atascadero.

WORK OUTSIDE OF THE PROTECTED ZONE

To protect trees within the vicinity of major construction, trees should be temporarily fenced at the edge of the protected zone prior to the beginning of construction operations on a site. The fence should be constructed as shown on the detail contained on the Tree Location Map in Appendix C.

PLANTING WITHIN THE PROTECTED ZONE

Planting within the protected zone of native trees is generally discouraged. Ideally, the natural leaf litter should be allowed to collect beneath the tree, creating a natural mulch and fertilizer. If planting is necessary or the natural leaf litter is removed, the following should be considered:

Plant Material -- Only compatible plantings should be utilized. A good reference planting under oak trees is Compatible Plantings Under and Around Oaks by the California Oak Foundation.

Irrigation -- No spray-type irrigation systems should be used within the protected zone. It is important that sprinkler systems do not throw water against the trunk of a native tree. A continuously wet soil condition near the root crown (the area where the tree trunk

meets the ground) favors the growth of predatory disease organisms. The two most prominent organisms in southern California are avocado root rot (*Phytophthora cinnamomi*) and oak root fungus (*Armillaria mellea*). At a minimum, all spray irrigation should be kept at least 15 feet from the trunk to prevent drift onto the root crown.

Resistant Varieties -- Avoid plants that are susceptible to either avocado root rot or oak root fungus. Oak trees are particularly susceptible to these diseases in developed areas. Avoiding other plants susceptible to these diseases will also help to keep the diseases in a dormant state. Consult publications by the University of California Cooperative Extension for plant lists.

Mulch -- Place a three-inch thick layer of organic mulch throughout the protected zone of each tree. Aesthetically pleasing options include crushed walnut hulls and shredded bark. These mulches are beneficial when the natural leaf litter is not available, minimizing evaporation, moderating temperature and providing weed control.

TREE MAINTENANCE AND PRUNING OPERATIONS

Most native trees require very little pruning, with the exception of periodic deadwooding. However, if a tree has a major defect, the employment of proper pruning practices may be more desirable than the uncontrolled damage that could otherwise occur. Always consult qualified professionals for advice.

Ornamental or Aesthetic Pruning -- Removal of live tissue for the purpose of altering the appearance of a protected native tree is not desirable and is generally not allowed by the City of Atascadero. Activities such as thinning out, heading up, or other similar practices contribute to the onset of insect and disease attacks.

Deadwooding -- Removal of dead tissue, regardless of size, may usually be performed without a permit. All pruning should follow standards endorsed by the International Society of Arboriculture.

Other Pruning Operations -- Branches that are considered to be unsafe due to decay, cavities, cracks, physical imbalance, fire damage, disease, or insects should be referred to a qualified arborist for inspection, especially if the branches exceed two inches in diameter. A permit is generally required by the City of Atascadero to remove such branches. A brief written report will be prepared by the project arborist to provide the basis for the request.

Cavities and Hollows -- Cavities and hollows should be kept free of loose debris. Some contain decayed wood; these should generally be referred to a qualified arborist for treatment. Concrete or other materials should not be used to seal or fill in cavities or hollows. These materials create a haven for diseases and insects over time. Openings may be covered with screening to prevent debris build-up and habitation by bees.

Wound Seal -- Pruning wounds should generally not be sealed with any type of compound. Over time, these materials crack and create entry points for disease and insects. A proper pruning cut will heal naturally over a short period of time.

WATERING AND FERTILIZATION

Winter rains should be sufficient to provide the water needed for oak trees in natural areas. Native trees in landscaped areas will usually receive enough water from adjacent plantings. If you suspect that a tree is in need of supplemental water, contact the project arborist for advice.

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FEBRUARY 16, 2015

KAY J. GREELEY, BCMA

Watering -- If supplemental water is required, use a water probe, such as a "Ross Root Feeder" to apply the water. Alternatively, a low volume soaker hose could be utilized. Apply the water at various locations, just outside the dripline of the tree. A total of 15 to 20 hours of low-volume application should suffice. Repeat this watering cycle every one to two months as needed. Water should generally not be applied to oak trees in the summer, as they are effectively dormant and cannot accept the water.

Fertilization -- Fertilizer can be applied along with the water. A total of 0.75 pound of actual nitrogen per inch of trunk diameter per year is a basic rule-of-thumb. However, ask your local certified nurseryman for a specific recommendation and follow the manufacturer's directions carefully. Over-fertilization can be deadly and is generally not required for native trees.

Aeration -- Ventilation of the root system can be very beneficial in areas where soil has been compacted. Hand dig holes six inches in diameter to a depth of two feet. Do not cut any roots in excess of one inch in diameter. Dig the holes two feet on center, in concentric circles around the trunk, throughout the dripline. If possible, add holes outside of the dripline. Fill the holes with an organic matter. If oak leaf litter is not available, organic mulch will be beneficial. This organic matter will be decomposed, producing a year-round source of fertilizer for the tree. Note that the City of Atascadero may require a permit to complete such work under a protected native tree.

DISEASES AND INSECTS

Effective pest control starts with regular observation by the property owner. Issues such as abnormal leaf drop, oozing sap, and discolored or dying leaves indicate that something has changed and expert inspection is required. Property owners should be very careful when using pesticides around trees. Herbicides should never be utilized within one hundred feet of a protected native tree, unless applied by a certified pesticide applicator. Misuse of these compounds can lead to the death of beneficial organisms or even to the death of the tree.

GRADE CHANGES

Any change to the grade at the root crown of a tree can have a negative impact. As little as six inches can lead to the death of the tree. Drainage patterns should be maintained to prevent water from flowing and ponding at the base of a tree. If excess material builds up at the root crown, use a small shovel to remove the excess soil and debris. The flare at the root crown should just be visible.

INSPECTION

Trees should be inspected on a periodic basis by a qualified arborist. The inspection basis should be determined by the relative hazard value of the tree. For example, trees surrounding a high-use business should be inspected on a quarterly basis, whereas trees located within a low-use open space might only require bi-annual inspection. It is the responsibility of the property owner to establish and implement an appropriate inspection schedule upon the recommendation provided by the qualified arborist.

ITEM NUMBER: 4

DATE: 5-19-15

FEBRUARY 16, 2015

KAY J. GREELEY, BCMA

FINDINGS

Corporation for Better Housing met with the City of Atascadero early in the planning of this proposed project. The site layout as it relates to the existing trees was specifically discussed. As shown on the Tree Location Map in Appendix D, the proposed site plan emphasizes development in the previously-disturbed area along the easterly side of the site. This allows for preservation of 46 out of the 67 live trees on the site. These trees primarily grow within a remnant of blue oak woodland on the westerly side of the site.

The trees to be removed in Phase I of the project are generally scattered individuals on the easterly side of the site, as well as trees that would interfere with the proposed emergency access on the westerly side of the site. Preservation of additional trees would require a significant reduction in the number of apartments.

The trees to be removed in Phase II include a cluster of trees north of the center portion of the site. Preservation of additional trees in this area would require that the proposed recreation amenities be deleted. If no recreation space is provided, the trees to remain would like sustain adverse health impacts due to compaction. The areas beneath the trees would be heavily used for outdoor activities.

With little exception, the trees on the site exhibit significant stress from the prolonged drought. Epicormic growth, or sprouting of normally dormant buds, is present on most of the trees. This reaction is an attempt by the trees to become smaller organisms. As the drought continues, the tops of the trees will die-back and eventually result in limb failures. The proposed planting of new blue oak trees as part of the landscape plan will supplement the existing tree inventory with healthy trees. The new oaks can be properly irrigated and will serve to revitalize the blue oak inventory.

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1	2	3	4	5	6	7	8	9	10	11
Tree #	Tree Species	Trunk dbh (inches)	Tree Condition	Construction Status	Dripline % Impact	Construction Impact	Mitigation Proposal	Monitoring Required?	Pruning Required?	Field Notes
279	blue oak	10	B	avoided	0%	none	F	no	crown cleaning	twig dieback; sweep in trunk
280	blue oak	14	B-	avoided	0%	none	F	no	crown cleaning	twig dieback; sweep in trunk
281	blue oak	16	C	avoided	0%	none	F	no	crown cleaning	co-dominant scaffolds with included bark; mistletoe
282	blue oak	14	B	avoided	0%	none	F	no	crown cleaning	minor deadwood
518	blue oak	25, 22, 20, 12	C	removed	100%	removal	none	no	none	in building footprint
519	blue oak	25	C+	removed	11%	grading 4' from trunk	none	no	none	in building footprint
520	blue oak	15	C	removed	100%	removal	none	no	none	in construction footprint
521	blue oak	20	B-	removed	100%	removal	none	no	none	in building footprint
522	blue oak	18	C	removed	100%	removal	none	no	none	in building footprint
523	blue oak	19	C	removed	100%	removal	none	no	none	in driveway
524	blue oak	11	C	removed	100%	removal	none	no	none	in driveway
525	blue oak	13	B	impacted	34%	driveway construction 4' from trunk	F, M, RP, CP	yes	crown cleaning and raising	minor deadwood
526	blue oak	17	B-	removed	100%	removal	none	no	none	in driveway
527	blue oak	17	C	impacted	24%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; co-dominant scaffolds with included bark
528	blue oak	15	C	avoided	0%	none	F	no	crown cleaning	twig dieback; severely co-dominant scaffolds with included bark and deadwood
529	blue oak	14	C+	impacted	42%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; poor trunk taper; reaction wood forming around dead trunk
530	blue oak	8	C	impacted	0%	walkway adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; poor trunk taper
531	blue oak	20	C	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; mistletoe
532	blue oak	9	B-	avoided	0%	none	F	no	crown cleaning	twig dieback; bow in trunk
533	blue oak	7	B-	avoided	0%	none	F	no	crown cleaning	twig dieback; moderate deadwood
534	blue oak	10, 8	C	avoided	0%	none	F	no	crown cleaning	twig dieback; severely co-dominant scaffolds with included bark and deadwood
535	blue oak	19	C+	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; severely co-dominant scaffolds with included bark and twig dieback; co-dominant trunks with included bark; deadwood
536	blue oak	10, 9, 8	C+	avoided	0%	none	F	no	crown cleaning	twig dieback; co-dominant scaffolds with included bark and deadwood
537	blue oak	8	C	avoided	0%	none	F	no	crown cleaning	twig dieback; co-dominant scaffolds with included bark and deadwood
538	blue oak	8	C	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback
539	blue oak	22	C	avoided	0%	none	F	no	crown cleaning	twig dieback; co-dominant scaffolds with included bark and deadwood
540	blue oak	17	C	impacted	55%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; co-dominant scaffolds with included bark and deadwood
541	blue oak	15	C+	avoided	0%	none	F	no	crown cleaning	twig dieback; co-dominant scaffolds with included bark
542	blue oak	13	C	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; poor trunk taper
543	blue oak	12	C+	impacted	37%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; bow in trunk
544	blue oak	16	C	impacted	26%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	epicormic growth and twig dieback; co-dominant scaffolds
545	blue oak	7	C-	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; poor trunk taper
546	blue oak	8	D	impacted	4%	patio under dripline	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; poor trunk taper
547	blue oak	dead	F	dead	0%	none	F	yes	none	monitor during removal
548	blue oak	12, 9	D+	avoided	0%	none	F	no	crown cleaning	twig dieback; co-dominant trunks
549	blue oak	16, 15	B-	avoided	0%	none	F	no	crown cleaning	twig dieback
550	blue oak	22	C+	impacted	41%	patio, walkway and carport under dripline	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; bow in trunk
551	blue oak	16	B	avoided	0%	none	F	no	crown cleaning	co-dominant scaffolds with included bark
552	blue oak	18	C	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; co-dominant scaffolds with included bark
553	blue oak	8	C	avoided	0%	none	F	no	crown cleaning	bows in trunk and scaffolds
554	blue oak	16	C-	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; co-dominant scaffolds
555	blue oak	28	B-	avoided	0%	none	F	no	crown cleaning	co-dominant scaffolds; mistletoe
556	blue oak	20	C-	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; co-dominant scaffolds with included bark
557	blue oak	10	D+	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; extremely poor trunk taper
558	blue oak	22	C-	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; co-dominant scaffolds with included bark
559	blue oak	20, 7	C-	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback
560	blue oak	8	C-	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; poor trunk taper
561	blue oak	9	C-	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; trunk grown into plank
562	blue oak	16	B-	impacted	28%	carport adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	co-dominant scaffolds with included bark; moderate deadwood
563	blue oak	15	C-	impacted	11%	carport adjacent to trunk	F, M, RP, CP	yes	crown cleaning and raising	epicormic growth and twig dieback; co-dominant scaffolds with included bark
564	blue oak	10	D+	avoided	0%	none	F	no	crown cleaning	epicormic growth and twig dieback; significant deadwood
565	blue oak	20	A-	removed	100%	removal	none	no	none	in basketball court
566	blue oak	18	C-	removed	100%	removal	none	no	none	in basketball court
567	blue oak	11	C-	removed	100%	removal	none	no	none	in basketball court
568	blue oak	16	C-	removed	100%	removal	none	no	none	in basketball court

ITEM NUMBER: 4

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569	blue oak	19	B-	removed	100%	removal	none	no	none	in basketball court
570	blue oak	17	C-	removed	100%	removal	none	no	none	in basketball court
571	blue oak	37	A	removed	100%	removal	none	no	none	in building footprint
572	blue oak	15	C-	removed	100%	removal	none	no	none	in building footprint
573	blue oak	42	B-	removed	100%	removal	none	no	none	in parking turnaround
574	blue oak	11, 10	C+	removed	49%	curb within 2' of trunk	none	no	none	adjacent to driveway
575	blue oak	10, 8	B-	removed	100%	removal	none	no	none	bioswale area
576	blue oak	13, 10, 9, 8	C+	removed	100%	removal	none	no	none	bioswale area
577	blue oak	10	C-	removed	100%	removal	none	no	none	bioswale area
578	blue oak	13	C+	impacted	4%	patio under dripline	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; poor trunk taper and bow
579	blue oak	12	C-	avoided	0%	none	F	no	crown cleaning	twig dieback; poor trunk taper and bow
580	blue oak	15	B-	impacted	21%	driveway construction 4' from trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; decay in scaffold
581	blue oak	16	C+	impacted	4%	driveway construction 9' from trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; trunk wound
Column #:										
1	Tree # as shown on plan									
2	Tree type (common name)									
3	Trunk diameter measured at 4'-6" (dbh)									
4	Tree condition (A = excellent, B = above average, C = average, D = declining, F = dead)									
5	Construction status (avoided, impacted or removed)									
6	% of dripline impacted by construction									
7	Construction impact description									
8	Mitigation proposal (F = fencing, M = monitoring, RP = root pruning, CP = canopy pruning)									
9	Arborist monitoring required (yes/no)									
10	Recommended pruning description									
11	Field notes									

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Native Tree Mitigation Chart

Evergreen Native Trees (inches)			Deciduous Native Trees (inches)			Totals
	dbh	notes		dbh	notes	
1	0-inches		1	90-inches	Multi-trunk #518	
2			2	25-inches	tree 519-building	
3			3	15-inches	tree 520-building	
4			4	20-inches	tree 521 building	
			5	18-inches	tree 522 building	
			6	19-inches	tree 523 driveway	
			7	11-inches	tree 524 driveway	
			8	17-inches	tree 526 driveway	
			9	20-inches	tree 565 rec/fire	
			10	18-inches	tree 566 rec/fire	
			11	11-inches	tree 567 rec/fire	
			12	16-inches	tree 568 rec/fire	
			13	19-inches	tree 569 rec/fire	
			14	17-inches	tree 570 rec/fire	
			15	37-inches	tree 571 building	
			16	15-inches	tree 572 building	
			17	42-inches	tree 573 turnaround	
			18	21-inches	tree 574 multi-trunk	
			19	18-inches	tree 575 multi-trunk	
			20	40-inches	tree 576 multi-trunk	
			21	10-inches	tree 577 bioswale	
Total	0-inches		Total	499-inches		499-inches
Mitigation Requirement						
req'd tree replacements:		0 five gal trees	req'd tree replacements:		333 five gal trees	333 five gal trees
Proposed Replanting		0 five gal trees 0 box trees (24")	Proposed Replanting		0 five gal trees 0 box trees (24")	0 five gal trees 0 box trees (24")
Remaining Mitigation		0 five gal trees	Remaining Mitigation		333 five gal trees	333 five gal trees
Tree Fund Payment:	\$	-	Tree Fund Payment:	\$	16,633.33	\$ 16,633.33

ITEM NUMBER: 4

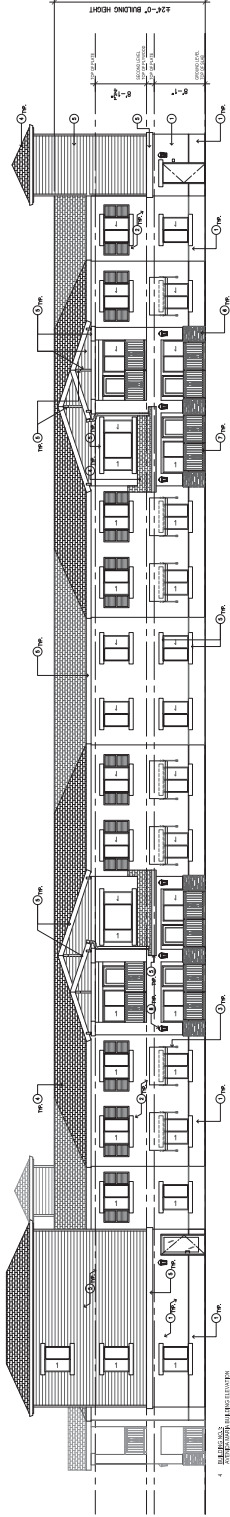
DATE: 5-19-15

Attachment 5: Applicant Design Package

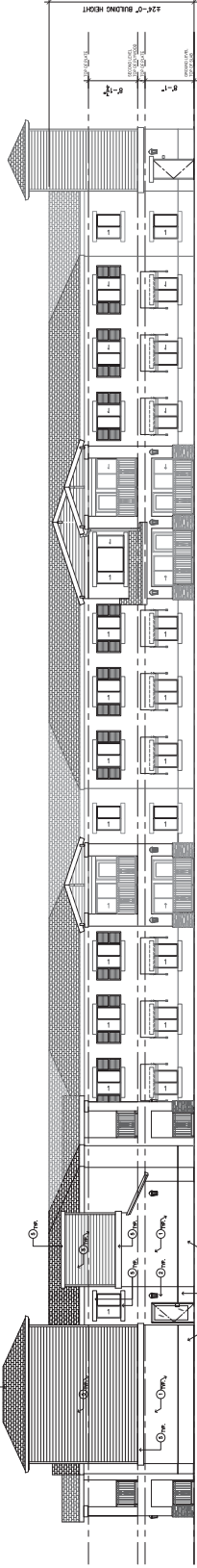
Please see the following Attachment

EXTERIOR FINISHES SCHEDULE:

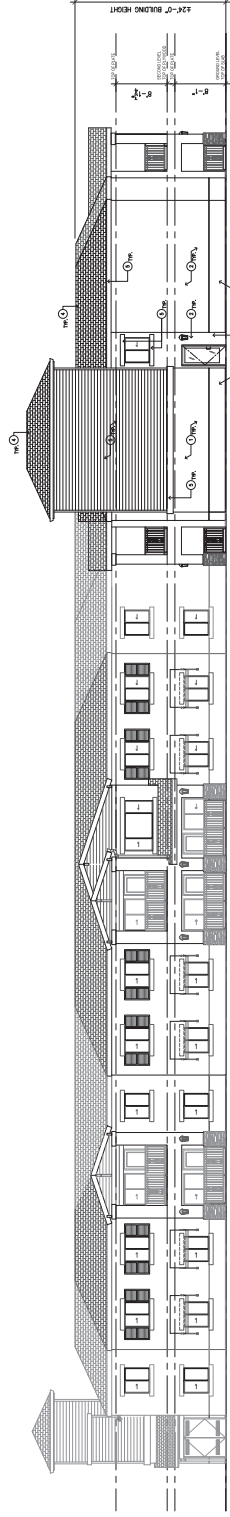
1	BRICKWORK
2	CONCRETE
3	WOOD
4	GLASS
5	STEEL
6	ASBESTOS CEMENT
7	SPRUE
8	SPRUE
9	SPRUE
10	SPRUE



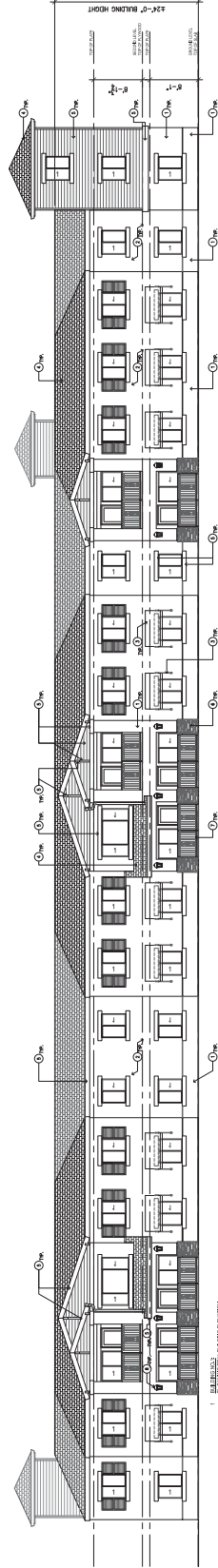
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BUILDING ELEVATION 2
SCALE: 1/8"=1'-0"



BUILDING ELEVATION 3
SCALE: 1/8"=1'-0"



BUILDING ELEVATION 4
SCALE: 1/8"=1'-0"

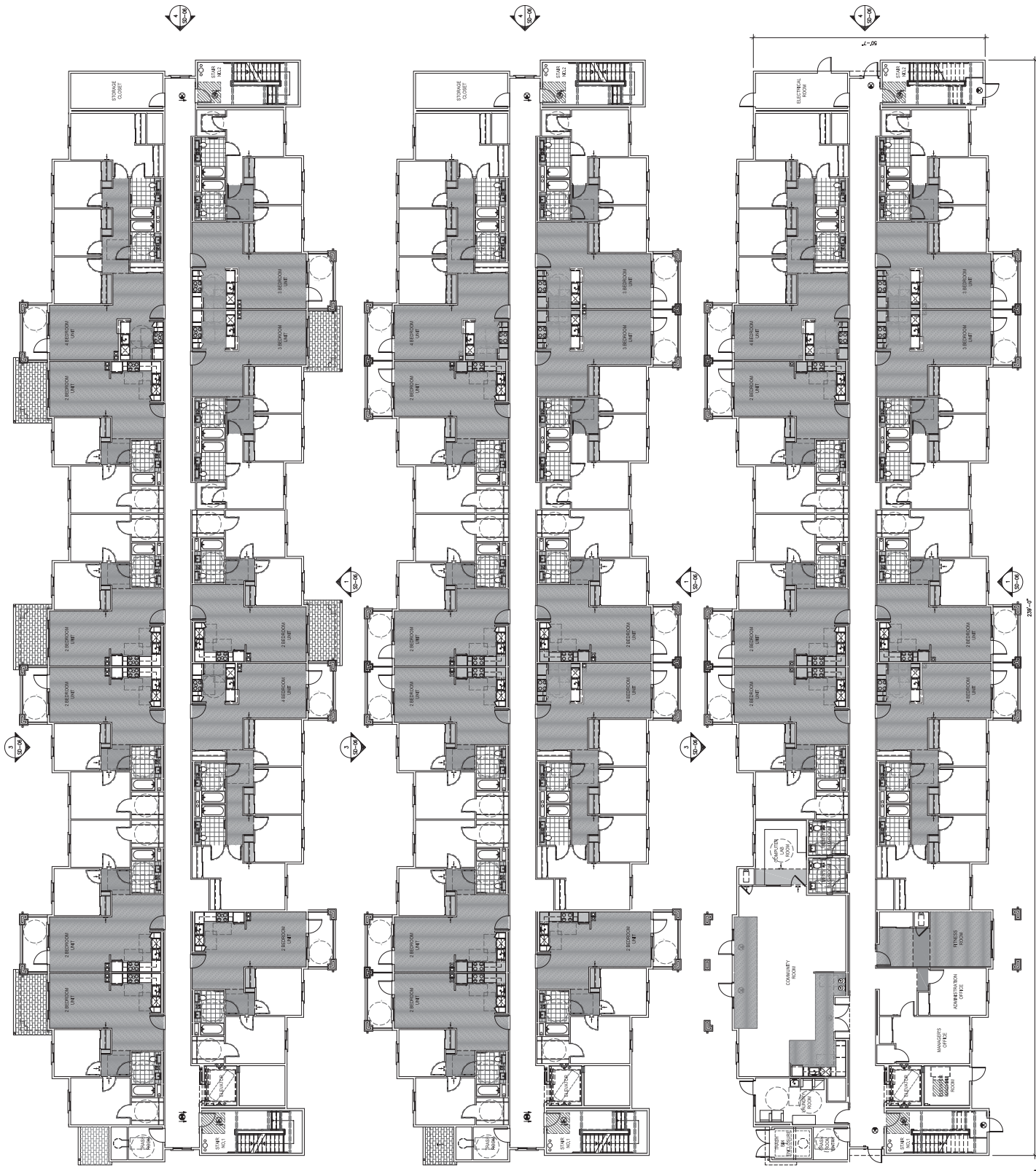
BUILDING NO. 2:
THIRD LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 2:
SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 2:
GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

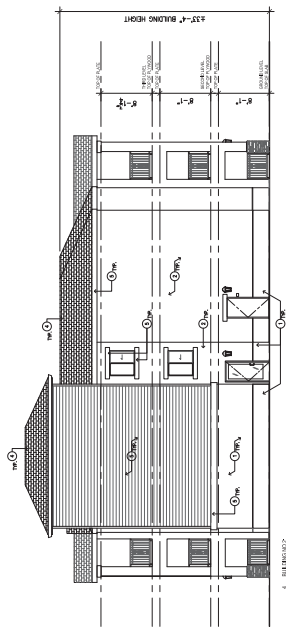
NOTES:
1. BRADING FLOOR PLAN IS SHOWN INDICATED.
2. SEE 3RD FLOOR PLAN FOR BRADING ORIENTATION.

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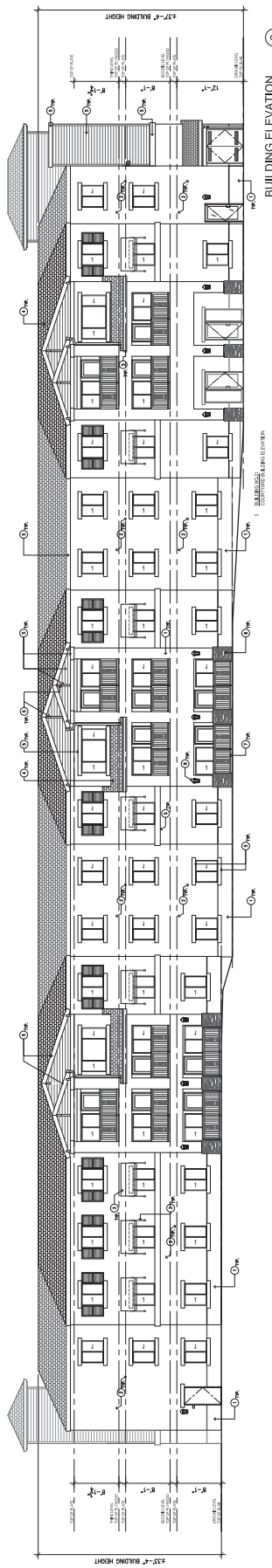


EXTERIOR FINISH SCHEDULE

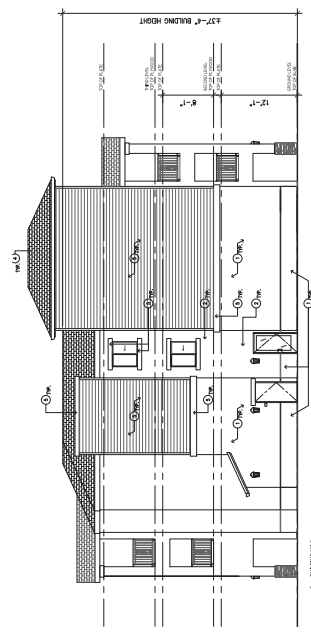
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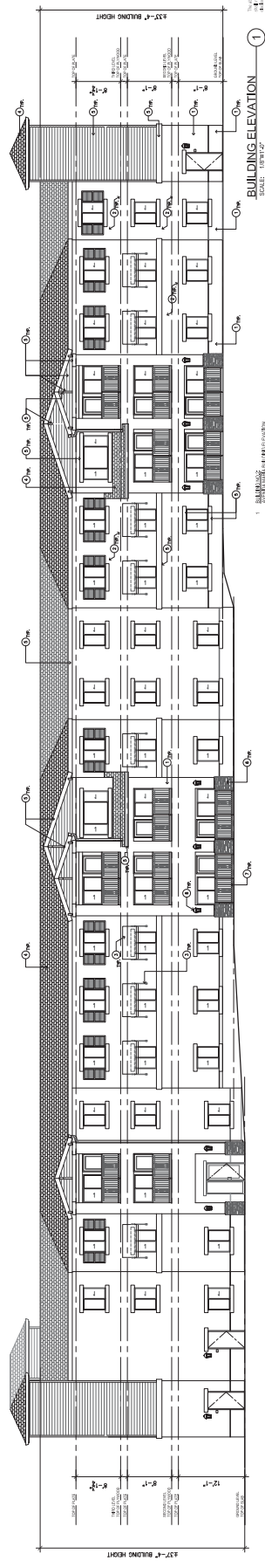
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BUILDING ELEVATION 2
SCALE: 1/8"=1'-0"



BUILDING ELEVATION 3
SCALE: 1/8"=1'-0"



BUILDING ELEVATION 4
SCALE: 1/8"=1'-0"

04.24.15
Date

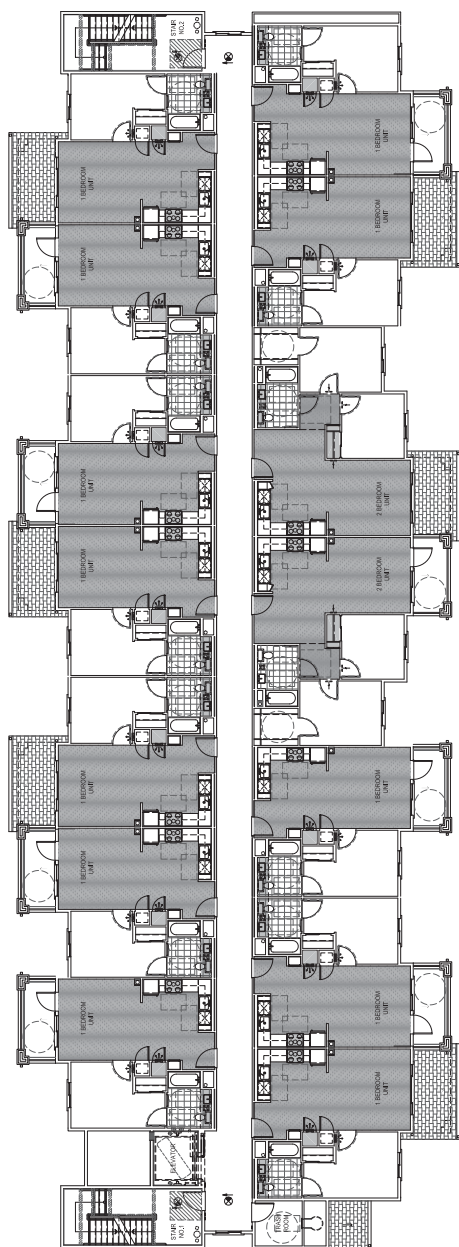
SD-06
Page

Corporation For Better Housing
Developer: 6847 Vanik Avenue
Woodland Hills, CA 91367

Atascadero Phase 1 + 2
Project

Y&M Architects
1741 Archibald Street, Suite 304
Los Angeles, CA 90014
Tel: 213 623 2107 Fax: 213 623 2108
www.yandmarch.com

Y&M Architects

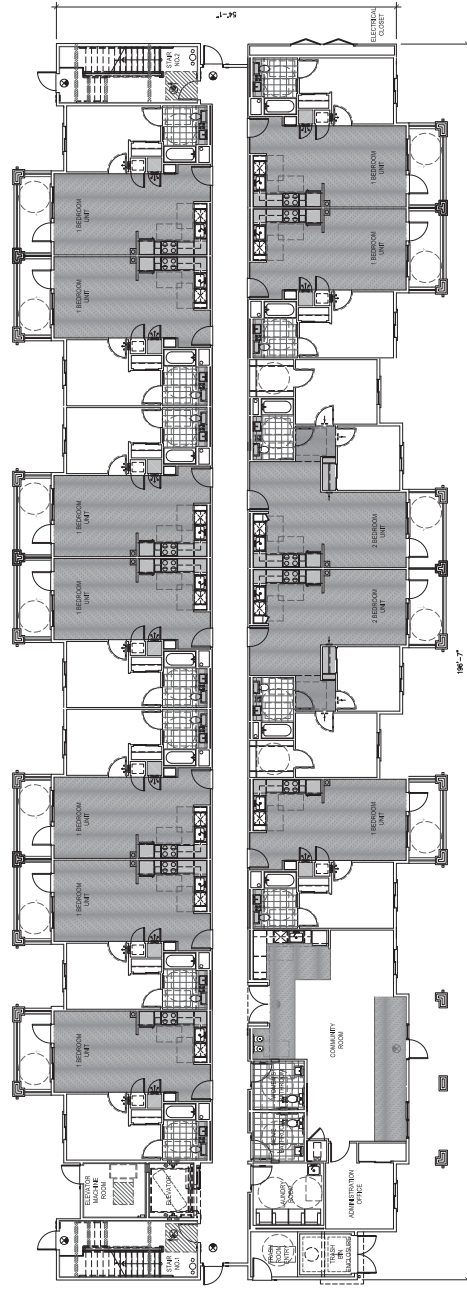


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SECOND LEVEL FLOOR PLAN
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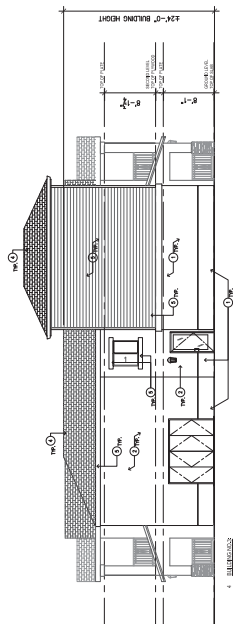
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GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



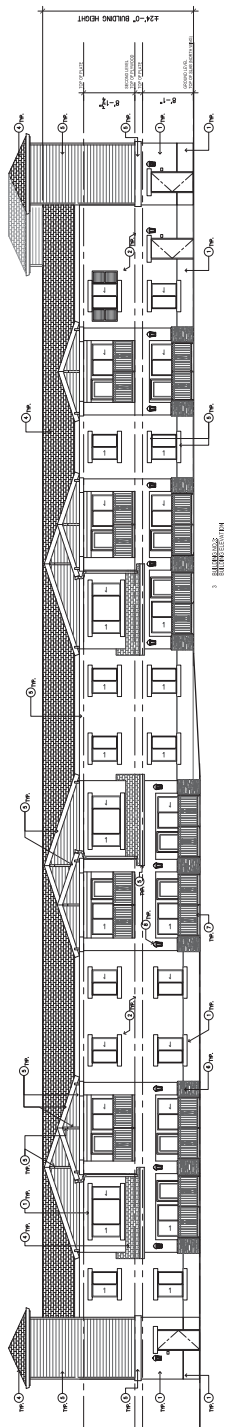
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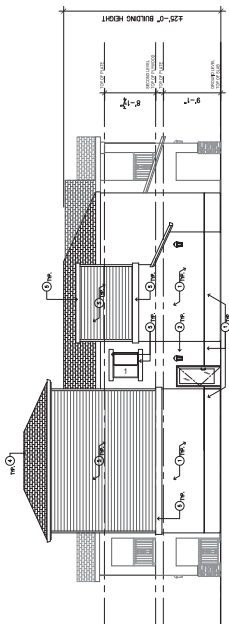
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EXTERIOR MATERIALS: 1 BRICK 2 STUCCO 3 METAL PANELS 4 GLASS 5 WOOD 6 PAINT		INTERIOR MATERIALS: 1 BRICK 2 STUCCO 3 METAL PANELS 4 GLASS 5 WOOD 6 PAINT	



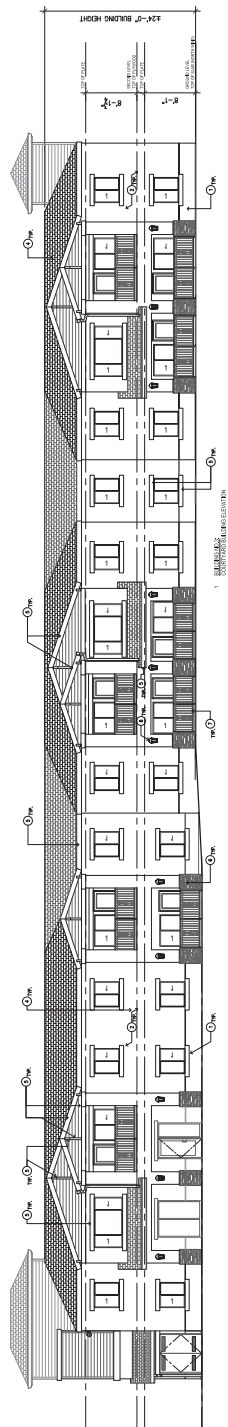
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BUILDING ELEVATION 3
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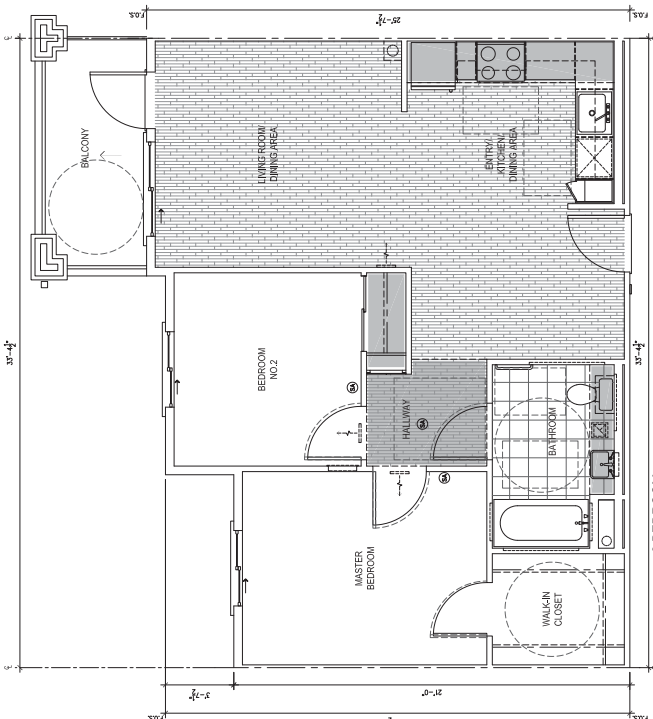


BUILDING ELEVATION 2
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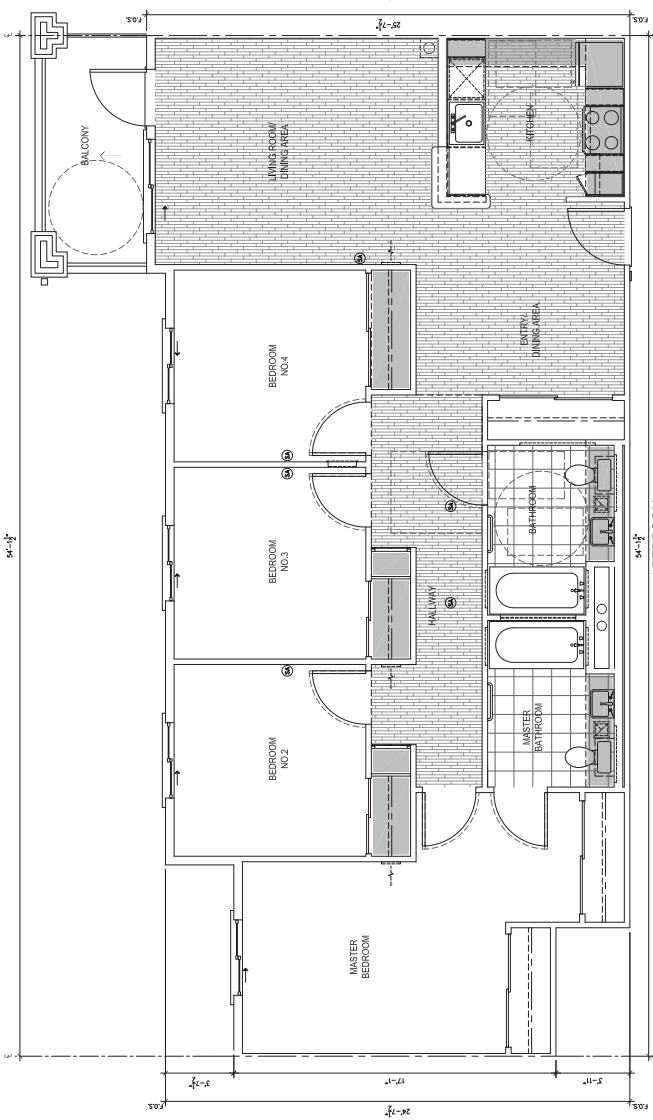


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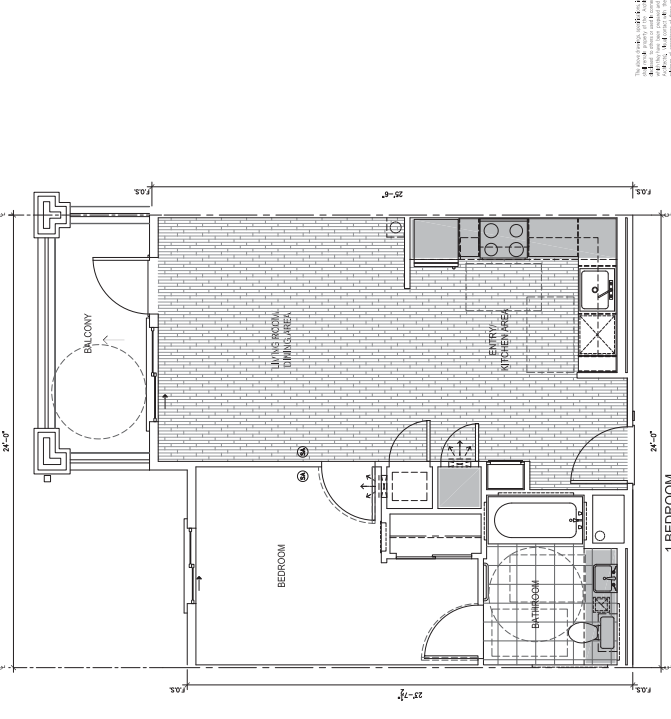
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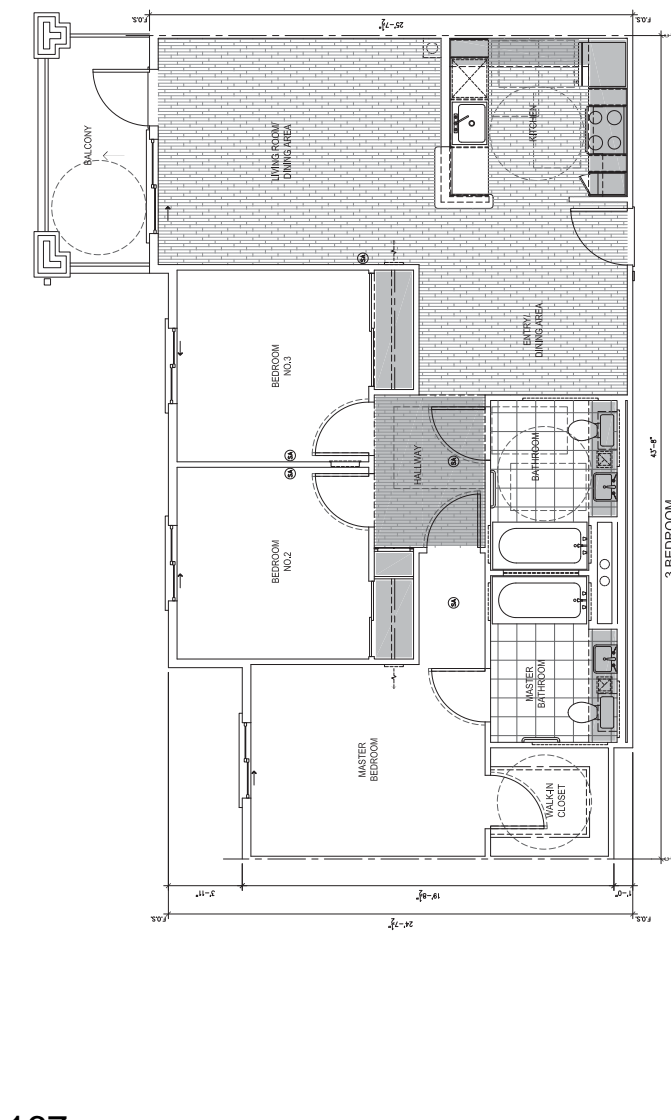
2 BEDROOM
RESIDENTIAL UNIT PLAN:
787 SQ. FT.
SCALE: 3/8" = 1'-0"



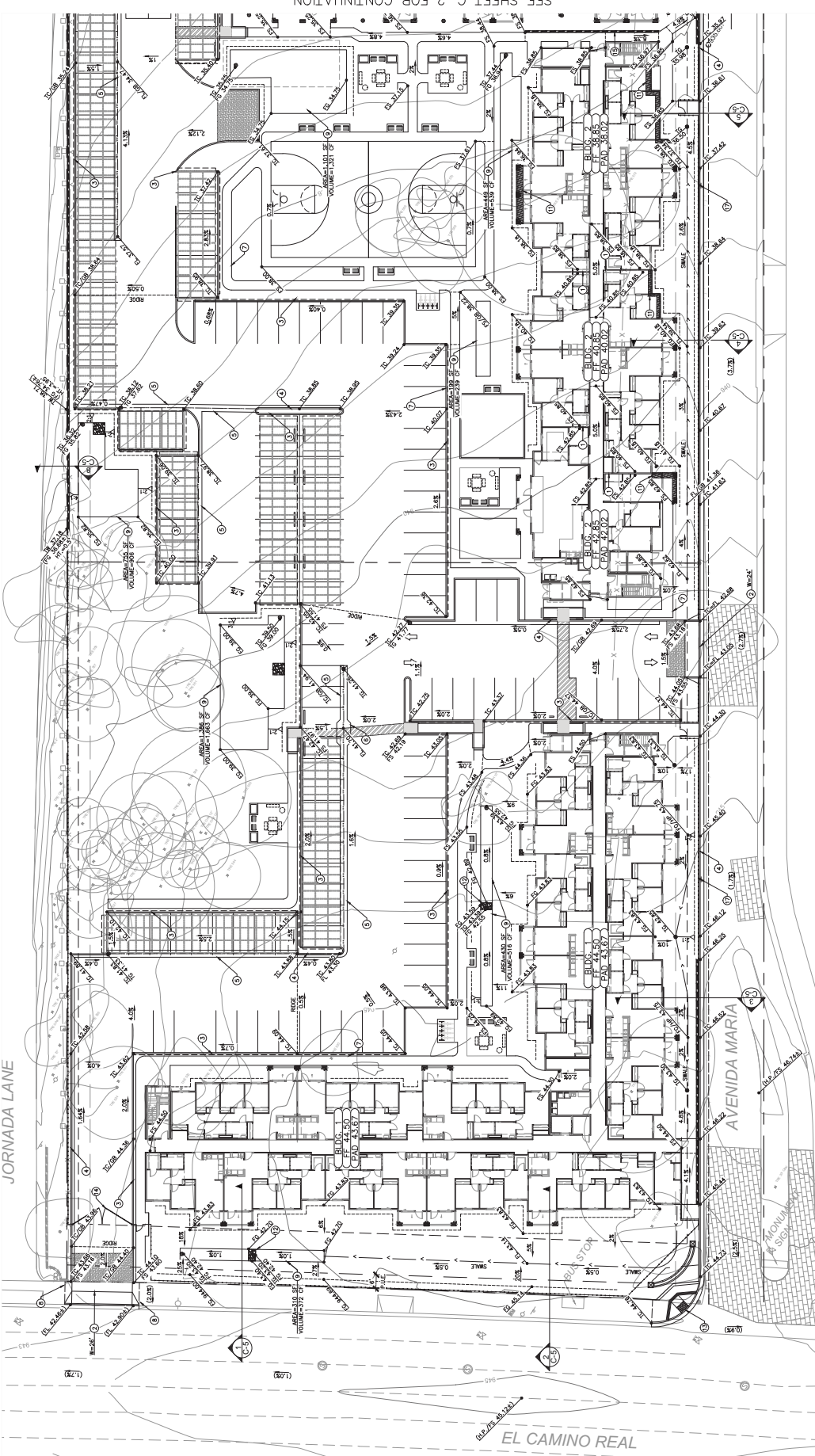
4 BEDROOM
RESIDENTIAL UNIT PLAN:
1280 SQ. FT.
SCALE: 3/8" = 1'-0"



1 BEDROOM
RESIDENTIAL UNIT PLAN:
594 SQ. FT.
SCALE: 3/8" = 1'-0"



3 BEDROOM
RESIDENTIAL UNIT PLAN:
1042 SQ. FT.
SCALE: 3/8" = 1'-0"



SEE SHEET C-2 FOR CONTINUATION

DATE: 04/20/21
DESIGNED BY: JMM
DRAWN BY: JMM
CHECKED BY: JMM
SCALE: AS SHOWN

811 Know what's below. Call 811 before you dig.

GRADING KEY NOTES (CONT.)

- ④ CURB RAMP 2" PER 4' TRANS. STD. (100 SF OF A.O.C. TO BE INDICATED).
- ④ GATE FOR EMERGENCY ACCESS ONLY (SEE ARCHITECTURAL PLANS FOR DETAILS).
- ④ REDISTURB RAMP WITH MANHOLES.
- ④ RP RAMP ENERGY DISSIPATOR AND FDS OVERLAND DISCHARGE GREATER THAN DESIGN STORM EXIST TO 50 YEAR STORM AND 95 PERCENTILE STORM EXENTS.
- ④ NO PARKING SIGN.

GENERAL NOTES

SEE STORM DRAIN UTILITY INFORMATION AND INSERTS ON UTILITY PLAN.

ALL CLEARING, GRADING, SITE PREPARATION, OVER-EXCAVATION, EARTHWORK, CONCRETE, TIE-INS AND WATER TESTING SHALL BE IN COMPLIANCE WITH THE PROPOSED ELEVATIONS SHALL HAVE 100' ADDED TO THEM TO REFLECT TRUE ELEVATIONS RELATED TO THE PROJECT BENCHMARK. PLAN ELEVATIONS WERE SIMPLIFIED FOR CLARITY.

GRADING KEY NOTES

- ① FINISH FLOOR STEP, SLOPED WALKWAY. SEE ARCHITECTURAL PLANS.
- ② DRIVEWAY APPROACH PER MODIFIED CITY STD. 423 (WIDTH PER PLAN).
- ③ TYPE "A" VERTICAL CURB PER CITY STD. 418 (CURB HEIGHT="A").
- ④ TYPE "B" CURB AND GUTTER PER CITY STD. 418 (CURB HEIGHT="B", GUTTER FINISH="H").
- ⑤ 2" WIDE STAIRCASE VALLEY GUTTER PER DETAIL ON SHEET C-5.
- ⑥ 4" WIDE ADA ACCESSIBLE VALLEY GUTTER PER DETAIL ON SHEET C-5.
- ⑦ GRENDAH PER CITY STD. 419 (WIDTH PER PLAN).
- ⑧ MINIMUM DISTANCE, SHORTER & CONFORM TO MATCH EXISTING IMPROVEMENTS.
- ⑨ 2" WIDE SIDEWALK VALLEY GUTTER PER DETAIL ON SHEET C-5 (TREATMENT AREA AND CAPTURE VOLUME PER PLAN).
- ⑩ UTILIZATION BASH, MC-4000 CHAMBER SYSTEM PER DETAIL ON SHEET C-5 (CAPTURE STOP-BUILDING AND RECOMMENDATIONS, OVERFLOW TO DISCHARGE TO RP RAMP ENERGY DISSIPATOR).
- ⑪ LIMIT OF DEPENDENT FOOTING (HATCHED AREA). SEE ARCHITECTURAL PLANS.
- ⑫ CORNER CHECK DIM PER DETAIL ON SHEET C-3.

SEE SHEET C-2 FOR CONTINUATION



NO.	DATE	REVISIONS

811 Know what's below. Call 811 before you dig.

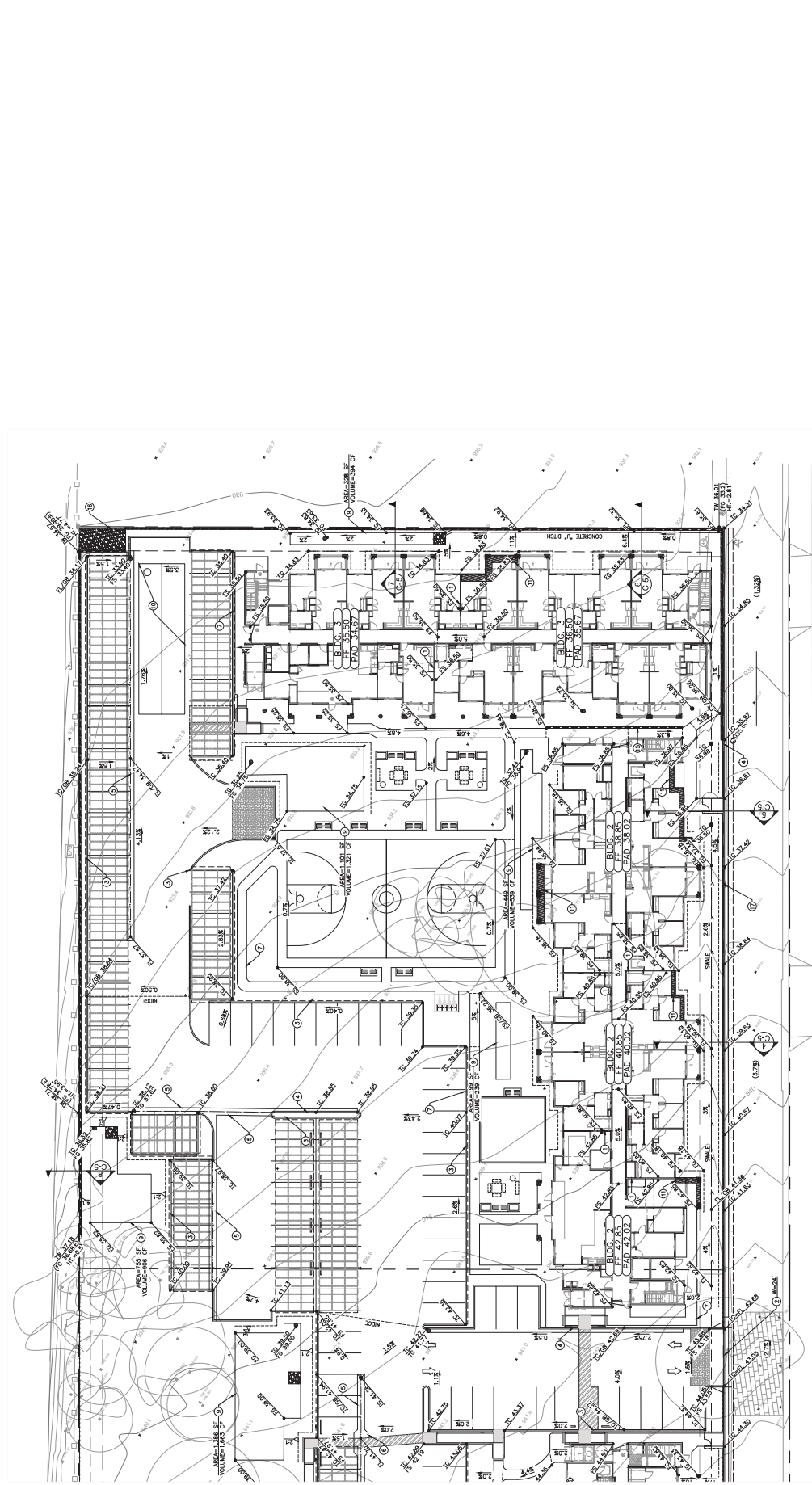
ATASCADERO FAMILY APARTMENTS
CORPORATION FOR BETTER HOUSING

TRUCK
1717 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.TRUCKENGINEERING.COM

PROJECT NO.	17-0000
DATE	11/20/2015
DESIGNED BY	MM
DRAWN BY	MM
CHECKED BY	MM
DATE	11/20/2015

PRELIMINARY GRADING & DRAINAGE PLAN

C-2
SHEET



GRADING KEY NOTES (CONT.)

- 1 CURB RAMP USE 2" PER GRADE/FT. AREA (10% OF SF OF CURB TO BE REGRADED).
- 2 CURB FOR EMERGENCY ACCESS ONLY (SEE ARCHITECTURAL PLANS FOR DETAILS).
- 3 PER AIR CHECKS, REPAIRS AND FOR OVERLAND DISCHARGE, GREATER THAN DESIGN STORM EVENT OF 50 YEAR STORM AND 99 PERCENTILE STORM EVENTS.
- 4 NO PARKING SIGN.

GENERAL NOTES

SEE STORM DRAIN UTILITY INFORMATION AND SHEETS ON UTILITY PLAN.
ALL CLEANING, GRADING, SITE REPAIRS, OVER-EXCAVATION, OVER-EXCAVATION, EXCAVATION, OVER-EXCAVATION, AND MATERIAL TESTING SHALL BE IN COMPLIANCE WITH THE PROPOSED ELEVATIONS SHALL HAVE 500' ADDED TO THEM TO REFLECT THESE ELEVATIONS RELATED TO THE PROJECT BENCHMARK. PLAN ELEVATIONS WERE SIMPLIFIED FOR CLARITY.

GRADING KEY NOTES

- 1 FINISH FLOOR SLOPE SLOPED WALKWAY. SEE ARCHITECTURAL PLANS.
- 2 DRIVEWAY APPROACH PER SLOPED CITY STD. 4.33 (WITH PER PLAN).
- 3 1% "T" VERTICAL CURB PER CITY STD. 418 (CURB HEIGHT=2").
- 4 1% "T" CURB AND GUTTER PER CITY STD. 418 (CURB HEIGHT=2", GUTTER FINISH=1.5").
- 5 2" WIDE STANDING VALLEY GUTTER PER DETAIL ON SHEET C-5.
- 6 4" WIDE ADA ACCESSIBLE VALLEY GUTTER PER DETAIL ON SHEET C-5.
- 7 6" WIDE ADA ACCESSIBLE VALLEY GUTTER PER DETAIL ON SHEET C-5.
- 8 MATCH DISTING. SWICOT & DETAIL ON SHEET C-5 (TREATMENT AREA AND CAPTURE VOLUME PER PLAN).
- 9 VENTILATION BASIN, MC-4000 CHAMBER SYSTEM, PER DETAIL ON SHEET C-5 (CAPTURE VOLUME PER PLAN).
- 10 SEE DRAINAGE AND RECOMMENDATIONS, OVERLAND DISCHARGE TO NEARBY DRAINAGE DISSEMINATOR.
- 11 LIMIT OF DEPRESSED FOOTING (HATCHED AREA). SEE ARCHITECTURAL PLANS.
- 12 CORREL CHECK DIM PER DETAIL ON SHEET C-5.

5071 SHEET C-1 FOR CONTINUATION

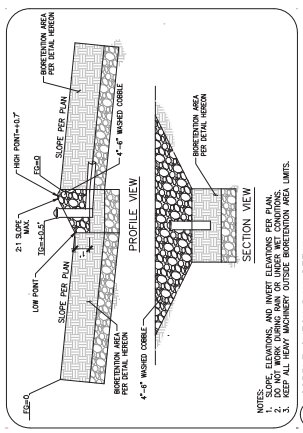
NO.	DATE	REVISIONS

811 Know what's below. Call 811 before you dig.

CORPORATION FOR BETTER HOUSING
 ATASCADERO FAMILY APARTMENTS

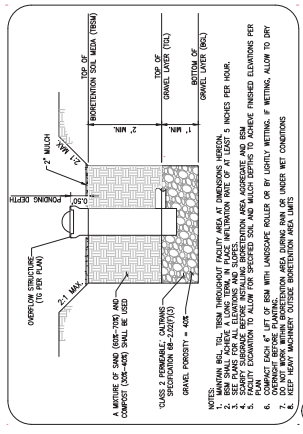
DATE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	4/24/2015

DETAILS AND SECTIONS
 C-5
 SHEET



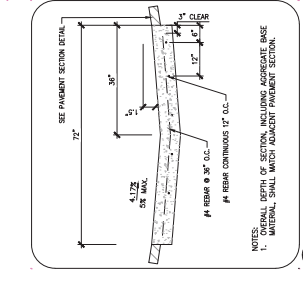
- NOTES:
 1. SET ELEVATIONS, AND INVERT ELEVATIONS PER PLAN.
 2. DO NOT WORK DURING RAIN OR UNDER WET CONDITIONS.
 3. KEEP ALL REBAR ANCHORED OUTSIDE BIORETENTION AREA LIMITS.

4. COBBLE CHECK DAM DETAIL



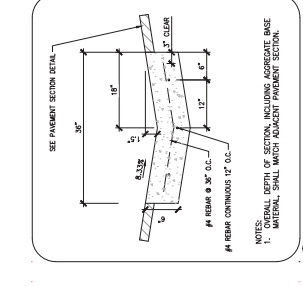
- NOTES:
 1. BIORETENTION SOIL MEDIA THROUGHOUT FACILITY AREA AT DIMENSIONS HEREON.
 2. SET ELEVATIONS, INCLUDING AGGREGATE BASE OF AT LEAST 5 INCHES PER HOUR.
 3. SET ELEVATIONS, INCLUDING AGGREGATE BASE OF AT LEAST 5 INCHES PER HOUR.
 4. REBAR CONTINUOUS 12\"/>

3. BIORETENTION AREA CROSS SECTION



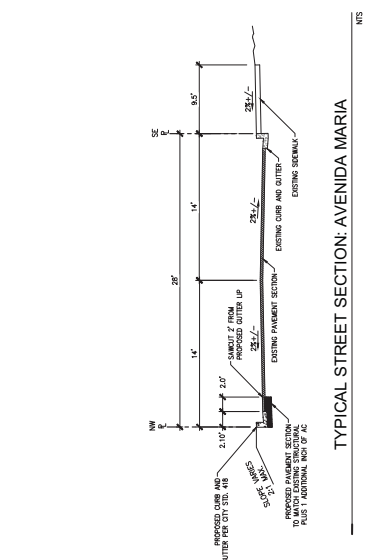
- NOTES:
 1. OVERALL DEPTH OF SECTION, INCLUDING AGGREGATE BASE.
 2. MATERIAL SHALL MATCH ADJACENT PAVEMENT SECTION.

2. ADA ACCESSIBLE VALLEY GUTTER DETAIL

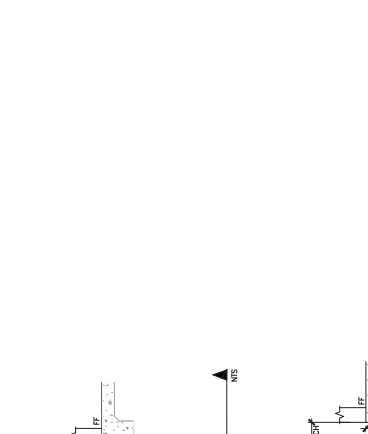


- NOTES:
 1. OVERALL DEPTH OF SECTION, INCLUDING AGGREGATE BASE.
 2. MATERIAL SHALL MATCH ADJACENT PAVEMENT SECTION.

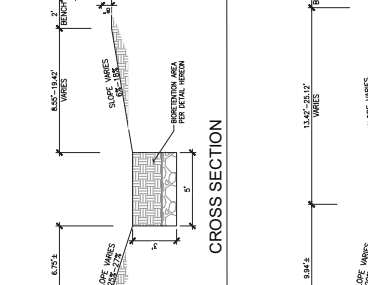
1. STANDARD VALLEY GUTTER DETAIL



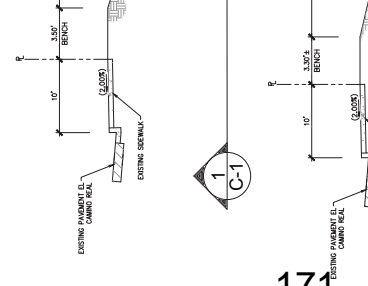
TYPICAL STREET SECTION: AVENIDA MARIA



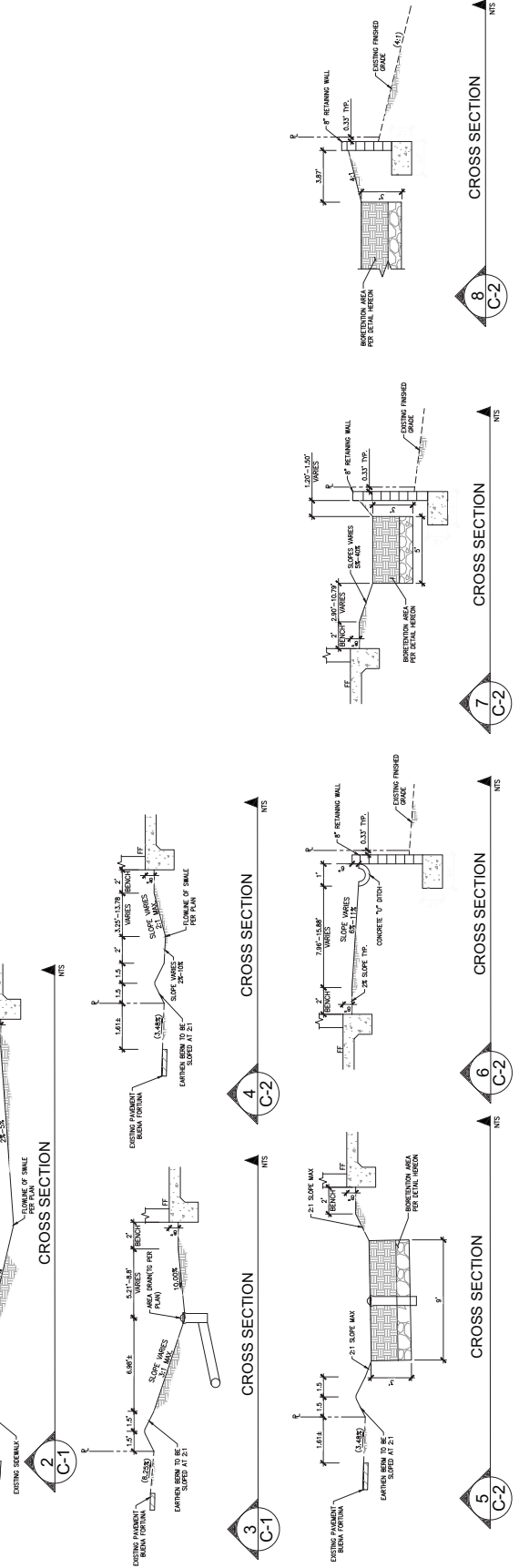
6. ADA ACCESSIBLE VALLEY GUTTER DETAIL



7. BIORETENTION AREA CROSS SECTION



8. TYPICAL STREET SECTION: AVENIDA MARIA



3. CROSS SECTION
 4. CROSS SECTION
 5. CROSS SECTION
 6. CROSS SECTION
 7. CROSS SECTION
 8. CROSS SECTION

PROJECT INFORMATION:
 ATASCADERO FAMILY APARTMENTS
 BUILDING NO.1 WITH ELEVATOR
 BUILDING NO.2 WITH ELEVATOR AND A RESIDENTIAL COMMUNITY ROOM
 BUILDING NO.3 WITH ELEVATOR AND A RESIDENTIAL COMMUNITY ROOM
 86 GRAND TOTAL RESIDENTIAL APARTMENT UNITS

RESIDENTIAL APARTMENT UNIT SUMMARY:
 1 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
 2 BEDROOM APARTMENT UNIT = 26 APARTMENT UNITS
 3 BEDROOM APARTMENT UNIT = 24 APARTMENT UNITS
 4 BEDROOM APARTMENT UNIT = 14 APARTMENT UNITS
 86 APARTMENT UNITS

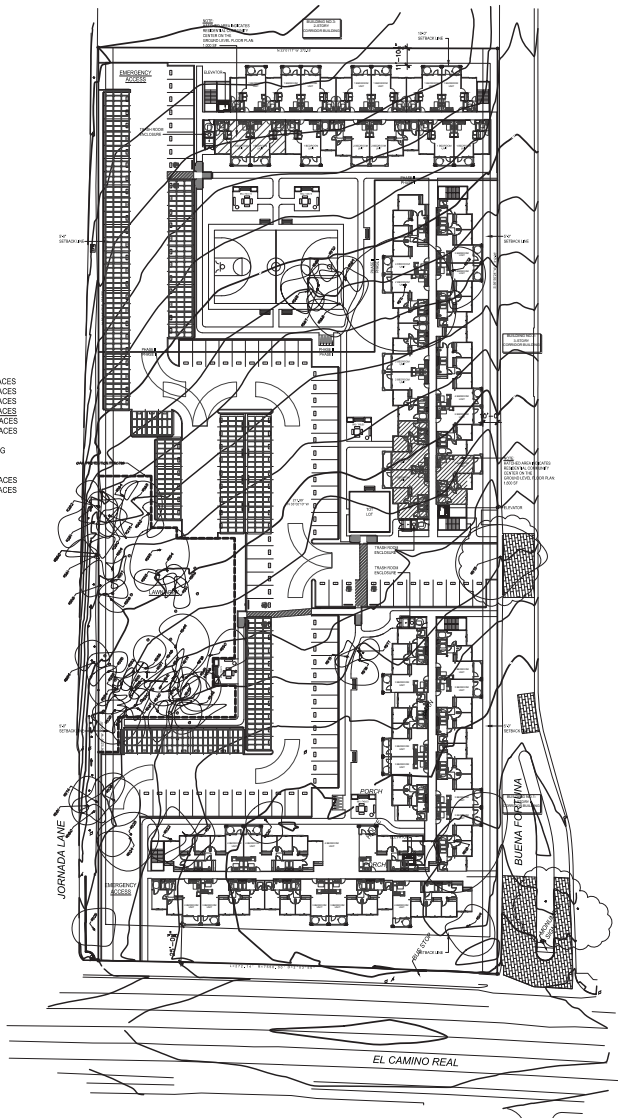
PHASE I:
 2 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
 3 BEDROOM APARTMENT UNIT = 24 APARTMENT UNITS
 4 BEDROOM APARTMENT UNIT = 14 APARTMENT UNITS
 60 APARTMENT UNITS

PHASE II:
 1 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
 2 BEDROOM APARTMENT UNIT = 4 APARTMENT UNITS
 26 APARTMENT UNITS

DENSITY BONUS PARKING SUMMARY:
 1.0 PARKING SPACES AT 22 - 1 BEDROOM APARTMENT UNITS = 22 PARKING SPACES
 2.0 PARKING SPACES AT 26 - 3 BEDROOM APARTMENT UNITS = 82 PARKING SPACES
 2.0 PARKING SPACES AT 24 - 3 BEDROOM APARTMENT UNITS = 48 PARKING SPACES
 2.5 PARKING SPACES AT 14 - 4 BEDROOM APARTMENT UNITS = 35 PARKING SPACES
 TOTAL PARKING SPACES REQUIRED = 157 PARKING SPACES
 TOTAL PARKING SPACES PROVIDED = 157 PARKING SPACES

OUT OF 157 PARKING SPACES, 86 PARKING SPACES IS TO BE COVERED PARKING PER BREAKDOWN BELOW:
 1 COVERED PARKING SPACE PER APARTMENT UNIT REQUIRED
 TOTAL COVERED PARKING SPACES REQUIRED = 86 PARKING SPACES
 TOTAL COVERED PARKING SPACES PROVIDED = 88 PARKING SPACES

OPEN AREA REQUIREMENTS - 300 SF / UNIT
 86 UNITS x 300 SF = 25,800 SF REQUIRED
 OPEN AREA PROVIDED = 59, 500 SF



ID	Species	Trunk DBH	Health	Species	Location	Comments	Priority	Response	Planting Request	Notes
001	Acacia	10	Good	Acacia	Area 1	...	...	...	...	...
002	Acacia	12	Good	Acacia	Area 1	...	...	...	...	...
003	Acacia	14	Good	Acacia	Area 1	...	...	...	...	...
004	Acacia	16	Good	Acacia	Area 1	...	...	...	...	...
005	Acacia	18	Good	Acacia	Area 1	...	...	...	...	...
006	Acacia	20	Good	Acacia	Area 1	...	...	...	...	...
007	Acacia	22	Good	Acacia	Area 1	...	...	...	...	...
008	Acacia	24	Good	Acacia	Area 1	...	...	...	...	...
009	Acacia	26	Good	Acacia	Area 1	...	...	...	...	...
010	Acacia	28	Good	Acacia	Area 1	...	...	...	...	...
011	Acacia	30	Good	Acacia	Area 1	...	...	...	...	...
012	Acacia	32	Good	Acacia	Area 1	...	...	...	...	...
013	Acacia	34	Good	Acacia	Area 1	...	...	...	...	...
014	Acacia	36	Good	Acacia	Area 1	...	...	...	...	...
015	Acacia	38	Good	Acacia	Area 1	...	...	...	...	...
016	Acacia	40	Good	Acacia	Area 1	...	...	...	...	...
017	Acacia	42	Good	Acacia	Area 1	...	...	...	...	...
018	Acacia	44	Good	Acacia	Area 1	...	...	...	...	...
019	Acacia	46	Good	Acacia	Area 1	...	...	...	...	...
020	Acacia	48	Good	Acacia	Area 1	...	...	...	...	...
021	Acacia	50	Good	Acacia	Area 1	...	...	...	...	...
022	Acacia	52	Good	Acacia	Area 1	...	...	...	...	...
023	Acacia	54	Good	Acacia	Area 1	...	...	...	...	...
024	Acacia	56	Good	Acacia	Area 1	...	...	...	...	...
025	Acacia	58	Good	Acacia	Area 1	...	...	...	...	...
026	Acacia	60	Good	Acacia	Area 1	...	...	...	...	...
027	Acacia	62	Good	Acacia	Area 1	...	...	...	...	...
028	Acacia	64	Good	Acacia	Area 1	...	...	...	...	...
029	Acacia	66	Good	Acacia	Area 1	...	...	...	...	...
030	Acacia	68	Good	Acacia	Area 1	...	...	...	...	...
031	Acacia	70	Good	Acacia	Area 1	...	...	...	...	...
032	Acacia	72	Good	Acacia	Area 1	...	...	...	...	...
033	Acacia	74	Good	Acacia	Area 1	...	...	...	...	...
034	Acacia	76	Good	Acacia	Area 1	...	...	...	...	...
035	Acacia	78	Good	Acacia	Area 1	...	...	...	...	...
036	Acacia	80	Good	Acacia	Area 1	...	...	...	...	...
037	Acacia	82	Good	Acacia	Area 1	...	...	...	...	...
038	Acacia	84	Good	Acacia	Area 1	...	...	...	...	...
039	Acacia	86	Good	Acacia	Area 1	...	...	...	...	...
040	Acacia	88	Good	Acacia	Area 1	...	...	...	...	...
041	Acacia	90	Good	Acacia	Area 1	...	...	...	...	...
042	Acacia	92	Good	Acacia	Area 1	...	...	...	...	...
043	Acacia	94	Good	Acacia	Area 1	...	...	...	...	...
044	Acacia	96	Good	Acacia	Area 1	...	...	...	...	...
045	Acacia	98	Good	Acacia	Area 1	...	...	...	...	...
046	Acacia	100	Good	Acacia	Area 1	...	...	...	...	...

OAK TREE INVENTORY AND PROTECTION PLAN

KAY J. GREELEY, BCMA
 284 VALLEY GATE ROAD
 SIMI VALLEY, CALIFORNIA 93065
 (805) 577-8432





02.11.15
Date

SD-10
Page

Corporation For Better Housing

8817 Oxford Avenue
Woodland Hills, CA 91367

Atascadero Phase 1 + 2
Project

Y&M Architects
254 South Sepulveda Blvd., Suite 304
Van Nuys, CA 91411
Tel: 818 223 2107 Fax: 818 223 2185
www.yandmarchitects.com





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1

STUCCO FINISH
OMEGA #432



2

STUCCO FINISH
OMEGA #429



3

AWNING
SPRUCE DARK GREEN



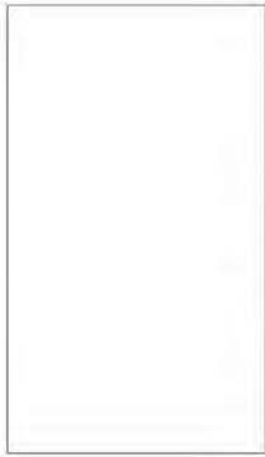
4

ROOF
BEL AIR #4602 CONCORD



6

STONE VENEER
CULTURED STONE
CARMEL COUNTRY
LEDGESTONE #CSV-2042



5

TRIMS / LAP SIDING
SHERWIN WILLIAMS #7005
PURE WHITE



7

RAILINGS
SHERWIN WILLIAMS #6166



8

CRYSTAL LIGHTING
MODEL: CLW-18

ATASCADERO FAMILY APARTMENTS
COLOR AND MATERIAL PALETTE

ITEM NUMBER: 4

DATE: 5-19-15

Attachment 6: Proposed Mitigated Negative Declaration

Please see the following Attachment



CITY OF ATASCADERO

COMMUNITY DEVELOPMENT DEPARTMENT

(ENDORSED)
FILED

APR 28 2015

TOMMY GONG COUNTY CLERK

DEPUTY CLERK

NOTICE OF INTENT TO ADOPT PROPOSED MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that the Environmental Coordinator of the City of Atascadero has completed a review of the following project and is proposing the following environmental determination:

Applicant:	Corp for Better Housing, 5947 Variel Ave., Woodland Hills, CA 91367
Property Owner:	9355 Avenida Maria LLC, 5947 Variel Avenue, Woodland Hills, CA 91367-5111
Project Title:	Atascadero Family Apartments – 86 Unit Multi-Family Apartment Complex PLN 2014-1522
Project Location:	10785 El Camino Real, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-020 9355 Avenida Maria, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-021
Project Description:	<p>The project consists of an application for an 86 unit affordable housing, multi-family development to be built in two phases. The project area is approximately 3.9 acres with a slope of 2.5% in a northwestern direction away from El Camino Real. Currently, the site is partially developed with one vacant single-family residence that will be demolished as a part of the proposed project.</p> <p>The applicant is proposing the following as a part of the proposed project:</p> <ul style="list-style-type: none"> • 86 total apartment units including a mix of 1, 2, 3 and 4 bedroom apartments; • Two corridor style buildings 2-stories in height (24-feet) with two (2) 32-foot tall mechanical / staircase shafts with decorative architectural features; • One (1) corridor style building 3-stories in height (37-feet, 4-inches) with two (2) 43-foot tall mechanical / staircase shafts with decorative architectural features; • A total of 157 parking spaces; 86 spaces covered / 71 uncovered; • Solar panels to be utilized on top of carports to provide alternative energy sources, consistent with the City's Climate Action Plan; • Proposed construction and materials to utilize US Green Building Council methodology to obtain Leadership in Energy & Environmental Design (LEED) certified platinum; • On-site recreational amenities including tot-lot, basketball court, outdoor eating areas; • On-site management is proposed including full-time manager (non-care taker type); • On-site social services programs available for residents only through the use of two (2) recreational rooms; • Proposed landscaping plan including use of drought tolerant native plants • Preservation of 46 on-site native trees, including critical blue oak woodland; • Removal of 21 on-site native trees to allow for proposed improvements including buildings, parking lots, and road improvements. <p>General Plan Designation: HDR Zoning District: RMF-20</p>

CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION

Environmental Review Dates:	Begins: April 28, 2015 Ends: May 17, 2015
Electronic Public Review	This Document Can be found electronically in PDF format on the City of Atascadero Website: http://www.atascadero.org/environmentaldocs
Proposed Environmental Determination:	Based on the Initial Study prepared for the project, a Mitigated Negative Declaration is proposed. The Mitigated Negative Declaration is available for public review from 4/28/15 through 5/17/15 at 6500 Palma Ave., Community Development Department from 8:30 a.m. to 5:00 p.m. Monday through Thursday.

Any interested person may review the proposed Mitigated Negative Declaration and project files. Questions should be directed to Alfredo R. Castillo, AICP at (805) 470-3436.


Robert A. Lewis, Interim Community Development Director


Date



CITY OF ATASCADERO PROPOSED MITIGATED NEGATIVE DECLARATION #2014-0007

6500 Palma Avenue

Atascadero, CA 93422

805/461-5035

Applicant:	Corp for Better Housing, 5947 Variel Ave., Woodland Hills, CA 91367
Property Owner:	9355 Avenida Maria LLC, 5947 Variel Avenue, Woodland Hills, CA 91367-5111
Project Title:	Atascadero Family Apartments – 86 Unit Multi-Family Apartment Complex PLN 2014-1522
Project Location:	10785 El Camino Real, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-020 9355 Avenida Maria, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-021
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Findings:

1. The project does not have the potential to degrade the environment.
2. The project will not achieve short-term to the disadvantage of long-term environmental goals.
3. The project does not have impacts which are individually limited, but cumulatively considerable.
4. The project will not cause substantial adverse effects on human beings either directly or indirectly.

Determination:

Based on the above findings, and the information contained in the Initial Study 2015-0002 (made a part hereof by reference and on file in the Community Development Department), it has been determined that the above project will



**CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION**

not have an adverse impact on the environment when the following mitigation measures are incorporated into the project (see attachment).

Prepared By: *Nichole Garner, Planning Intern / Alfredo R. Castillo, AICP, Planner*
Date Posted: April 28, 2015
Public Review Ends: May 18, 2015
Attachments:

- Location & Zoning Map
- Aerial
- Site Plan / Grading Plan
- Elevations / Sections
- Landscape Plan
- Site Photos
- Site Vegetation Map
- Fault Map
- National Wetlands Inventory Map
- Hazardous Materials Map
- FIRM
- Arborist Report
- Biological Report
- Storm water Control Report
- Traffic Impact Report
- Initial Study 2015-0002



CITY OF ATASCADERO INITIAL STUDY

ENVIRONMENTAL CHECKLIST FORM

Environmental Review 2015-0002

Applicant:	Corp for Better Housing, 5947 Variel Ave., Woodland Hills, CA 91367
Property Owner:	9355 Avenida Maria LLC, 5947 Variel Avenue, Woodland Hills, CA 91367-5111
Project Title:	Atascadero Family Apartments – 86 Unit Multi-Family Apartment Complex PLN 2014-1522
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Lead Agency Name and Address:	City of Atascadero 6500 Palma Avenue, Atascadero, CA 93422
Contact Person and Phone Number:	Alfredo R. Castillo, AICP City of Atascadero, Phone: (805) 461-5035



General Plan Designation:	High Density Residential (HDR)
Zoning:	Residential Multi-Family (RMF-20)
Surrounding Land Uses and Setting:	Residential Multi-Family (RMF-20)
	Public (P)
	Residential Multi-Family (RMF-10)
Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement)	None



Attachment 1 Location & Zoning Map



Zoning: Residential Multiple Family (20 units / acre) (RMF-20)

General Plan Designation: High Density Residential (HDR)

Surrounding Zoning: Public Facilities (P), Residential Multiple Family (10 units / acre) (RMF-10)



Attachment 2
Aerial

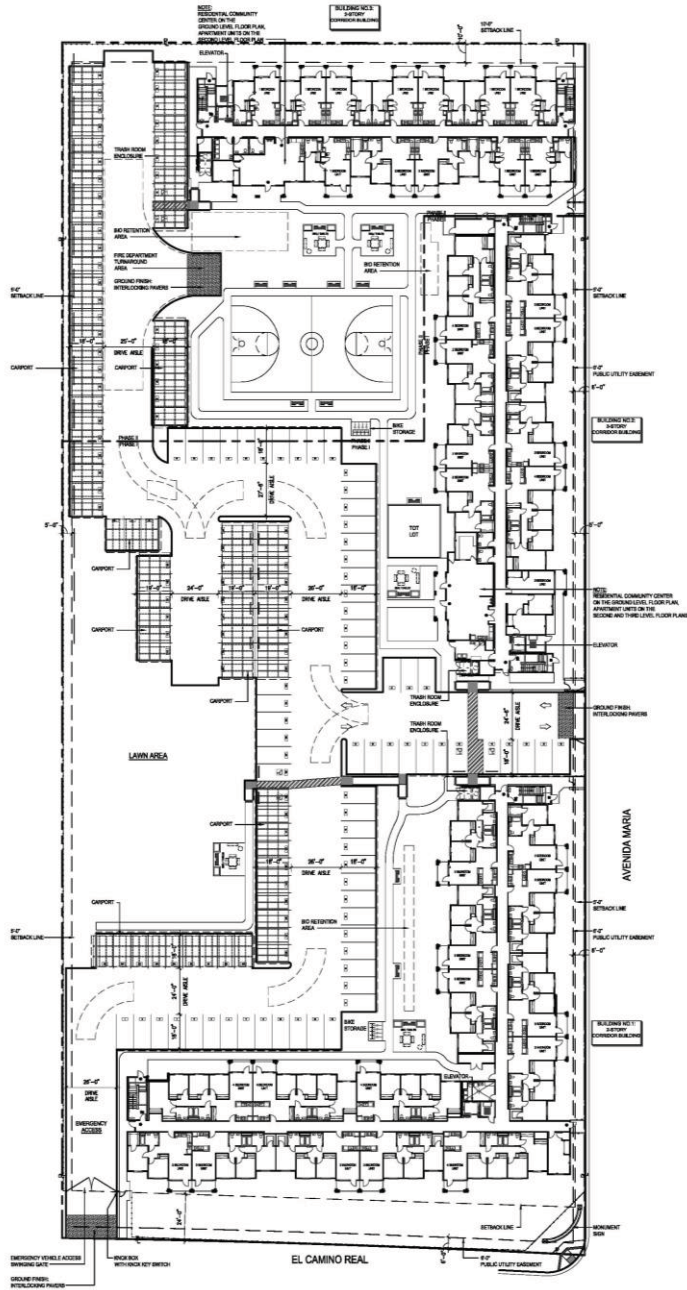




Attachment 3 Site Plan

SITE PLAN NOTES

01. CIVIL DRAWINGS TO TAKE PRECEDENCE OVER ARCHITECTURAL SITE PLAN. SEE CIVIL DRAWINGS FOR ALL PROPERTY LINE DIMENSIONS, BUILDING SETBACKS, STREET CENTERLINE DIMENSIONS, AND BUILDING HORIZONTAL CONTROL, LOCATION.



NORTH
SITE PLAN
SCALE: 1/16" = 1'-0"

①



Attachment 4
Elevations

Legend:

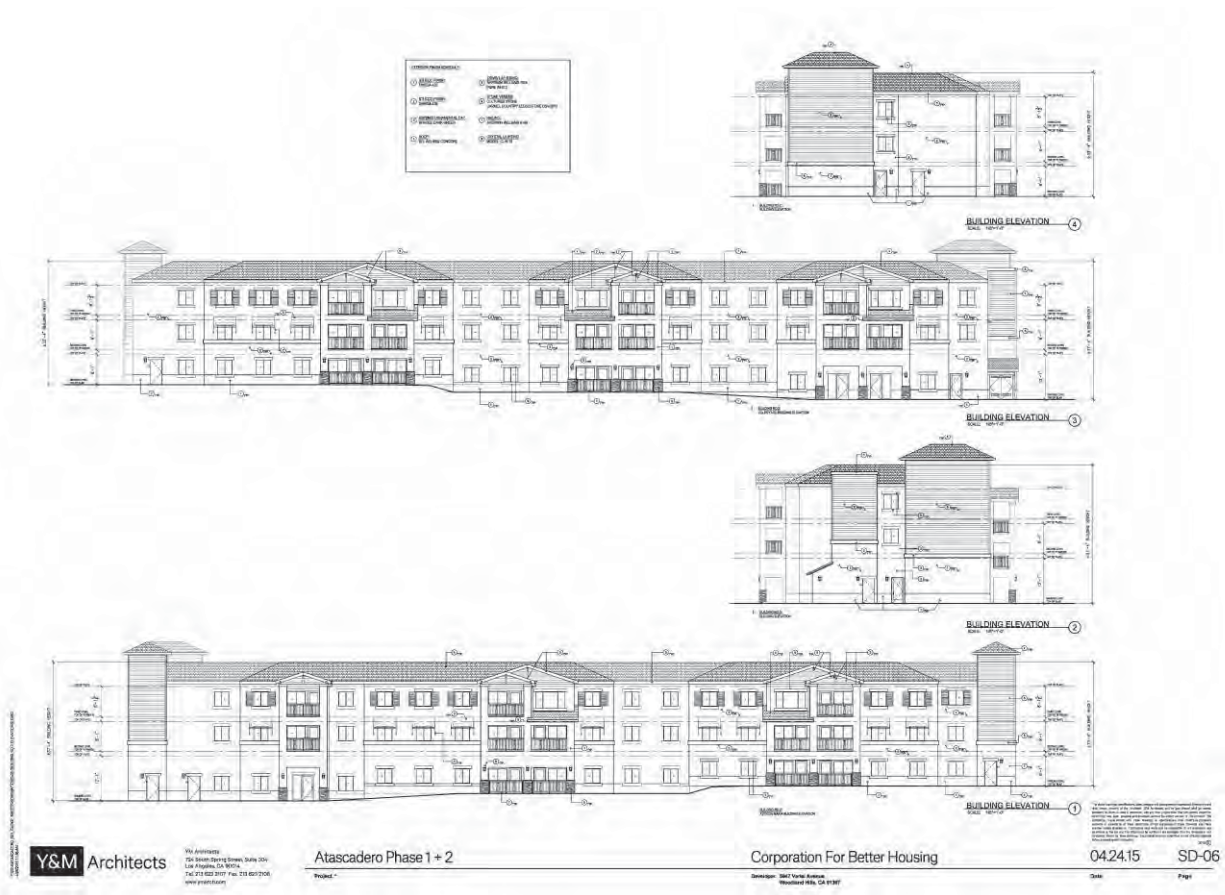
- 1. EXISTING
- 2. EXISTING (with modifications)
- 3. EXISTING (with new materials)
- 4. EXISTING (with new materials and colors)
- 5. NEW
- 6. NEW (with new materials)
- 7. NEW (with new materials and colors)

Y&M Architects
1001 J Street
100 North Spring Street, Suite 101
Atascadero, CA 93422
Tel: 805.438.2107 Fax: 805.438.2108
www.yandm.com

Atascadero Phase 1 + 2
Project #

Corporation For Better Housing
1001 J Street, Suite 101
Atascadero, CA 93422

04.24.15 SD-04
Date Page



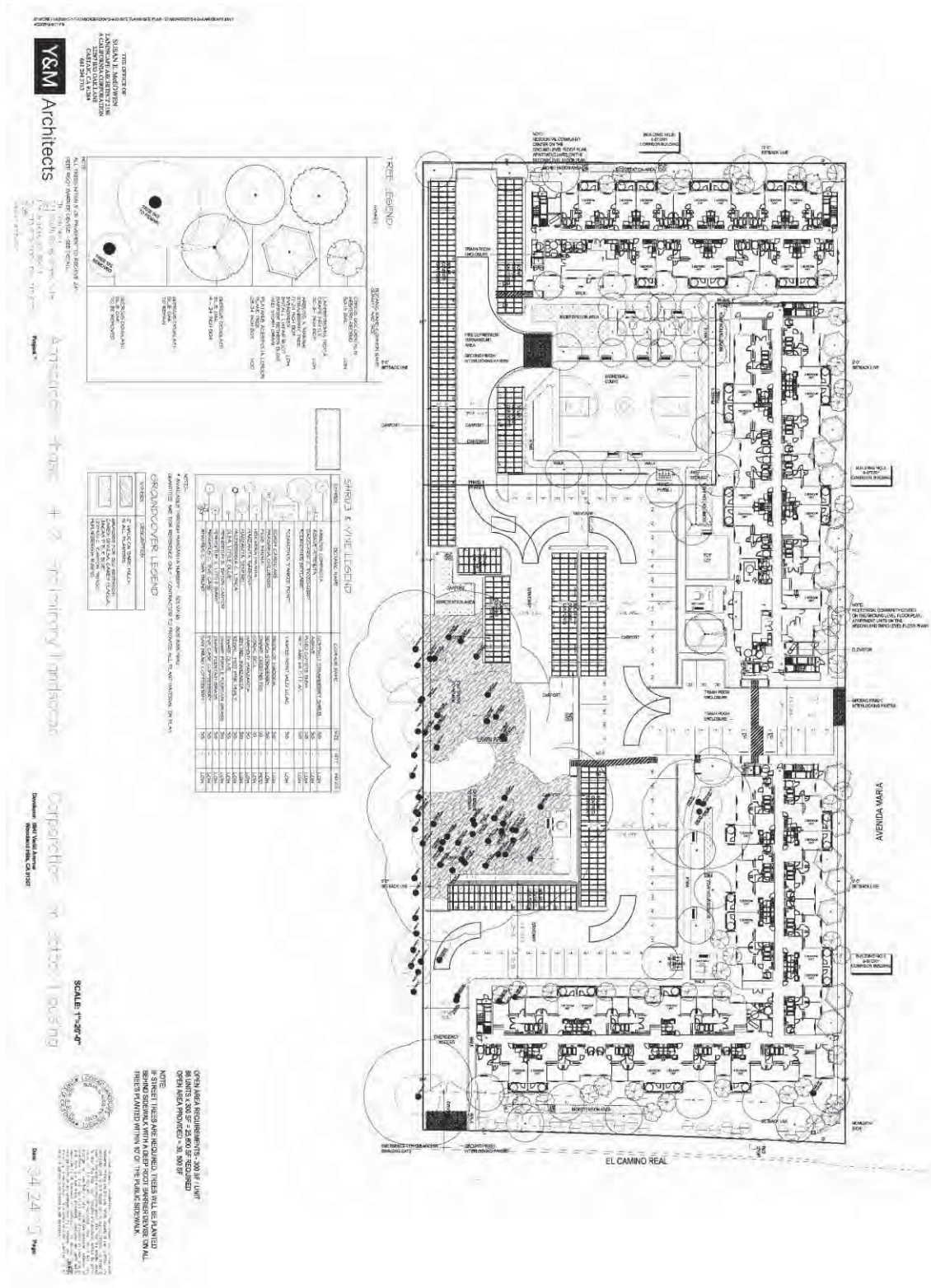


Attachment 5
Sections





Attachment 6 Conceptual Landscape Plan





**Attachment 7
Site Photos**



Avenida Maria street frontage looking toward El Camino Real.



View of existing vacant building from Avenida Maria.



Avenida Maria street frontage looking West.



El Camino Real street frontage looking North.



View of existing vacant building from El Camino Real.



El Camino Real street frontage looking South toward Avenida Maria.



View from Avenida Maria of existing Oak trees.



Looking West onto existing from Avenida Maria.



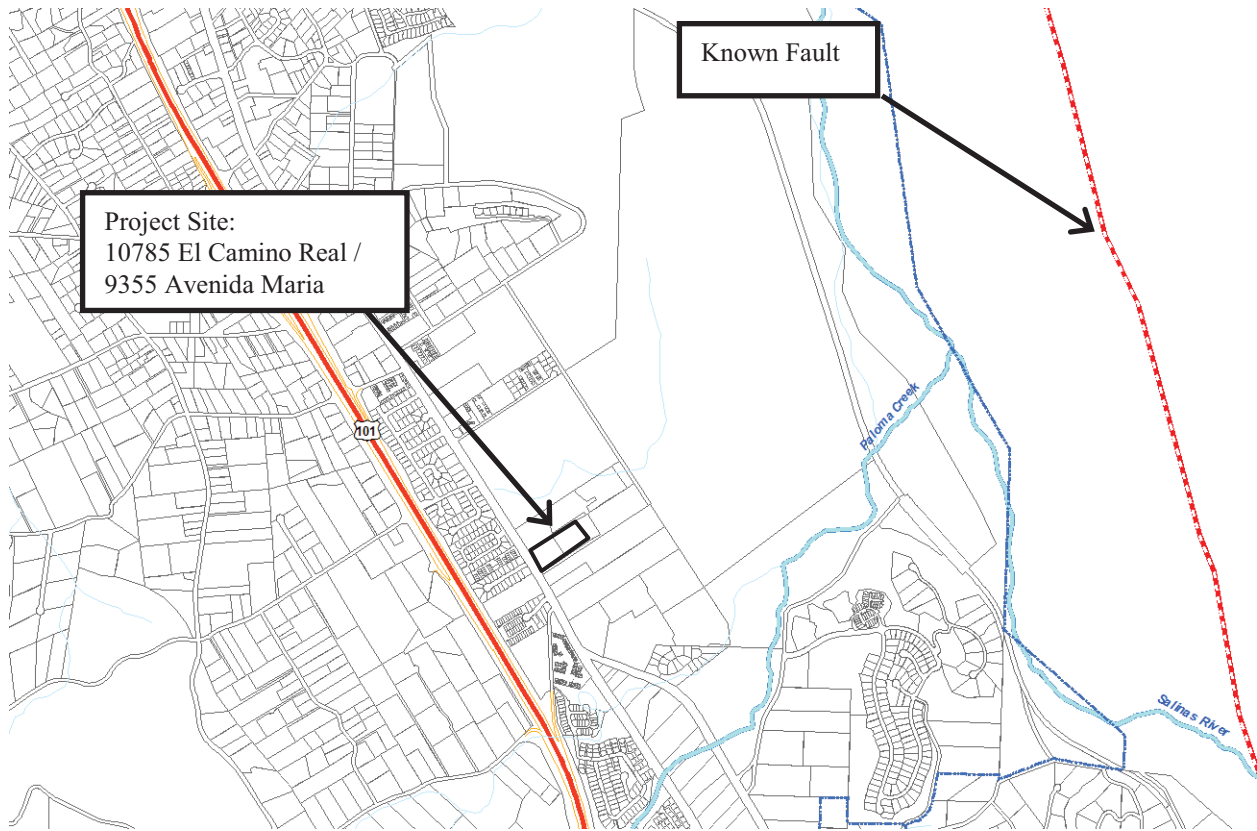
Attachment 8 Site Vegetation Map



No waters of the US on or directly adjacent to the proposed project



Attachment 9 Fault Map





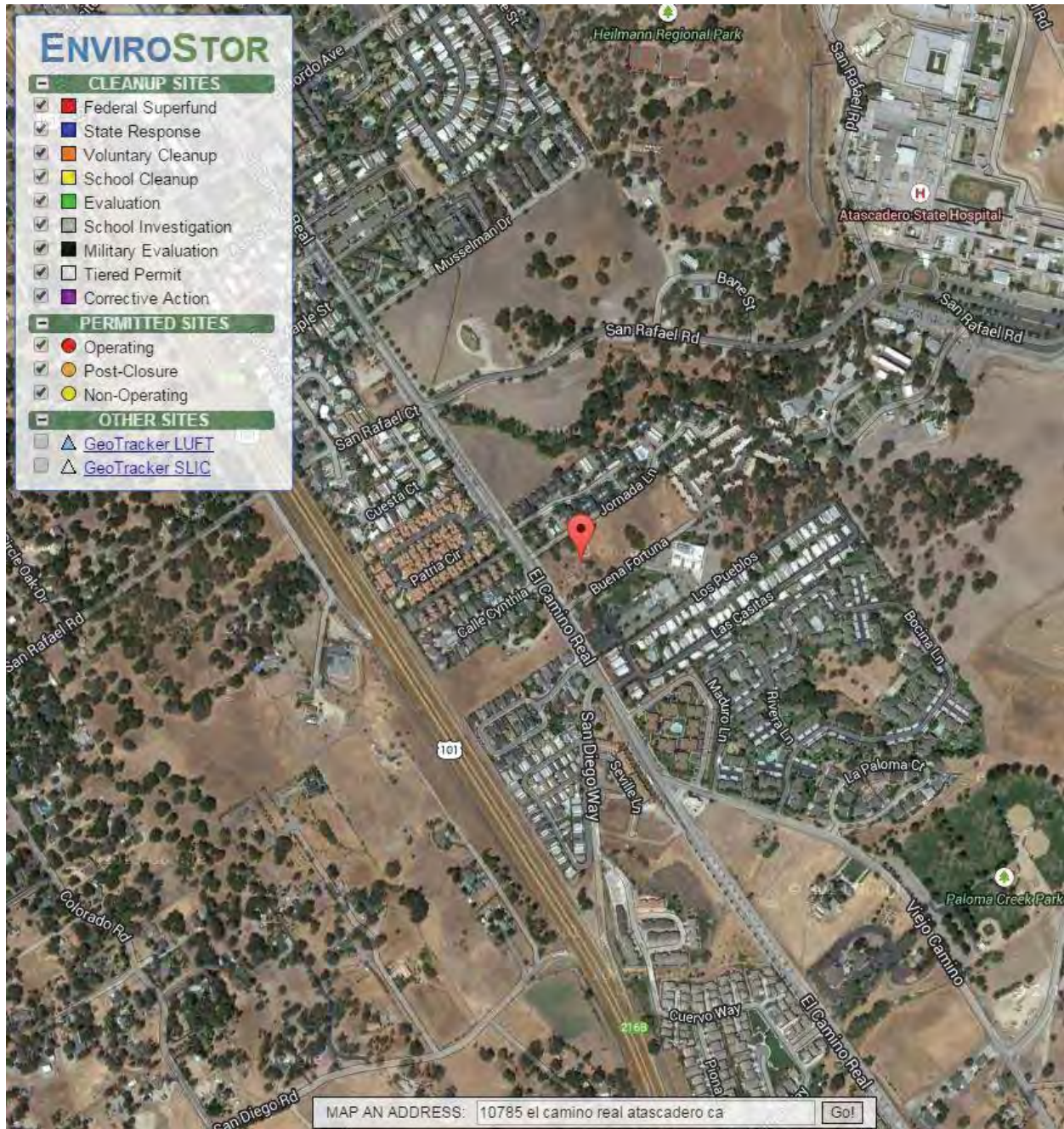
Attachment 10
National Wetlands Inventory Map



No known wetlands on-site



Attachment 11 Hazardous Materials Map





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**Attachment 13
Arborist Report
See Attached**

Native Tree Report

Site:

*Atascadero Family Apartments
APN: 045-321-020 and 045-321-021
Atascadero, California 93422*

Prepared for:

*Corporation for Better Housing
5947 Variel Avenue
Woodland Hills, California 91367*

Prepared by:

*Kay J. Greeley
Board Certified Master Arborist WE-1140B
284 Valley Gate Road
Simi Valley, California 93065
(805) 577-8432*

Date:

February 16, 2015

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TREE CHARACTERISTICS AND SITE CONDITIONS	2
TREE HEALTH AND DEFECTS	2
IMPACT ANALYSIS AND SPECIFIC RECOMMENDATIONS	2
GENERAL RECOMMENDATIONS	3
WORK WITHIN THE PROTECTED ZONE	3
WORK OUTSIDE OF THE PROTECTED ZONE	3
PLANTING WITHIN THE PROTECTED ZONE	3
TREE MAINTENANCE AND PRUNING OPERATIONS	4
WATERING AND FERTILIZATION	4
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Native Tree Report

Atascadero Family Apartments
APN: 045-321-020 and 045-321-021
Atascadero, California 93422

INTRODUCTION

This Native Tree Report was prepared at the request of Corporation for Better Housing. Corporation for Better Housing desires to install an affordable housing development in Atascadero, California. The site and immediate vicinity contain a total of 68 native trees, all of which are blue oak (*Quercus douglasii*). These trees are protected under the City of Atascadero Municipal Code. The purpose of this Native Tree Report is as follows:

- Document findings related to a field inventory and ground-level visual analysis of the subject trees, including photographs and a tree location map.
- Analyze potential impacts to the subject trees that might result from the proposed affordable housing development.
- Present recommendations with respect to protection of the protected trees during construction activities, as well as any treatments that would serve to improve or promote their health.

This report was prepared in accordance with Section 9-11 of the City of Atascadero Municipal Code, relating to Native Tree Regulations. Preservation of natural flora and fauna is a basic community goal of the Atascadero General Plan and native trees are valued community assets. The Municipal Code established regulations for the installation, maintenance, planting, preservation, protection and selected removal of native trees within the City limits. A permit is required for the removal of any deciduous native tree two inches dbh or greater and four inches dbh or greater for all other protected native trees, and for pruning of more than 25 percent of the live canopy in native trees.

SCOPE OF WORK

The scope of work included a full ground field observation of the cultural and physical conditions of a total of 68 native trees. Pertinent data was recorded by associate Certified Arborist Thomas Juhasz in October and November 2014 as shown on the Field Evaluation Forms in Appendix A. Photographs for reference and record purposes are included in Appendix B. A Tree Location Map is included in Appendix C. This map was prepared using a site plan provided by Corporation for Better Housing.

Tree locations were determined per the underlying topographic survey and by locating some trees from known points. All information provided by the preparer is certified to be true and correct as of the date of the field observations. All protected native trees that might be impacted within the vicinity of the proposed project were inventoried.

TREE CHARACTERISTICS AND SITE CONDITIONS

A 1-1/4 inch diameter metal tag stamped with the tag number shown on the Tree Location Map in Appendix C was attached to the north side of each of the 68 native trees within the vicinity of the proposed project. The tag numbers used include '279' through '282' and the numbers "518" through '581', sequentially. The oak trees are generally located in clusters within the site, as shown on the Tree Location Map contained in Appendix C. The largest grouping is along the westerly side of the parcel. All of the trees are growing within grassy open space.

Detailed information with respect to species, diameter, and number of trunks, height, canopy dimensions, form, crown class, age class, and pruning history is provided for the each of the subject trees on the Field Evaluation Forms in Appendix A.

TREE HEALTH AND DEFECTS

A health and appearance rating of each tree is listed on the summary table shown on the map in Appendix C. Specific details are documented for each tree on the Field Evaluation Forms in Appendix A. Issues noted on the forms include foliage color, density and leaf size, and presence of epicormic growth or twig dieback. Assessments of relative annual shoot growth, woundwood development and vigor are also provided. Specific tree defects were evaluated and noted as to their location (root crown, trunk, scaffolds, or branches), as well as the severity of the defect. Any recommended treatments are also noted on the individual Field Evaluation Forms.

Many of the trees exhibited epicormic growth and twig dieback as a result of the prolonged drought period.

IMPACT ANALYSIS AND SPECIFIC RECOMMENDATIONS

A summary of the impact analysis is provided on the table contained in Appendix C. The impacts may be summarized as follows:

Impact	Quantity
Preserve	32
Encroach	14
Remove	21
Dead	1
Total	68

GENERAL RECOMMENDATIONS

The following general recommendations are provided for educational purposes and should be followed to establish and maintain a healthy cultural environment for native trees. These recommendations apply to native trees in general; specific questions should always be referred to the project arborist or the City of Atascadero. The recommendations also apply to the care of most ornamental trees.

WORK WITHIN THE PROTECTED ZONE

The protected zone is an area surrounding a tree, defined within the City of Atascadero Native Tree Regulations. It includes all area within the dripline of the tree. Given the high sensitivity of native trees, great care must be taken when work is conducted within the protected zone. Specifically:

Observation -- All work conducted within the protected zone of a protected native tree should be performed within the presence of a qualified arborist. This work will also require a permit from the City of Atascadero. This will help to insure that work is performed in a manner that will not harm the tree.

Notice – A minimum of 48 hours notice should be provided to the project arborist prior to the planned start of work. This notification must also be provided to the City of Atascadero. The notice will insure that the project receives the highest possible scheduling priority and avoid delays.

Hand Tools -- All work should be accomplished with the use of hand tools only. Except under special circumstances, tractors, backhoes and other vehicles cannot be operated in a manner that will preserve major tree roots, minimize soil compaction, and insure the safety of both the vehicle operator and the tree.

Certification -- All work conducted within the protected zone should be certified by the project arborist. For work performed under a permit, this may be a requirement of the City of Atascadero.

WORK OUTSIDE OF THE PROTECTED ZONE

To protect trees within the vicinity of major construction, trees should be temporarily fenced at the edge of the protected zone prior to the beginning of construction operations on a site. The fence should be constructed as shown on the detail contained on the Tree Location Map in Appendix C.

PLANTING WITHIN THE PROTECTED ZONE

Planting within the protected zone of native trees is generally discouraged. Ideally, the natural leaf litter should be allowed to collect beneath the tree, creating a natural mulch and fertilizer. If planting is necessary or the natural leaf litter is removed, the following should be considered:

Plant Material -- Only compatible plantings should be utilized. A good reference planting under oak trees is Compatible Plantings Under and Around Oaks by the California Oak Foundation.

Irrigation -- No spray-type irrigation systems should be used within the protected zone. It is important that sprinkler systems do not throw water against the trunk of a native tree. A continuously wet soil condition near the root crown (the area where the tree trunk

meets the ground) favors the growth of predatory disease organisms. The two most prominent organisms in southern California are avocado root rot (*Phytophthora cinnamomi*) and oak root fungus (*Armillaria mellea*). At a minimum, all spray irrigation should be kept at least 15 feet from the trunk to prevent drift onto the root crown.

Resistant Varieties -- Avoid plants that are susceptible to either avocado root rot or oak root fungus. Oak trees are particularly susceptible to these diseases in developed areas. Avoiding other plants susceptible to these diseases will also help to keep the diseases in a dormant state. Consult publications by the University of California Cooperative Extension for plant lists.

Mulch -- Place a three-inch thick layer of organic mulch throughout the protected zone of each tree. Aesthetically pleasing options include crushed walnut hulls and shredded bark. These mulches are beneficial when the natural leaf litter is not available, minimizing evaporation, moderating temperature and providing weed control.

TREE MAINTENANCE AND PRUNING OPERATIONS

Most native trees require very little pruning, with the exception of periodic deadwooding. However, if a tree has a major defect, the employment of proper pruning practices may be more desirable than the uncontrolled damage that could otherwise occur. Always consult qualified professionals for advice.

Ornamental or Aesthetic Pruning -- Removal of live tissue for the purpose of altering the appearance of a protected native tree is not desirable and is generally not allowed by the City of Atascadero. Activities such as thinning out, heading up, or other similar practices contribute to the onset of insect and disease attacks.

Deadwooding -- Removal of dead tissue, regardless of size, may usually be performed without a permit. All pruning should follow standards endorsed by the International Society of Arboriculture.

Other Pruning Operations -- Branches that are considered to be unsafe due to decay, cavities, cracks, physical imbalance, fire damage, disease, or insects should be referred to a qualified arborist for inspection, especially if the branches exceed two inches in diameter. A permit is generally required by the City of Atascadero to remove such branches. A brief written report will be prepared by the project arborist to provide the basis for the request.

Cavities and Hollows -- Cavities and hollows should be kept free of loose debris. Some contain decayed wood; these should generally be referred to a qualified arborist for treatment. Concrete or other materials should not be used to seal or fill in cavities or hollows. These materials create a haven for diseases and insects over time. Openings may be covered with screening to prevent debris build-up and habitation by bees.

Wound Seal -- Pruning wounds should generally not be sealed with any type of compound. Over time, these materials crack and create entry points for disease and insects. A proper pruning cut will heal naturally over a short period of time.

WATERING AND FERTILIZATION

Winter rains should be sufficient to provide the water needed for oak trees in natural areas. Native trees in landscaped areas will usually receive enough water from adjacent plantings. If you suspect that a tree is in need of supplemental water, contact the project arborist for advice.

Watering -- If supplemental water is required, use a water probe, such as a "Ross Root Feeder" to apply the water. Alternatively, a low volume soaker hose could be utilized. Apply the water at various locations, just outside the dripline of the tree. A total of 15 to 20 hours of low-volume application should suffice. Repeat this watering cycle every one to two months as needed. Water should generally not be applied to oak trees in the summer, as they are effectively dormant and cannot accept the water.

Fertilization -- Fertilizer can be applied along with the water. A total of 0.75 pound of actual nitrogen per inch of trunk diameter per year is a basic rule-of-thumb. However, ask your local certified nurseryman for a specific recommendation and follow the manufacturer's directions carefully. Over-fertilization can be deadly and is generally not required for native trees.

Aeration -- Ventilation of the root system can be very beneficial in areas where soil has been compacted. Hand dig holes six inches in diameter to a depth of two feet. Do not cut any roots in excess of one inch in diameter. Dig the holes two feet on center, in concentric circles around the trunk, throughout the dripline. If possible, add holes outside of the dripline. Fill the holes with an organic matter. If oak leaf litter is not available, organic mulch will be beneficial. This organic matter will be decomposed, producing a year-round source of fertilizer for the tree. Note that the City of Atascadero may require a permit to complete such work under a protected native tree.

DISEASES AND INSECTS

Effective pest control starts with regular observation by the property owner. Issues such as abnormal leaf drop, oozing sap, and discolored or dying leaves indicate that something has changed and expert inspection is required. Property owners should be very careful when using pesticides around trees. Herbicides should never be utilized within one hundred feet of a protected native tree, unless applied by a certified pesticide applicator. Misuse of these compounds can lead to the death of beneficial organisms or even to the death of the tree.

GRADE CHANGES

Any change to the grade at the root crown of a tree can have a negative impact. As little as six inches can lead to the death of the tree. Drainage patterns should be maintained to prevent water from flowing and ponding at the base of a tree. If excess material builds up at the root crown, use a small shovel to remove the excess soil and debris. The flare at the root crown should just be visible.

INSPECTION

Trees should be inspected on a periodic basis by a qualified arborist. The inspection basis should be determined by the relative hazard value of the tree. For example, trees surrounding a high-use business should be inspected on a quarterly basis, whereas trees located within a low-use open space might only require bi-annual inspection. It is the responsibility of the property owner to establish and implement an appropriate inspection schedule upon the recommendation provided by the qualified arborist.

FINDINGS

Corporation for Better Housing met with the City of Atascadero early in the planning of this proposed project. The site layout as it relates to the existing trees was specifically discussed. As shown on the Tree Location Map in Appendix D, the proposed site plan emphasizes development in the previously-disturbed area along the easterly side of the site. This allows for preservation of 46 out of the 67 live trees on the site. These trees primarily grow within a remnant of blue oak woodland on the westerly side of the site.

The trees to be removed in Phase I of the project are generally scattered individuals on the easterly side of the site, as well as trees that would interfere with the proposed emergency access on the westerly side of the site. Preservation of additional trees would require a significant reduction in the number of apartments.

The trees to be removed in Phase II include a cluster of trees north of the center portion of the site. Preservation of additional trees in this area would require that the proposed recreation amenities be deleted. If no recreation space is provided, the trees to remain would like sustain adverse health impacts due to compaction. The areas beneath the trees would be heavily used for outdoor activities.

With little exception, the trees on the site exhibit significant stress from the prolonged drought. Epicormic growth, or sprouting of normally dormant buds, is present on most of the trees. This reaction is an attempt by the trees to become smaller organisms. As the drought continues, the tops of the trees will die-back and eventually result in limb failures. The proposed planting of new blue oak trees as part of the landscape plan will supplement the existing tree inventory with healthy trees. The new oaks can be properly irrigated and will serve to revitalize the blue oak inventory.

WARRANTY

The trees discussed herein were generally reviewed for physical, biological, functional, and aesthetic conditions. This examination was conducted in accordance with presently accepted industry procedures: an at-grade, macro-visual observation only. No extensive microbiological, soil/root excavation, upper crown examination, nor internal tree investigation was conducted and therefore, the reportings herein reflect the overall visual appearance of the trees on the date reviewed. No warranty is implied as to the potential failure, health or demise of any part or the whole of any tree described in this report.

Clients are advised that should physical or biological concerns be evidenced for any specimen within this report, prudent further investigation, detailed analysis or remedial action may be required.

As living organisms, plants continually exhibit growth and response to environmental changes that influence the development, health and vigor of the specimen. These influences may not be externally visible and may be present or develop over various time periods depending on the site conditions.







It is recommended that due to the general nature of plant development and continued environmental and physical influences on vegetation at a specific site, regular monitoring by a qualified arborist is scheduled.






Locations of property lines or exact tree locations, site amenities, structures or easements are assumed to be as illustrated on any enclosed maps. They are a composite of information provided by the client, records of fact and/or on-site field review. No investigation was made to verify these conditions.




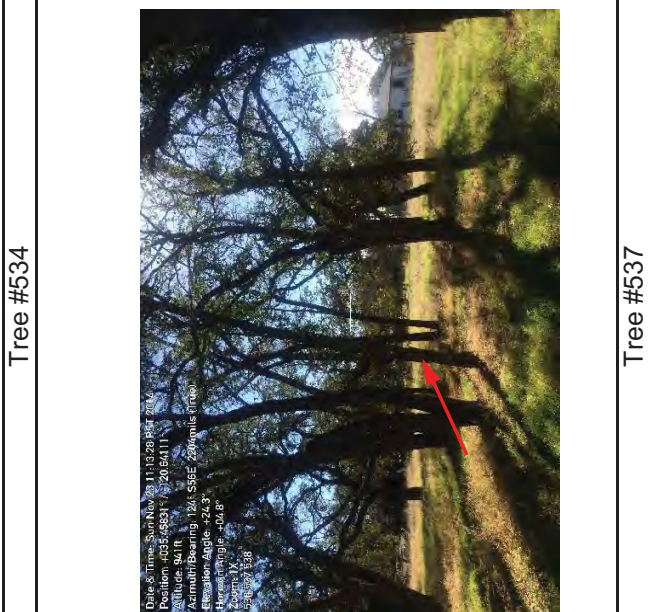
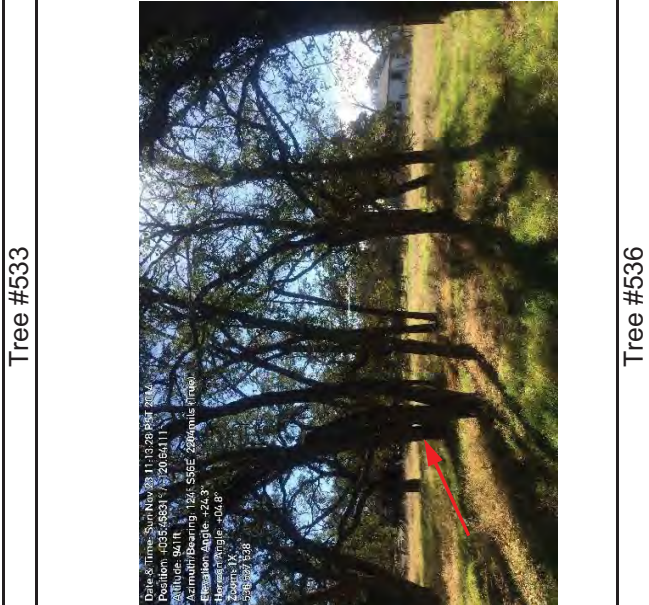

This report represents the independent opinion of the preparer and was conducted per the client's scope of request. The report is therefore limited to the extent described herein.







APPENDIX B – PHOTOGRAPHS







	<p>Tree #281</p> 
	<p>Tree #280</p> 
	<p>Tree #279</p>  <p>Tree #282</p>

 <p>Date & Time: Sun Nov 23 11:01:02 PST 2014 Position: 43°54'59.7" N, 120°54'07.7" Altitude: 992ft Azimuth Bearing: 024° N44E 04.27mils True Elevation Angle: +29.1° Horizontal Angle: 112.5° Zoom: 1X 520</p>	 <p>Date & Time: Sun Nov 23 11:05:06 PST 2014 Position: 43°54'59.7" N, 120°54'07.7" Altitude: 992ft Azimuth Bearing: 024° N44E 04.27mils True Elevation Angle: +29.1° Horizontal Angle: 112.5° Zoom: 1X 521</p>	 <p>Date & Time: Sun Nov 23 11:05:44 PST 2014 Position: 43°54'59.7" N, 120°54'07.7" Altitude: 992ft Azimuth Bearing: 024° N44E 04.27mils True Elevation Angle: +29.1° Horizontal Angle: 112.5° Zoom: 1X 522</p>
 <p>Date & Time: Sun Nov 23 11:01:02 PST 2014 Position: 43°54'59.7" N, 120°54'07.7" Altitude: 992ft Azimuth Bearing: 024° N44E 04.27mils True Elevation Angle: +29.1° Horizontal Angle: 112.5° Zoom: 1X 523</p>	 <p>Date & Time: Sun Nov 23 11:02:29 PST 2014 Position: 43°54'59.7" N, 120°54'07.7" Altitude: 992ft Azimuth Bearing: 352° N31W 6.02mils True Elevation Angle: +22.7° Horizontal Angle: +107.4° Zoom: 1X 524</p>	 <p>Date & Time: Sun Nov 23 11:02:29 PST 2014 Position: 43°54'59.7" N, 120°54'07.7" Altitude: 992ft Azimuth Bearing: 352° N31W 6.02mils True Elevation Angle: +22.7° Horizontal Angle: +107.4° Zoom: 1X 525</p>







 <p>Date: 8/11/2016 Sun Nov 21 12:59:12 PST 2016 Position: 33.514812, -120.50133 Altitude: 86ft Accuracy: 10m Azimuth: Bearing: 88.8, N88.8W, 403.1miles from Houston, Texas Elevation: 100.0 Zoom: 15 950.327.529.524</p>	 <p>Date: 8/11/2016 Sun Nov 21 12:59:12 PST 2016 Position: 33.514812, -120.50133 Altitude: 86ft Accuracy: 10m Azimuth: Bearing: 88.8, N88.8W, 403.1miles from Houston, Texas Elevation: 100.0 Zoom: 15 950.327.529.524</p>	 <p>Date: 8/11/2016 Sun Nov 21 12:59:12 PST 2016 Position: 33.514812, -120.50133 Altitude: 86ft Accuracy: 10m Azimuth: Bearing: 88.8, N88.8W, 403.1miles from Houston, Texas Elevation: 100.0 Zoom: 15 950.327.529.524</p>
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 <p> Date of Photo: Sun May 21 11:57:00 AM '17 Position: 43° 58' 58.93" N, 76° 20' 54.011" W Altitude: 94 ft Azimuth: Bearing: 258 - AzAV: 598 ft Elevation: Angle: +24.3° Horizontal Angle: +04.8° Zoom: 158 540 ft - 366 ft </p>	 <p> Date of Photo: Sun May 21 11:57:00 AM '17 Position: 43° 58' 58.93" N, 76° 20' 54.011" W Altitude: 94 ft Azimuth: Bearing: 258 - AzAV: 598 ft Elevation: Angle: +24.3° Horizontal Angle: +04.8° Zoom: 158 540 ft - 366 ft </p>	 <p> Date of Photo: Sun May 21 11:57:00 AM '17 Position: 43° 58' 58.93" N, 76° 20' 54.011" W Altitude: 94 ft Azimuth: Bearing: 258 - AzAV: 598 ft Elevation: Angle: +24.3° Horizontal Angle: +04.8° Zoom: 158 540 ft - 366 ft </p>
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	<p>Tree #544</p>
	<p>Tree #545</p>
	<p>Tree #546</p>
	<p>Tree #547</p>
	<p>Tree #548</p>
	<p>Tree #549</p>

<p>Tree #556</p>	<p>Tree #557</p>	<p>Tree #558</p>
<p>Tree #559</p>	<p>Tree #560</p>	<p>Tree #561</p>

	<p>Tree #570</p> 
	<p>Tree #569</p> 
	<p>Tree #568</p> 

 <p> Date: 8/11/2016 Time: 12:09:55 PM Position: 1035.09259, -120.61131 Altitude: 862ft Azimuth (Heading): 88.2 Elevation (Angle): 25.6 Horizontal Sample: 0.022 Vertical Sample: 0.022 Roll: 1.17 Pitch: 2.77 Yaw: 2.77 </p>	 <p> Date: 8/11/2016 Time: 12:36:19 PM Position: 1035.09259, -120.61131 Altitude: 862ft Azimuth (Heading): 88.2 Elevation (Angle): 25.6 Horizontal Sample: 0.022 Vertical Sample: 0.022 Roll: 1.17 Pitch: 2.77 Yaw: 2.77 </p>	 <p> Date: 8/11/2016 Time: 12:38:45 PM Position: 1035.09259, -120.61131 Altitude: 862ft Azimuth (Heading): 88.2 Elevation (Angle): 25.6 Horizontal Sample: 0.022 Vertical Sample: 0.022 Roll: 1.17 Pitch: 2.77 Yaw: 2.77 </p>
 <p> Date: 8/11/2016 Time: 12:38:45 PM Position: 1035.09259, -120.61131 Altitude: 862ft Azimuth (Heading): 88.2 Elevation (Angle): 25.6 Horizontal Sample: 0.022 Vertical Sample: 0.022 Roll: 1.17 Pitch: 2.77 Yaw: 2.77 </p>	 <p> Date: 8/11/2016 Time: 12:38:45 PM Position: 1035.09259, -120.61131 Altitude: 862ft Azimuth (Heading): 88.2 Elevation (Angle): 25.6 Horizontal Sample: 0.022 Vertical Sample: 0.022 Roll: 1.17 Pitch: 2.77 Yaw: 2.77 </p>	 <p> Date: 8/11/2016 Time: 12:38:45 PM Position: 1035.09259, -120.61131 Altitude: 862ft Azimuth (Heading): 88.2 Elevation (Angle): 25.6 Horizontal Sample: 0.022 Vertical Sample: 0.022 Roll: 1.17 Pitch: 2.77 Yaw: 2.77 </p>

	
<p>Tree #580</p>	<p>Tree #581</p>

APPENDIX C – TREE LOCATION MAP

PROJECT INFORMATION:

ATASCADERO FAMILY APARTMENTS
 BUILDING NO.1 WITH ELEVATOR
 BUILDING NO.2 WITH ELEVATOR AND A RESIDENTIAL COMMUNITY ROOM
 BUILDING NO.3 WITH ELEVATOR AND A RESIDENTIAL COMMUNITY ROOM
 86 GRAND TOTAL RESIDENTIAL APARTMENT UNITS

RESIDENTIAL APARTMENT UNIT SUMMARY:
 1 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
 2 BEDROOM APARTMENT UNIT = 26 APARTMENT UNITS
 3 BEDROOM APARTMENT UNIT = 24 APARTMENT UNITS
 4 BEDROOM APARTMENT UNIT = 14 APARTMENT UNITS
 86 APARTMENT UNITS

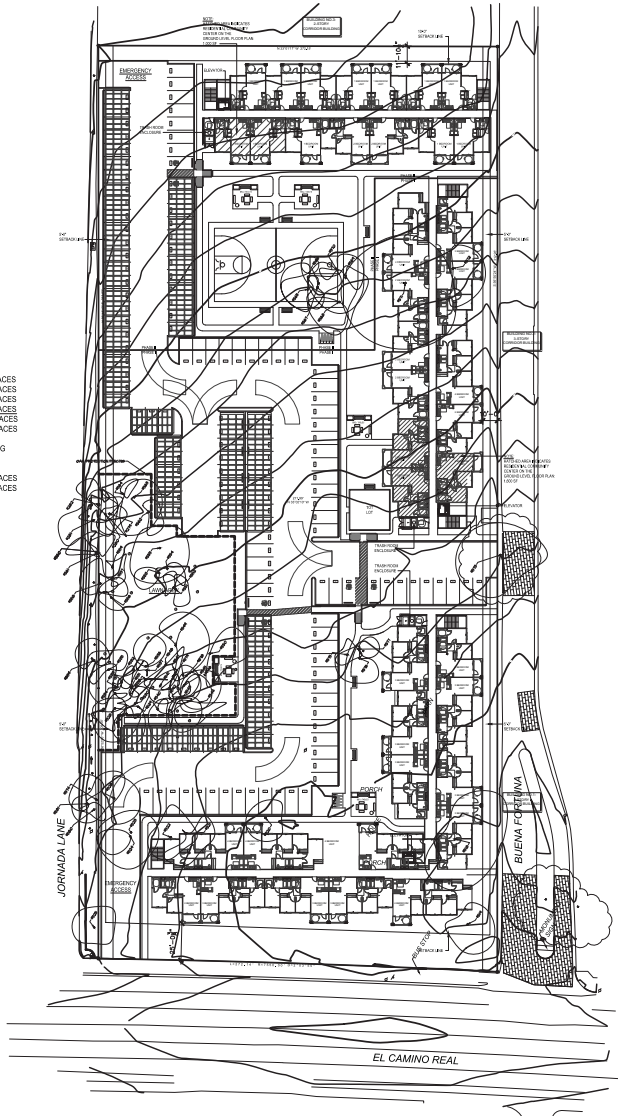
PHASE I:
 2 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
 3 BEDROOM APARTMENT UNIT = 24 APARTMENT UNITS
 4 BEDROOM APARTMENT UNIT = 14 APARTMENT UNITS
 60 APARTMENT UNITS

PHASE II:
 1 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
 2 BEDROOM APARTMENT UNIT = 4 APARTMENT UNITS
 26 APARTMENT UNITS

DENSITY BONUS PARKING SUMMARY:
 1.0 PARKING SPACES AT 22 - 1 BEDROOM APARTMENT UNITS = 22 PARKING SPACES
 2.0 PARKING SPACES AT 26 - 1 BEDROOM APARTMENT UNITS = 52 PARKING SPACES
 2.0 PARKING SPACES AT 24 - 3 BEDROOM APARTMENT UNITS = 48 PARKING SPACES
 2.5 PARKING SPACES AT 14 - 4 BEDROOM APARTMENT UNITS = 35 PARKING SPACES
 TOTAL PARKING SPACES REQUIRED = 157 PARKING SPACES
 TOTAL PARKING SPACES PROVIDED = 157 PARKING SPACES

OUT OF 157 PARKING SPACES, 86 PARKING SPACES IS TO BE COVERED PARKING PER BREAKDOWN BELOW:
 1 COVERED PARKING SPACE PER APARTMENT UNIT REQUIRED
 TOTAL COVERED PARKING SPACES REQUIRED = 86 PARKING SPACES
 TOTAL COVERED PARKING SPACES PROVIDED = 88 PARKING SPACES

OPEN AREA REQUIREMENTS - 300 SF / UNIT
 86 UNITS x 300 SF = 25,800 SF REQUIRED
 OPEN AREA PROVIDED = 59,500 SF



ID	Species	Trunk DBH	Trunk Height	Health	Condition	Location	Remarks	Priority	Notes
001	Quercus agrifolia	12	15	Good	Healthy	Area A	...	Low	...
002	Quercus agrifolia	10	12	Good	Healthy	Area B	...	Low	...
003	Quercus agrifolia	15	18	Good	Healthy	Area C	...	Low	...
004	Quercus agrifolia	18	22	Good	Healthy	Area D	...	Low	...
005	Quercus agrifolia	20	25	Good	Healthy	Area E	...	Low	...
006	Quercus agrifolia	22	28	Good	Healthy	Area F	...	Low	...
007	Quercus agrifolia	25	32	Good	Healthy	Area G	...	Low	...
008	Quercus agrifolia	28	35	Good	Healthy	Area H	...	Low	...
009	Quercus agrifolia	30	38	Good	Healthy	Area I	...	Low	...
010	Quercus agrifolia	32	40	Good	Healthy	Area J	...	Low	...
011	Quercus agrifolia	35	42	Good	Healthy	Area K	...	Low	...
012	Quercus agrifolia	38	45	Good	Healthy	Area L	...	Low	...
013	Quercus agrifolia	40	48	Good	Healthy	Area M	...	Low	...
014	Quercus agrifolia	42	50	Good	Healthy	Area N	...	Low	...
015	Quercus agrifolia	45	52	Good	Healthy	Area O	...	Low	...
016	Quercus agrifolia	48	55	Good	Healthy	Area P	...	Low	...
017	Quercus agrifolia	50	58	Good	Healthy	Area Q	...	Low	...
018	Quercus agrifolia	52	60	Good	Healthy	Area R	...	Low	...
019	Quercus agrifolia	55	62	Good	Healthy	Area S	...	Low	...
020	Quercus agrifolia	58	65	Good	Healthy	Area T	...	Low	...
021	Quercus agrifolia	60	68	Good	Healthy	Area U	...	Low	...
022	Quercus agrifolia	62	70	Good	Healthy	Area V	...	Low	...
023	Quercus agrifolia	65	72	Good	Healthy	Area W	...	Low	...
024	Quercus agrifolia	68	75	Good	Healthy	Area X	...	Low	...
025	Quercus agrifolia	70	78	Good	Healthy	Area Y	...	Low	...
026	Quercus agrifolia	72	80	Good	Healthy	Area Z	...	Low	...
027	Quercus agrifolia	75	82	Good	Healthy	Area AA	...	Low	...
028	Quercus agrifolia	78	85	Good	Healthy	Area AB	...	Low	...
029	Quercus agrifolia	80	88	Good	Healthy	Area AC	...	Low	...
030	Quercus agrifolia	82	90	Good	Healthy	Area AD	...	Low	...
031	Quercus agrifolia	85	92	Good	Healthy	Area AE	...	Low	...
032	Quercus agrifolia	88	95	Good	Healthy	Area AF	...	Low	...
033	Quercus agrifolia	90	98	Good	Healthy	Area AG	...	Low	...
034	Quercus agrifolia	92	100	Good	Healthy	Area AH	...	Low	...
035	Quercus agrifolia	95	102	Good	Healthy	Area AI	...	Low	...
036	Quercus agrifolia	98	105	Good	Healthy	Area AJ	...	Low	...
037	Quercus agrifolia	100	108	Good	Healthy	Area AK	...	Low	...
038	Quercus agrifolia	102	110	Good	Healthy	Area AL	...	Low	...
039	Quercus agrifolia	105	112	Good	Healthy	Area AM	...	Low	...
040	Quercus agrifolia	108	115	Good	Healthy	Area AN	...	Low	...
041	Quercus agrifolia	110	118	Good	Healthy	Area AO	...	Low	...
042	Quercus agrifolia	112	120	Good	Healthy	Area AP	...	Low	...
043	Quercus agrifolia	115	122	Good	Healthy	Area AQ	...	Low	...
044	Quercus agrifolia	118	125	Good	Healthy	Area AR	...	Low	...
045	Quercus agrifolia	120	128	Good	Healthy	Area AS	...	Low	...
046	Quercus agrifolia	122	130	Good	Healthy	Area AT	...	Low	...
047	Quercus agrifolia	125	132	Good	Healthy	Area AU	...	Low	...
048	Quercus agrifolia	128	135	Good	Healthy	Area AV	...	Low	...
049	Quercus agrifolia	130	138	Good	Healthy	Area AW	...	Low	...
050	Quercus agrifolia	132	140	Good	Healthy	Area AX	...	Low	...
051	Quercus agrifolia	135	142	Good	Healthy	Area AY	...	Low	...
052	Quercus agrifolia	138	145	Good	Healthy	Area AZ	...	Low	...
053	Quercus agrifolia	140	148	Good	Healthy	Area BA	...	Low	...
054	Quercus agrifolia	142	150	Good	Healthy	Area BB	...	Low	...
055	Quercus agrifolia	145	152	Good	Healthy	Area BC	...	Low	...
056	Quercus agrifolia	148	155	Good	Healthy	Area BD	...	Low	...
057	Quercus agrifolia	150	158	Good	Healthy	Area BE	...	Low	...
058	Quercus agrifolia	152	160	Good	Healthy	Area BF	...	Low	...
059	Quercus agrifolia	155	162	Good	Healthy	Area BG	...	Low	...
060	Quercus agrifolia	158	165	Good	Healthy	Area BH	...	Low	...
061	Quercus agrifolia	160	168	Good	Healthy	Area BI	...	Low	...
062	Quercus agrifolia	162	170	Good	Healthy	Area BJ	...	Low	...
063	Quercus agrifolia	165	172	Good	Healthy	Area BK	...	Low	...
064	Quercus agrifolia	168	175	Good	Healthy	Area BL	...	Low	...
065	Quercus agrifolia	170	178	Good	Healthy	Area BM	...	Low	...
066	Quercus agrifolia	172	180	Good	Healthy	Area BN	...	Low	...
067	Quercus agrifolia	175	182	Good	Healthy	Area BO	...	Low	...
068	Quercus agrifolia	178	185	Good	Healthy	Area BP	...	Low	...
069	Quercus agrifolia	180	188	Good	Healthy	Area BQ	...	Low	...
070	Quercus agrifolia	182	190	Good	Healthy	Area BR	...	Low	...
071	Quercus agrifolia	185	192	Good	Healthy	Area BS	...	Low	...
072	Quercus agrifolia	188	195	Good	Healthy	Area BT	...	Low	...
073	Quercus agrifolia	190	198	Good	Healthy	Area BU	...	Low	...
074	Quercus agrifolia	192	200	Good	Healthy	Area BV	...	Low	...
075	Quercus agrifolia	195	202	Good	Healthy	Area BW	...	Low	...
076	Quercus agrifolia	198	205	Good	Healthy	Area BX	...	Low	...
077	Quercus agrifolia	200	208	Good	Healthy	Area BY	...	Low	...
078	Quercus agrifolia	202	210	Good	Healthy	Area BZ	...	Low	...
079	Quercus agrifolia	205	212	Good	Healthy	Area CA	...	Low	...
080	Quercus agrifolia	208	215	Good	Healthy	Area CB	...	Low	...
081	Quercus agrifolia	210	218	Good	Healthy	Area CC	...	Low	...
082	Quercus agrifolia	212	220	Good	Healthy	Area CD	...	Low	...
083	Quercus agrifolia	215	222	Good	Healthy	Area CE	...	Low	...
084	Quercus agrifolia	218	225	Good	Healthy	Area CF	...	Low	...
085	Quercus agrifolia	220	228	Good	Healthy	Area CG	...	Low	...
086	Quercus agrifolia	222	230	Good	Healthy	Area CH	...	Low	...
087	Quercus agrifolia	225	232	Good	Healthy	Area CI	...	Low	...
088	Quercus agrifolia	228	235	Good	Healthy	Area CJ	...	Low	...
089	Quercus agrifolia	230	238	Good	Healthy	Area CK	...	Low	...
090	Quercus agrifolia	232	240	Good	Healthy	Area CL	...	Low	...
091	Quercus agrifolia	235	242	Good	Healthy	Area CM	...	Low	...
092	Quercus agrifolia	238	245	Good	Healthy	Area CN	...	Low	...
093	Quercus agrifolia	240	248	Good	Healthy	Area CO	...	Low	...
094	Quercus agrifolia	242	250	Good	Healthy	Area CP	...	Low	...
095	Quercus agrifolia	245	252	Good	Healthy	Area CQ	...	Low	...
096	Quercus agrifolia	248	255	Good	Healthy	Area CR	...	Low	...
097	Quercus agrifolia	250	258	Good	Healthy	Area CS	...	Low	...
098	Quercus agrifolia	252	260	Good	Healthy	Area CT	...	Low	...
099	Quercus agrifolia	255	262	Good	Healthy	Area CU	...	Low	...
100	Quercus agrifolia	258	265	Good	Healthy	Area CV	...	Low	...
101	Quercus agrifolia	260	268	Good	Healthy	Area CW	...	Low	...
102	Quercus agrifolia	262	270	Good	Healthy	Area CX	...	Low	...
103	Quercus agrifolia	265	272	Good	Healthy	Area CY	...	Low	...
104	Quercus agrifolia	268	275	Good	Healthy	Area CZ	...	Low	...
105	Quercus agrifolia	270	278	Good	Healthy	Area DA	...	Low	...
106	Quercus agrifolia	272	280	Good	Healthy	Area DB	...	Low	...
107	Quercus agrifolia	275	282	Good	Healthy	Area DC	...	Low	...
108	Quercus agrifolia	278	285	Good	Healthy	Area DD	...	Low	...
109	Quercus agrifolia	280	288	Good	Healthy	Area DE	...	Low	...
110	Quercus agrifolia	282	290	Good	Healthy	Area DF	...	Low	...
111	Quercus agrifolia	285	292	Good	Healthy	Area DG	...	Low	...
112	Quercus agrifolia	288	295	Good	Healthy	Area DH	...	Low	...
113	Quercus agrifolia	290	298	Good	Healthy	Area DI	...	Low	...
114	Quercus agrifolia	292	300	Good	Healthy	Area DJ	...	Low	...
115	Quercus agrifolia	295	302	Good	Healthy	Area DK	...	Low	...
116	Quercus agrifolia	298	305	Good	Healthy	Area DL	...	Low	...
117	Quercus agrifolia	300	308	Good	Healthy	Area DM	...	Low	...
118	Quercus agrifolia	302	310	Good	Healthy	Area DN	...	Low	...
119	Quercus agrifolia	305	312	Good	Healthy	Area DO	...	Low	...
120	Quercus agrifolia	308	315	Good	Healthy	Area DP	...	Low	...
121	Quercus agrifolia	310	318	Good	Healthy	Area DQ	...	Low	...
122	Quercus agrifolia	312	320	Good	Healthy	Area DR	...	Low	...
123	Quercus agrifolia	315	322	Good	Healthy	Area DS	...	Low	...
124	Quercus agrifolia	318	325	Good	Healthy	Area DT	...	Low	...
125	Quercus agrifolia	320	328	Good	Healthy	Area DU	...	Low	...
126	Quercus agrifolia	322	330	Good	Healthy	Area DV	...	Low	...
127	Quercus agrifolia	325	332	Good	Healthy	Area DW	...	Low	...
128	Quercus agrifolia	328	335	Good	Healthy	Area DX	...	Low	...
129	Quercus agrifolia	330	338	Good	Healthy	Area DY	...	Low	...
130	Quercus agrifolia	332	340	Good	Healthy	Area DZ	...	Low	...
131	Quercus agrifolia	335	342	Good	Healthy	Area EA	...	Low	...
132	Quercus agrifolia	338	345	Good	Healthy	Area EB	...	Low	...
133	Quercus agrifolia	340	348	Good	Healthy	Area EC	...	Low	...
134	Quercus agrifolia	342	350	Good	Healthy	Area ED	...	Low	...
135	Quercus agrifolia	345	352	Good	Healthy	Area EE	...	Low	...
136	Quercus agrifolia	348	355	Good	Healthy	Area EF	...	Low	...
137	Quercus agrifolia	350	358	Good	Healthy	Area EG	...	Low	...
138	Quercus agrifolia	352	360	Good	Healthy	Area EH	...	Low	...
139	Quercus agrifolia	355	362	Good	Healthy	Area EI	...	Low	...
140	Quercus agrifolia	358	365	Good	Healthy	Area EJ	...	Low	...
141	Quercus agrifolia	360	368	Good	Healthy	Area EK	...	Low	...
142	Quercus agrifolia	362	370	Good	Healthy	Area EL	...	Low	...
143	Quercus agrifolia	365	372	Good	Healthy	Area EM	...	Low	...
144	Quercus agrifolia	368	375	Good	Healthy	Area EN	...	Low	...
145	Quercus agrifolia	370	378	Good	Healthy	Area EO	...	Low	...
146	Quercus agrifolia	372	380	Good	Healthy	Area EP	...	Low	...
147	Quercus agrifolia	375	382	Good	Healthy	Area EQ	...	Low	...
148	Quercus agrifolia	378	385	Good	Healthy	Area ER	...	Low	...
149	Quercus agrifolia	380	388	Good	Healthy	Area ES	...	Low	...
150	Quercus agrifolia	382	390	Good	Healthy	Area ET	...	Low	...
151	Quercus								



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Attachment 14
Biological Report
See Attached



Marcus H. Bole & Associates
An Environmental Consulting Firm

October 9, 2014

Corporation for Better Housing
Attn: Justin Hardt
5947 Variel Avenue
Woodland Hills, CA 91367

**BIOLOGICAL EVALUATION FOR SPECIAL STATUS PLANTS AND WILDLIFE
(NESTING RAPTORS AND BATS), ATASCADERO FAMILY APARTMENTS, 10785
EL CAMINO REAL, ATASCADERO, CA. MHBA FILE NUMBER 0929-2014-3329.**

INTRODUCTION

This report outlines the methods employed and results of a biological evaluation conducted on October 2, 2014 in the vicinity of the proposed Atascadero Family Apartments project located at 10785 El Camino Real, Atascadero, California 93422. The survey area is located at an elevation of 960 feet above mean seas level west of the Salinas River surrounded by the Santa Lucia Range. It is a semi-rural lot supporting a small orchard, oak woodlands, and remnant agricultural fields. This biological evaluation was conducted to satisfy NEPA requirements and those measures required by the City of Atascadero Community Development Department.

Nesting birds, including nesting raptors (hawks, eagles, owls) and bats, are known to occur within ten miles of the proposed Atascadero Family Apartments project. Bird nests, eggs and young are protected under California Fish and Wildlife Codes and are also protected under the Federal Migratory Bird Treaty Act, which makes it unlawful to "take" (kill, harm, harass, shoot, etc.) including nests, eggs, and young. Any construction activity (building demolition, site preparation, grading, etc.) during the migratory bird and raptor nesting period (March to August) could disturb nesting birds. Therefore, if any construction activities were to occur during this period pre-construction nest surveys would be required.

METHODOLOGY

During October of 2014, a NEPA/CEQA- level Biological Evaluation was conducted on Assessor Parcel Numbers (APNs) 045-321-020 & -021, a ±4.0 acre parcel of partially developed land located on the U.S. Geological survey (USGS) Atascadero 7.5-minute topographic quadrangle, an undivided portion of Rancho Atascadero, Township 28 South, Range 12 East, City of Atascadero, San Luis Obispo County, CA (Enclosure A, Figure 1.) Particular attention was focused upon the project's potential impact to federal and state special-status plants and wildlife species and their habitats. Historically, the property area has been graded, farmed and partially developed with a farmhouse and outbuildings. Elevation of the property is 960 feet in relatively flat terrain. Surrounding land uses include single family residences to the west, multifamily residential apartments to the north and east, and commercial properties to the south.

A records search was completed prior to field surveys of the United States Fish & Wildlife Service's *Federal Endangered and Threatened Species List* (San Luis Obispo County) and the *California Natural Diversity Database* for the Atascadero 7 ½ minute quadrangle and the adjacent eight quadrangles. These documents list plants and wildlife that have Federal, State and California Native Plant Society (CNPS) special status. Except for the potential of onsite oak trees to support nesting raptors, the site does not support habitat for any of the species listed by the USFWS or the State of California. Onsite surveys did not reveal the presence of raptor nests or any special status plant or wildlife species.

Field studies were conducted on foot making observations and noting habitat conditions, surrounding land uses, and plant and wildlife species. In accordance with guidance set forth in the United States Army Corps of Engineer's *1987 Wetlands Delineation Manual* a wetland determination was conducted. Field surveys were conducted to determine the presence of sensitive species, and/or suitable habitat for sensitive species (e.g. elderberry shrubs, riparian habitats, etc.). These surveys also included ocular reconnaissance of the entire study area and buffer zones for nesting raptors (*Aquila chrysaetos*, *Buteo regalis*, *Athene cunicularia*, etc.) and roosting bats (*Antrozous pallidus*, etc.).

Bat surveys were conducted during the dusk and evening hours of October 2, 2014, by Marcus H. Bole, Senior Wildlife Biologist, and Charlene J. Bole, Senior Wildlife Biologist/Botanist, Marcus H. Bole & Associates, Wheatland, California. A "Presence/Not detected & Relative Abundance" survey protocol was selected using night visual observations (Famous Trails 380 Marauder Night-Vision Monocular -FT-380), and ultrasonic (Baton Bat Detector, frequency division with sonogram) bat pass detections in real time. Unlike netting and trapping, no handling is involved during ultrasonic detection, and therefore disturbance is minimized. The interior and exterior areas of the onsite building were inspected for signs of past or present bat roosts.

Special-status plant species surveys were performed on October 2, 2014. Surveys were conducted in a manner to identify any rare or endangered species that may be present during the spring blooming period. Survey protocols that were followed include *Guidelines for Assessing the Effects of Proposed Projects on Rare, Threatened, and Endangered Plants and Natural Communities*, California Department of Fish and Wildlife (CDFW), December 9, 1983 (Revised May 8, 2000) and *Guidelines for Conduction and Reporting Botanical Inventories for Federally Listed, Proposed and Candidate Plants*, United States Fish and Wildlife Service (USFWS), January 2000.

Surveys were conducted when most rare or endangered plant species would be evident and identifiable. The surveys were floristic in nature and not based on the occurrence of habitat or other physical features. The surveys were conducted using systematic field techniques in all habitats of the site to ensure a thorough coverage of potential impact areas. A meandering pattern was walked through each habitat to ensure that all areas were viewed. All plants at the site were identified to the level necessary to ascertain whether they were special status species.

EXISTING SETTING

Habitat Description:

The subject property is located in the City of Atascadero, California. The site is uniformly level with an elevation of 960 feet above sea level. The site is partially developed with a farmhouse and outbuildings. There are no natural habitats, wetlands or riparian corridors on or near the subject property. Site vegetation consists of medium to large diameter native and non-native trees (oak woodlands and orchard trees), along with ruderal, non-native grasses and forbs (wild oats, bromes and thistle).

Wildlife Communities:

Oak woodlands and ruderal non-native grasslands generally provide breeding, cover, and foraging habitat for wildlife species. A limited variety of bird species were observed during the recent surveys. Species observed in these habitats include the American crow (*Corvus brachyrhynchos*) and the Western scrub-jay (*Aphelocoma californica*). No raptors or bats were observed on or near the subject property.

Special Status Species:

The following discussion describes the plant and animal species that have been afforded special recognition by federal, state, or local resource agencies or organizations. Listed and special-status species are of relatively limited distribution and may require specialized habitat conditions. Listed and special-status species are defined as one of the following:

- Listed or proposed for listing under the state or federal Endangered Species Acts.
- Protected under other regulations (e.g., Migratory Bird Treaty Act).
- California Department of Fish and Wildlife (CDFW) Species of Special Concern.
- Receive consideration during environmental review under NEPA/CEQA.

Special-status species were considered for this analysis based on field survey results, a review of the *Federal Endangered and Threatened Species list* for San Luis Obispo County (NEPA, 2014), California Natural Diversity Database (CNDDDB, 2014), CNPS literature, and database information provided by the U.S. Fish and Wildlife Service (Atascadero 7 ½ Minute Quad). Over eight hours of onsite surveys (including dusk/night bat surveys) did not reveal the presence of special status wildlife or plant species or their specific micro-habitat.

Sensitive Habitats:

Sensitive habitats include those that are of special concern to resource agencies and those that are protected under CEQA, Section 1600 of the California Fish and Game Code, or Section 404 of the Clean Water Act. A biologist and botanist from Marcus H. Bole & Associates conducted over eight hours of field survey of the study area during October of 2014. The project area was systematically surveyed to ensure total search coverage, with special attention given to identifying those portions of the study area with the potential for supporting special-status species and sensitive habitats. Except for a large number of mature, native oak trees, no sensitive habitat was found on site.

TABLE 1: LISTED AND SPECIAL-STATUS SPECIES POTENTIALLY OCCURRING WITHIN OR NEAR THE PROPERTY

Species	Federal (USFWS)	State (CDFW) & (CNPS)	Habitat	Potential for Occurrence
<i>Birds</i>				
Ferruginous hawk (<i>Buteo regalis</i>)	NONE	STATE NONE CDFW SC	Open grasslands, sagebrush flats, desert scrub. East mostly lagomorphs, ground squirrels, and mice.	Low: Oak woodlands provide limited nesting potential due to presence of residents and other disturbances on or near the site. Some limited foraging habitat within the non-native grasslands; however, site does not support an adequate small mammal prey base. None observed during onsite surveys. All trees onsite were inspected with no "stick nests" found. Pre-construction nesting surveys will be conducted if impacts are anticipated during the nesting season (March - August).
Golden eagle (<i>Aquila chrysaetos</i>)	MBTA	NONE	Rolling foothills, mountain areas, sage-juniper flats & desert.	Low: Oak woodlands provide limited nesting potential due to presence of residents and other disturbances on or near the site. Some limited foraging habitat within the non-native grasslands; however, site does not support an adequate small mammal prey base. None observed during onsite surveys. All trees onsite were inspected with no "stick nests" found. Pre-construction nesting surveys will be conducted if impacts are anticipated during the nesting season (March - August).
Purple Martin (<i>Progne subis</i>)	NONE	STATE NONE CDFW SC	Woodlands, low elevation coniferous forest of Douglas-fir, Ponderosa pine & Monterey Pine	None: Oak woodlands provide limited nesting potential due to presence of residents and other disturbances on or near the site. None observed during onsite surveys. Pre-construction nesting surveys will be conducted if impacts are anticipated during the nesting season (March - August).
<i>Invertebrates</i>				
Valley elderberry longhorn beetle (<i>Desmocerus californicus dimorphus</i>)	T	NONE	Occurs in the Central Valley of California, in association with the blue elderberry (<i>Sambucus mexicana</i>).	None: No suitable habitat on site. No blue elderberry shrubs observed either on or near the property.
Atascadero June beetle (<i>Polyphylla nubila</i>)	NONE	NONE	Known only from sand dunes in San Luis Obispo County.	None: No suitable habitat on site.
<i>Reptiles</i>				
Western pond turtle (<i>Emys marmorata</i>)	NONE	STATE NONE CDFW SC	A thoroughly aquatic turtle of ponds, marshes, rivers and ditches.	None: No aquatic habitats present onsite. No potential to occur on disturbed upland area.
<i>Amphibians</i>				
California red-legged frog (<i>Rana draytonii</i>)	T	CDFW SC	Lowlands and foothills in or near permanent sources of deep water.	None: No aquatic habitats present onsite. No potential to occur on disturbed upland area.
Coast Range newt (<i>Taricha torosa</i>)	NONE	STATE NONE CDFW SC	Coastal drainages, terrestrial habitats, ponds, reservoirs & slow moving streams	None: No aquatic habitats present onsite. No potential to occur on disturbed upland area.
<i>Mammals</i>				
Pallid bat (<i>Antrozous pallidus</i>)	None	CDFW SC	Deserts, grasslands, dry habitats with	None: No suitable habitat on site. Onsite buildings were thoroughly examined for

			rocky areas for roosting. Very sensitive to disturbance of roost sites.	presence of nesting/roosting bats, none found. Trees were examined with no evidence of bat roosts.
<i>Plants</i>				
Santa Margarita manzanita (<i>Arctostaphylos pilosula</i>)	NONE	CNPS List 1B.2	Closed-cone coniferous forest, chaparral.	None: there is no suitable habitat within the project site for this species. None observed during onsite surveys. Disturbed nature of onsite soils would not support his species.
Mesa horkelia (<i>Horkelia cuneata var. puberula</i>)	NONE	CNPS List 1B.1	Coastal scrub, sandy or gravelly soils	None: there is no suitable habitat within the project site for this species. None observed during onsite surveys. Disturbed nature of onsite soils would not support his species.
Palmer's monardella (<i>Monardella palmeri</i>)	NONE	CNPS List 1B.2	Chaparral, cismontane woodland.	None: there is no suitable habitat within the project site for this species. None observed during onsite surveys. Disturbed nature of onsite soils would not support his species.
T = Threatened E = Endangered SC = Federal Species of Concern CSC = California Species of Special Concern MBTA = Federal Migratory Bird Treaty Act CNPS = California Native Plant Society CDFW SC = California Department of Fish & Wildlife Species of Concern Source: CDFW and USFWS List for Atascadero Quadrangle and San Luis Obispo County.				

Raptors, Owls, Migratory Birds and Bats:

The site offers only very limited prey for raptors tolerant of nearby human activity. Birds may opportunistically forage on and near the site; however, this would be on only a very limited basis. The onsite native and non-native trees large enough to support nesting activity were surveyed and did not reveal the presence of nests. The onsite buildings were inspected with no sign of past or present roosting bats. Pre-construction nesting surveys will be conducted if impacts are anticipated during the nesting season (March - August).

Valley Elderberry Longhorn Beetle (*Desmocerus californicus dimorphus*):

The valley elderberry longhorn beetle (VELB) is a federal-listed threatened species. This species inhabits elderberry (*Sambucus sp.*) shrubs and trees associated with upland and riparian habitats throughout the Central Valley and foothill regions of California. Botanical evaluations did not reveal the presence of elderberry shrubs within or near the boundaries of the property.

Determination of Waters of the United States:

The intent of this determination is to identify wetlands and “other waters of the United States” that are present within the property that could fall under the regulatory jurisdiction of the U. S. Army Corps of Engineers (Corps) pursuant to Section 404 of the Clean Water Act. The 1987 *Corps of Engineers Wetlands Delineation Manual* identifies several methodologies and combinations of methodologies that can be utilized in making jurisdictional determinations. Marcus H. Bole & Associates has employed the Routine On-Site Determination methodology for this study (as supplemented by the *Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Arid West Region*, dated December 2006). The Routine On-Site Determination method uses a three-parameter approach (vegetation, soils and hydrology) to identify and delineate the boundaries of jurisdictional wetlands. To be considered a wetland, all three positive wetland parameters must be present. These parameters include (1) a dominance of wetland vegetation, (2) a presence of hydric soils, and (3) hydrologic conditions that result in periods of inundation or saturation on the surface from flooding or ponding. Further description of these parameters is provided below:

1) Vegetation. Wetland vegetation includes those plants that possess physiological traits that allow them to grow and persist in soils subject to inundation and anaerobic soil conditions. Plant species are classified according to their probability of being associated with wetlands. Obligate (OBL) wetland plant species almost always occur in wetlands (more than 99 percent of the time), facultative wetland (FACW) plant species occur in wetlands most of the time (67 to 99 percent), and facultative (FAC) plant species have about an equal chance (33 to 66 percent) of occurring in wetlands as in uplands. For this study, vegetation was considered to meet the vegetation criteria if more than 50% of the vegetative cover was FAC or wetter. No wetland plant species were observed within the project site during our onsite evaluations. There was no sign of vernal pools or vernal swales on the property.

2) Hydric Soils. Hydric soils are saturated, flooded, or ponded in the upper stratum long enough during the growing season to develop anaerobic conditions and favor the growth of wetland plants. Hydric soils include gleyed soils (soils with gray colors), or usually display indicators such as low chroma values, redoximorphic features, iron, or manganese concretions, or a combination of these indicators. Low chroma values are generally defined as having a value of 2 or less using the Munsell Soil Notations (Munsell, 1994). For this study a soil was considered to meet the hydric soil criteria for color if it had a chroma value of one or a chroma of two with redoximorphic features, or if the soil exhibited iron or manganese concretions. Redoximorphic features (commonly referred to as mottles) are areas in the soils that have brighter (higher chroma) or grayer (lower chroma) colors than the soil matrix. Redoximorphic features are the result of the oxidation and reduction process that occurs under anaerobic conditions. Iron and manganese concretions form during the oxidation-reduction process, when iron and manganese in suspension are sometimes segregated as oxides into concretions or soft masses. These accumulations are usually black or dark brown. Concretions 2 mm in diameter occurring within 7.5 cm of the surface are evidence that the soil is saturated for long periods near the surface. Onsite soils are well drained and did not exhibit hydric indicators.

3) Hydrology. Wetlands by definition are seasonally inundated or saturated at or near the surface. In order for an area to have wetland hydrology, it has to be inundated or saturated for 5% of the growing season (approximately 12 days) (USDA, 1967). Indicators include visual soil saturation, flooding, watermarks, drainage patterns, encrusted sediment and plant deposits, cryptogammic lichens, and algal mats. Due to past agricultural practices and historic residential use, the hydrology has been altered through drainage and flood protection.

Wetland Determination Results:

Using the methodologies described in the *1987 Wetland Delineation Manual*, Marcus H. Bole & Associates found no federal jurisdictional wetland habitats within the boundaries of the subject property.

POTENTIAL PROJECT IMPACTS

Site development will not result in impacts to listed federal or state plant or wildlife species. Impacts to common vegetation and wildlife habitats are as follows:

Common Vegetation and Wildlife Habitats:

Except for mature, native oak trees, project implementation will not result in alterations (removal) of natural plant or wildlife communities. The proposed upgrades of this site will not interfere with the movement of any native resident or migratory fish or wildlife species, or result in impacts to established native resident or migratory wildlife corridors. The project will not affect the use of native wildlife nursery sites. Impacts of mature, native oak trees will be in accordance with the City of Atascadero *Native Tree Ordinance*.

Special-Status Species:

Special-status species were considered for this analysis based on field survey results, a review of the California Natural Diversity Database (CNDDDB), and CNPS literature. Based on the specific habitat characteristics of subject property, no Federal or State listed plant or wildlife species will be impacted by this project.

FINDINGS AND RECOMMENDATIONS**Findings:**

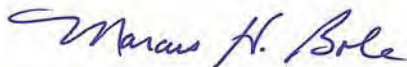
1) Except for the presence of mature, native oak trees, the site does not support sensitive habitats, nesting birds, raptors or roosting bats. There are no wetlands or riparian habitats on or near the subject property.

Recommendations:

- 1) Impacts to native oak trees will be mitigated in accordance with the City of Atascadero Native Tree Ordinance (Atascadero.org, Tree Ordinance ((Title 9))).
- 2) Prior to construction activities during the raptor nesting season (March - August), a follow-up nesting raptor survey should be conducted by a qualified wildlife biologist. If active raptor nests are found onsite or within 500 feet of the property, an appropriate avoidance plan should be designed to include no onsite disturbances until the chicks have fledged.

This concludes our biological evaluation of the ±4.0 acre study area identified as APNs 045-321-020 & -021, City of Atascadero, California. If you have any questions concerning our findings please feel free to contact me directly at: Marcus H. Bole & Associates, Attn: Marcus Bole, 104 Brock Drive, Wheatland, CA 95692, phone 530-633-0117, fax 530-633-0119, email: mbole@aol.com.

Respectfully Submitted:



Marcus H. Bole, M.S., Principal
Senior Wildlife Biologist

LIST OF ENCLOSURES

ENCLOSURE A: SITE PHOTOS, MAPS & FIGURES

ENCLOSURE B: SOIL DATA

**ENCLOSURE C: FEDERAL AND STATE SPECIAL STATUS SPECIES LISTS
AND DATABASES**

ENCLOSURE A: SITE PHOTOS, MAPS & FIGURES

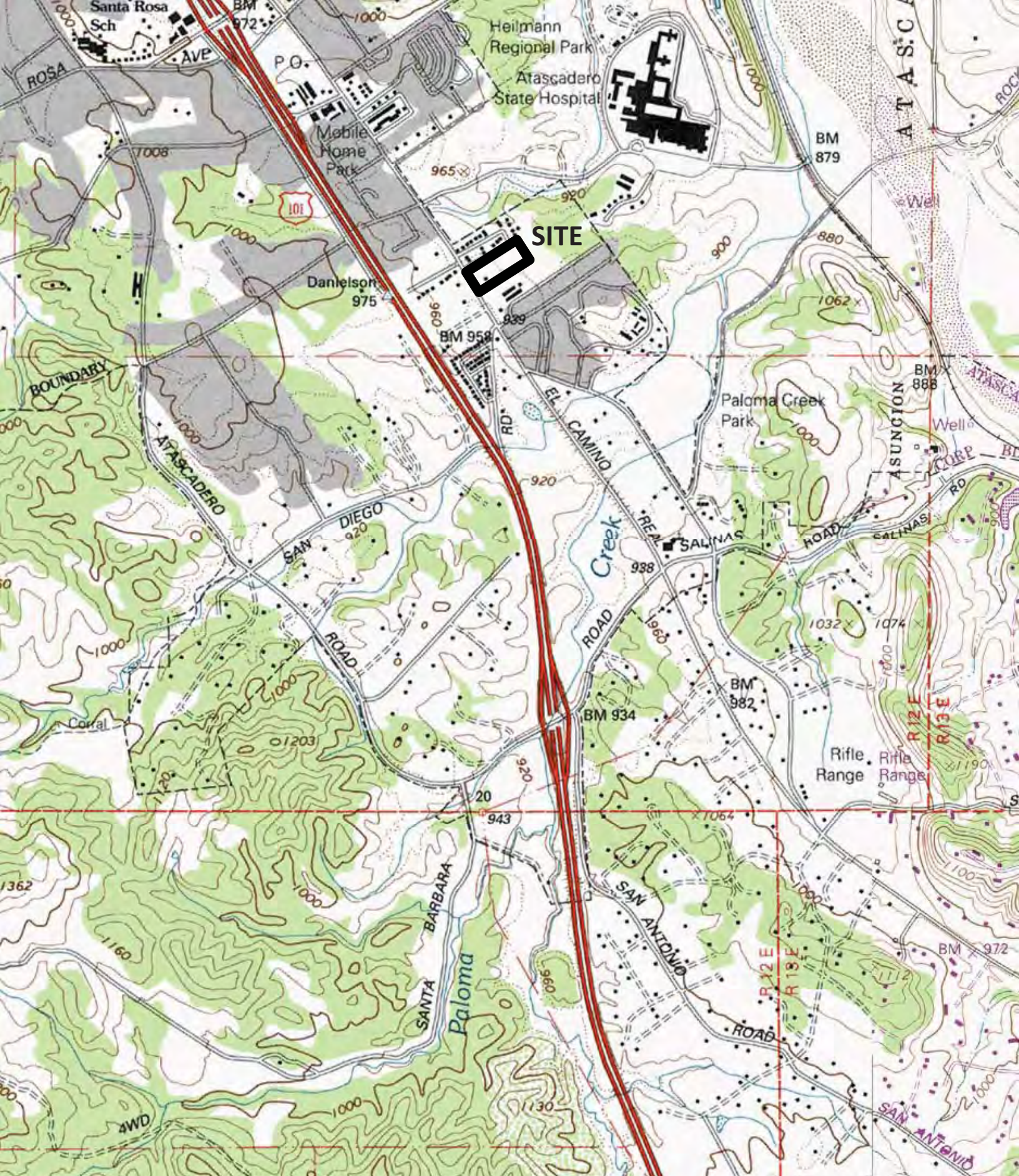


Figure 1: Atascadero Family Apartments, a 4.0 acre project site located at 10785 El Camino Real, Atascadero, CA 93422. Township 28 South, Range 12 East. Approximately 35.45736N, 120.64039W. Atascadero USGS 7.5-minute Quadrangle Map. APNs 045-321-020 & -021, City of Atascadero, California.



Figure 2, Aerial: Atascadero Family Apartments, a 4.0 acre project site located at 10785 El Camino Real, Atascadero, CA 93422. Township 28 South, Range 12 East. Approximately 35.45736N, 120.64039W. Atascadero USGS 7.5-minute Quadrangle Map. APNs 045-321-020 & -021, City of Atascadero, California.



MARCUS H. BOLE & ASSOCIATES
104 Brock Drive, Wheatland, CA 95692
(530) 633-0117, email: mbole@aol.com

SITE: Atascadero Family Apartments
ITEM: Site Photos
DATE: 10/2/2014 **PLATE:** 1



MARCUS H. BOLE & ASSOCIATES
104 Brock Drive, Wheatland, CA 95692
(530) 633-0117, email: mbole@aol.com

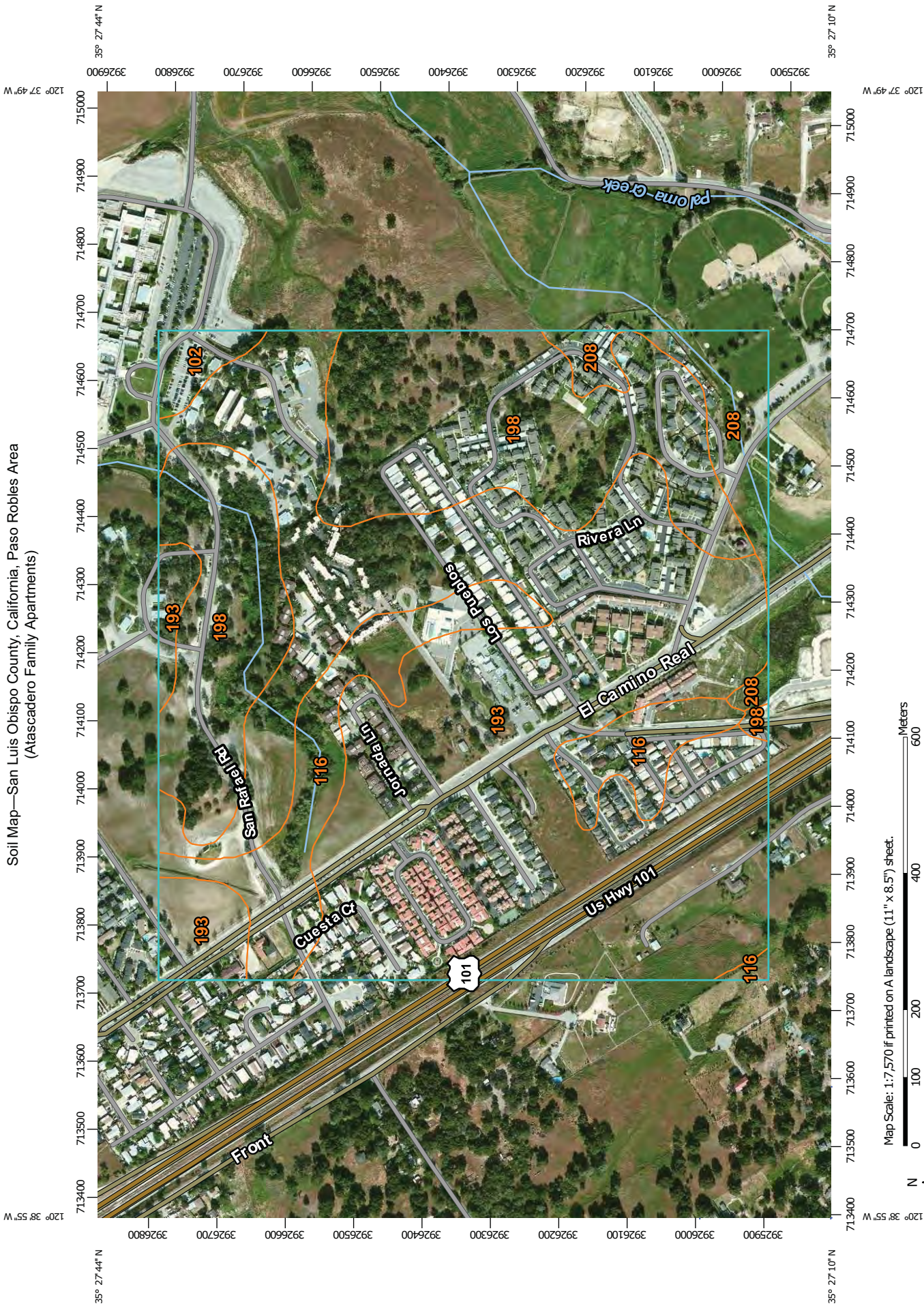
SITE: Atascadero Family Apartments
ITEM: Site Photos
DATE: 10/2/2014 **PLATE:2**



MARCUS H. BOLE & ASSOCIATES
104 Brock Drive, Wheatland, CA 95692
(530) 633-0117, email: mbole@aol.com

SITE: Atascadero Family Apartments
ITEM: Site Photos
DATE: 10/2/2014 **PLATE:**3

ENCLOSURE B: SOIL DATA



Soil Map—San Luis Obispo County, California, Paso Robles Area
(Atascadero Family Apartments)

Map Scale: 1:7,570 if printed on A landscape (11" x 8.5") sheet.
 Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84



MAP LEGEND

- Area of Interest (AOI)
- Soils**
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points
- Special Point Features**
- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.
Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: San Luis Obispo County, California, Paso Robles Area
Survey Area Data: Version 7, Sep 25, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 8, 2010—May 21, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

- Water Features**
- Streams and Canals
- Transportation**
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads
- Background**
- Aerial Photography

Map Unit Legend

San Luis Obispo County, California, Paso Robles Area (CA665)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
102	Arbuckle-Positas complex, 9 to 15 percent slopes	2.8	1.3%
116	Botella sandy loam, 2 to 9 percent slopes	21.7	10.3%
193	San Andreas-Arujo complex, 9 to 15 percent slopes	123.0	58.3%
198	Santa Lucia-Lopez complex, 15 to 50 percent slopes	54.0	25.6%
208	Still clay loam, 0 to 2 percent slopes	9.6	4.6%
Totals for Area of Interest		211.1	100.0%

**ENCLOSURE C: USFWS & CNDDDB SPECIAL STATUS
SPECIES LIST**

United States Department of the Interior



FISH AND WILDLIFE SERVICE

Sacramento Fish and Wildlife Office
2800 Cottage Way, Room W-2605
Sacramento, California 95825



October 12, 2014

Document Number: 141012031014

Marcus H. Bole
Marcus H. Bole & Associates
104 Brock Drive
Wheatland, CA 95692

Subject: Species List for Atascadero Family Apartments

Dear: Mr. Marcus H. Bole

We are sending this official species list in response to your October 12, 2014 request for information about endangered and threatened species. The list covers the California counties and/or U.S. Geological Survey 7½ minute quad or quads you requested.

Our database was developed primarily to assist Federal agencies that are consulting with us. Therefore, our lists include all of the sensitive species that have been found in a certain area *and also ones that may be affected by projects in the area*. For example, a fish may be on the list for a quad if it lives somewhere downstream from that quad. Birds are included even if they only migrate through an area. In other words, we include all of the species we want people to consider when they do something that affects the environment.

Please read Important Information About Your Species List (below). It explains how we made the list and describes your responsibilities under the Endangered Species Act.

Our database is constantly updated as species are proposed, listed and delisted. If you address proposed and candidate species in your planning, this should not be a problem. However, we recommend that you get an updated list every 90 days. That would be January 10, 2015.

Please contact us if your project may affect endangered or threatened species or if you have any questions about the attached list or your responsibilities under the Endangered Species Act. A list of Endangered Species Program contacts can be found http://www.fws.gov/sacramento/es/Branch-Contacts/es_branch-contacts.htm.

Endangered Species Division

California Department of Fish and Game
 Natural Diversity Database
 CNDDB Wide Tabular Report

Name (Scientific/Common)	CNDDB Ranks	Other Lists	Listing Status	Total EO's	Element Occ Ranks										Population Status			Presence	
					A	B	C	D	X	U	Historic >20 yr	Recent <=20 yr	Pres. Extant	Poss. Extirp.					
<i>Antrozous pallidus</i> pallid bat	G5 S3	CDFG: SC	Fed: None Cal: None	402 S:1	0	1	0	0	0	0	0	0	0	0	0	1	0	0	
<i>Aquila chrysaetos</i> golden eagle	G5 S3	CDFG:	Fed: None Cal: None	308 S:1	1	0	0	0	0	0	0	0	1	0	1	0	0	0	
<i>Arctostaphylos pilosula</i> Santa Margarita manzanita	G3 S3	CNPS: 1B.2	Fed: None Cal: None	50 S:4	1	0	0	0	0	3	1	3	0	0	4	0	0	0	
<i>Astragalus didymocarpus var. milesianus</i> Miles' milk-vetch	G5T2 S2	CNPS: 1B.2	Fed: None Cal: None	11 S:2	0	0	0	0	0	2	2	0	0	2	0	0	0	0	
<i>California macrophylla</i> round-leaved filaree	G2 S2	CNPS: 1B.1	Fed: None Cal: None	155 S:1	0	0	0	0	0	1	1	0	0	1	0	0	0	0	
<i>Calochortus obispoensis</i> San Luis mariposa-lily	G2 S2	CNPS: 1B.2	Fed: None Cal: None	31 S:1	0	1	0	0	0	0	0	1	0	1	0	0	0	0	
<i>Calochortus simulans</i> La Panza mariposa-lily	G2 S2	CNPS: 1B.3	Fed: None Cal: None	59 S:1	0	0	0	0	0	1	0	1	0	1	1	0	0	0	
<i>Carduus obispoensis</i> San Luis Obispo sedge	G2G3 S2S3	CNPS: 1B.2	Fed: None Cal: None	26 S:3	1	0	0	0	0	2	2	1	0	1	3	0	0	0	
<i>Chorizanthe breweri</i> Brewer's spineflower	G2 S2	CNPS: 1B.3	Fed: None Cal: None	30 S:4	2	0	0	0	0	2	3	1	0	1	4	0	0	0	
<i>Chorizanthe rectispina</i> straight-awned spineflower	G1 S1	CNPS: 1B.3	Fed: None Cal: None	24 S:1	0	0	0	0	0	1	1	0	0	1	0	0	0	0	
<i>Cirsium fontinale var. obispoense</i> San Luis Obispo fountain thistle	G2T2 S2	CNPS: 1B.2	Fed: Endangered Cal: Endangered	13 S:1	0	0	0	0	0	1	1	0	0	1	0	0	0	0	
<i>Cirsium occidentale var. lucianum</i> Cuesta Ridge thistle	G3G4T2 S2	CNPS: 1B.2	Fed: None Cal: None	7 S:1	0	0	0	0	0	1	1	0	0	1	0	0	0	0	
<i>Delphinium parryi ssp. eastwoodiae</i> Eastwood's larkspur	G4T2 S2	CNPS: 1B.2	Fed: None Cal: None	15 S:1	0	0	0	0	0	1	1	0	0	1	0	0	0	0	
<i>Emys marmorata</i> western pond turtle	G3G4 S3	CDFG: SC	Fed: None Cal: None	1136 S:2	0	2	0	0	0	0	0	2	0	2	0	0	0	0	
<i>Eriastrum luteum</i> yellow-flowered eriastrum	G2 S2	CNPS: 1B.2	Fed: None Cal: None	24 S:1	0	0	0	0	0	1	1	0	0	1	0	0	0	0	
<i>Horkelia cuneata var. puberula</i> mesa horkelia	G4T1 S1	CNPS: 1B.1	Fed: None Cal: None	58 S:1	0	0	0	0	0	1	1	0	0	1	0	0	0	0	

California Department of Fish and Game
 Natural Diversity Database
 CNDDB Wide Tabular Report

Name (Scientific/Common)	CNDDB Ranks	Other Lists	Listing Status	Total EO's	Element Occ Ranks										Population Status			Presence	
					A	B	C	D	X	U	Historic >20 yr	Recent <=20 yr	Pres. Extant	Poss. Extirp.	Extirp.				
<i>Malacothamnus palmeri</i> var. <i>involutus</i> Carmel Valley bush-mallow	G3T3Q S3	CNPS: 1B.2	Fed: None Cal: None	32 S:1	0	0	0	0	0	0	0	1	0	0	1	0	0	0	
<i>Malacothamnus palmeri</i> var. <i>palmeri</i> Santa Lucia bush-mallow	G3T2Q S2	CNPS: 1B.2	Fed: None Cal: None	9 S:1	0	0	0	0	0	0	1	0	0	0	1	0	0	0	
<i>Monardella palmeri</i> Palmer's monardella	G2 S2	CNPS: 1B.2	Fed: None Cal: None	17 S:2	0	0	0	0	0	2	2	0	0	0	2	0	0	0	
<i>Northern Interior Cypress Forest</i>	G2 S2.2		Fed: None Cal: None	22 S:1	0	0	0	0	0	1	1	0	0	0	1	0	0	0	
<i>Plagiobothrys uncinatus</i> hooked popcornflower	G2 S2	CNPS: 1B.2	Fed: None Cal: None	14 S:1	0	0	0	0	0	1	1	0	0	0	1	0	0	0	
<i>Polyphylla nubila</i> Atascadero June beetle	G1 S1	CDFG:	Fed: None Cal: None	4 S:1	0	0	0	0	0	1	1	0	0	0	1	0	0	0	
<i>Progne subis</i> purple martin	G5 S3	CDFG: SC	Fed: None Cal: None	45 S:1	0	1	0	0	0	0	0	0	1	0	1	0	0	0	
<i>Rana auraytonii</i> California red-legged frog	G2G3 S2S3	CDFG: SC	Fed: Threatened Cal: None	1334 S:3	1	1	0	1	0	0	0	0	3	0	3	0	0	0	
<i>Sidalcea hickmanii</i> ssp. <i>anomala</i> Cuesta Pass checkerbloom	G3T1 S1	CNPS: 1B.2	Fed: None Cal: Rare	4 S:1	1	0	0	0	0	0	0	0	1	0	1	0	0	0	
<i>Streptanthus albidus</i> ssp. <i>peramoenus</i> most beautiful jewelflower	G2T2 S2	CNPS: 1B.2	Fed: None Cal: None	96 S:2	0	0	0	0	0	2	2	0	0	0	2	0	0	0	
<i>Taricha torosa</i> Coast Range newt	G4 S4	CDFG: SC	Fed: None Cal: None	62 S:3	1	1	0	1	0	0	0	0	3	0	3	0	0	0	



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Attachment 15
Storm water Control Report
See Attached



CITY of ATASCADERO

STORMWATER CONTROL PLAN

Permit Documentation

Atascadero Family Apartment Project

Template Updated: October 9, 2014

Project Plan Completed: April 27, 2015

Application Submittal

- Where directions state **“Done”**, no additional information needs to be filled out or furnished.
- See **Exhibits** for Watershed Management Zones, Basins, & Urban Sustainability Areas
- Use **“n/a”** where information requested is not applicable.

Project Information

Step 1

Applicant Name:	Corporation for Better Housing (c/o Matt Walsh at Rick Engineering Company)		
Application No:	PLN-2014-1522		
Project Name:	Atascadero Family Apartments		
Project Address:	9355 Avenida Maria		
Project APN:	045-321-021 and 045-321-020		
Project Type: ✓	<input type="checkbox"/>	Commercial	<input type="checkbox"/> Detached Single Family Residential
	<input type="checkbox"/>	Industrial	<input checked="" type="checkbox"/> Multi-unit Residential
	<input type="checkbox"/>	Mixed Use	<input type="checkbox"/> Public
Project Phase:	One		
Project Description:	86 residential apartment units (60 units in Phase One, 26 units in Phase Two)		
Total Project Site Area =	156,755 sf		

Complete the area calculations below:

Areas		
(a)	Total New Impervious Surface Area =	114,400 sf
(b)	Total Replaced Impervious Surface Area =	0
(c)	Total Existing Impervious Area =	0
(d)	Total Impervious Area of Completed Project =	114,400 sf
(e)	Net Impervious Area: (a+b) – (c-d) = OR where (c-d) is a negative number: (a+b) =	114,400 sf

Your project is NOT subject to Post Construction Requirements if...

Step 2

<input type="checkbox"/> Area (e) of project is < 2,500 square feet – Done, or,
<input type="checkbox"/> Area (e) of project is ≥ 2,500 square feet, and is a project type listed below (✓ type) – Done <ul style="list-style-type: none"> <input type="checkbox"/> Road & parking surface repair – slurry & fog & crack seal, pothole & spot patching, overlay & resurfacing & other damage repair with no expansion <input type="checkbox"/> Road & parking shoulder grading (no based or paved road shoulder) <input type="checkbox"/> Road & parking cleaning, repairing, maintaining, reshaping, regarding drainage systems <input type="checkbox"/> Sidewalk & bike path / lane project – no other impervious service created and runoff is directed to vegetated area <input type="checkbox"/> Curb & gutter improvement or replacement – no other impervious created <input type="checkbox"/> Underground utility project – surface replaced in kind <input type="checkbox"/> Utility vaults – Ex: lift stations, backflows <input type="checkbox"/> Fuel storage – above ground with spill containment <input type="checkbox"/> Photovoltaic systems – on existing impervious surface, over pervious surface with vegetated cover, buffer strip at the most down gradient row of panels <input type="checkbox"/> Second story – no increase in building footprint <input type="checkbox"/> Decks & stairs & walkways – raised with space below for drainage <input type="checkbox"/> Temporary structures – in place less than 6 months

Otherwise, your project is subject to the Post Construction Requirements – See City Drainage Standards, Section 5.

Project Site Details

- See Area calculations in Step 1 to compare to thresholds in each Step below
- Where directions state “Go To”, fill out and attach the referenced Form and any supporting documents

Step 3

Project is $\geq 2,500$ square feet
<input checked="" type="checkbox"/> Yes - Go To Requirement 1 – Site Design & Runoff Reduction - Form 1 AND THEN Go To Step 4

Step 4

Detached single family residential project where Area (e) is $\geq 15,000$ square feet OR other Project where Area (e) $\geq 5,000$ square feet
<input checked="" type="checkbox"/> Yes - Go To Requirement 2 – Water Quality Treatment - Form 2 AND THEN Go To Step 5
<input type="checkbox"/> No – Done

Step 5

Detached single family residential project where Area (e) $\geq 15,000$ square feet OR other Project where Area (a+b) $\geq 15,000$ square feet
Identify the Watershed Management Zone: Zone 1 See www.atascadero.org/stormwatermaps for Watershed Management Zone
<input checked="" type="checkbox"/> Yes - Go To Requirement 3 – Runoff Retention - Form 3 AND THEN Go To Step 6
<input type="checkbox"/> No – Done

Step 6

Project where Area (a+b) $\geq 22,500$ square feet AND is in Watershed Management Zone 1,2,3,6,9
<input checked="" type="checkbox"/> Yes - Go To Requirement 4 – Peak Management - Form 4
<input type="checkbox"/> No - Done

Requirement 1 – Site Design and Runoff Reduction:

Identify the strategies used to reduce runoff through site design. Strategies 1-5 required.

Describe or attach simple plan details for 1. – 5.

1. Limit disturbance of creeks and natural drainage features and setback development from these features.
No known disturbance of creeks and natural drainage features are proposed to my knowledge.
2. Minimize compaction of highly permeable soils
Soils within landscape areas and site areas of no disturbance will have minimal compaction.
3. Minimize clearing of native vegetation and grading, conserving natural areas and maximizing undisturbed areas, and developing along natural landforms.
The proposed grading parallels the natural terrain of the site to the extent feasible. Native vegetation and oak trees will be maintained and protected in place for 12,000 square feet of the site to conserve natural areas and maximize undisturbed areas.
4. Minimize impervious surfaces including roadways and parking lots
Impervious surfaces within the parking lot were kept at a minimum and the existing Avenida Maria will be utilized as the main access to the site.
5. Other (Optional): Identify strategy(s) and describe or show how it will be done in the project.
[Click here to enter text.](#)
6. Do **one** of the following: ✓
 - Direct roof run-off into cistern, rain barrel, or vegetated area
 - Direct driveway and/or parking area into vegetated area
 - Construct surfaces (bike lanes, walks, driveways, parking areas) with permeable surfaces

Requirement 2 – Water Quality Treatment:

(Reference Post Construction Stormwater Management Requirements for Development Projects in the Central Coast Region – Adopted July 12, 2013 California Regional Water Quality Control Board Central Coast Region – for details regarding requirements – Section B.3 and Section C. Alternative Compliance.)

Treatment

Location ✓ On Site Off Site - Alternative Compliance

Measure Used ✓ 1. Harvesting, infiltration, evapotranspiration
 2. Bio-filtration Treatment (*Document inability to use 1.*)
 3. Non-Retention Based Treatment (*Document inability to use 1. or 2.*)

Description of structural controls:

Water quality treatment will be accomplished by the use of bioretention areas with no subdrains. Stormwater will be infiltrated at the bottom of the bioretention area to the native soils. Additional storage and infiltration will be provided by an underground infiltration basin consisting of Stormtech chambers sized to capture the remaining design volume.

Alternative compliance measures:

[Click here to enter text.](#)

Attachments

- *Attach treatment/sizing calculations, including any volume treated with off-site compliance.*
- *Attach construction and planting details and specifications for bio-filtration options*
- *Attach documentation regarding Treatment Measure selection*
- *Attach infeasibility analysis where alternative compliance is proposed.*

Certification

I Matt Walsh certify that the systems selected and sized, as demonstrated in the attached calculations, meet the Water Quality Treatment required for this project per the Post Construction Requirements adopted by the Central Coast Regional Water Quality Control Board. Where identified in the attached documentation, Water Quality Treatment will be met through alternative compliance.

4/27/2015

Signature

Date

Requirement 3 – Runoff Retention:

(Reference Post Construction Stormwater Management Requirements for Development Projects in the Central Coast Region – Adopted July 12, 2013 California Regional Water Quality Control Board Central Coast Region – for details regarding requirements – Section B.4 and Section C. Alternative Compliance.)

- *If a revision to the site’s Watershed Management Zone is being requested, attach Watershed Management Revision Request Form (Exhibit) and supporting documentation.*
- *Rainfall maps are available from the Regional Water Quality Control Board*

Site Assessment Measures Summary

- Attach documentation of the following information:
 - Site topography
 - Development envelope
 - Hydrologic features including natural areas, wetlands, watercourses, seeps, springs, and required setbacks
 - Vegetative cover including trees
 - Open space requirements
 - Location of groundwater wells used for drinking water
 - Depth to seasonal high groundwater
 - Soil types and hydrologic soil groups
 - Depth to impervious layer such as bedrock
 - Presence of unique geology (e.g. karst)
 - Geotechnical hazards
 - Existing structures, utilities, and drainage infrastructure including municipal storm drain system components
 - Existing easements and covenants
 - Documented soil or groundwater contamination
 - Source and estimated stormwater run-on from offsite, coming to project area
 - Drainage Management Areas (B.4.d.iii)
 - Drainage management strategies by Drainage Management Area
 - Runoff reduction measures and any structural control measures by Drainage Management Area (or full site as appropriate)
- Technical infeasibility limits on-site compliance
 - 10% of equivalent impervious surface area is dedicated to retention based stormwater control measures – No alternative compliance for retention
Runoff volume - compliance not achieved on-site:
 - Alternative compliance for retention proposed
Runoff volume – compliance not achieved onsite:
Runoff volume – alternative compliance used:

Analysis and Sizing

- Attach calculated Tributary Areas and Design Volumes per the Post Construction Stormwater Management Requirements – Attachment D
 - Adjustment made for redevelopment
 - Adjustment made for being in, and meeting requirements of, an Urban Sustainability Area

Control Mechanism**Site in Zone 1**

- 95th percentile event retained via infiltration
- Finding of technical infeasibility – Structural Stormwater Measure proposed

Site in Zone 2

- 95th percentile event retained via storage, harvesting, infiltration, and/or evapotranspiration
- Finding of technical infeasibility – Structural Stormwater Measure proposed

Site in Zone 3

- See Public Works

Site in Zone 4

- 95th percentile event retained via infiltration overlying Groundwater Basin
- Finding of technical infeasibility – Structural Stormwater Measure proposed

Site in Zone 5

- 85th percentile event retained via infiltration
- Finding of technical infeasibility – Structural Stormwater Measure proposed

Site in Zone 7

- 95th percentile event retained via infiltration overlying Groundwater Basin
- Finding of technical infeasibility – Structural Stormwater Measure proposed

Site in Zone 9

- 85th percentile event retained via storage, harvesting, infiltration, and/or evapotranspiration
- Finding of technical infeasibility – Structural Stormwater Measure proposed

Site in Zone 10

- 95th percentile event retained via infiltration overlying Groundwater Basin
- Finding of technical infeasibility – Structural Stormwater Measure proposed

Attachments (Select the appropriate attachment consistent with the project requirements)

- *Attach calculations for hydrologic analysis and stormwater control measure sizing*
- *Attach discussion of technical infeasibility for structural stormwater measure, where proposed in lieu of preferred storage, harvesting, infiltration, and/or evapotranspiration, include justification for any non-retention based controls*
- *Attach documentation of technical infeasibility for on-site compliance, including a site specific hydrologic and/or design analysis supporting findings*
- *Attach description of alternative compliance project including a summary description of pollutant and flow reduction comparing the expected aggregate results of the alternate project to the results that would otherwise have been achieved by meeting the numeric performance requirements onsite.*
- *Attach calculations for retention requirement adjustment for technical infeasibility*
- *Attach calculations for off-site retention requirements*
- *Attach agreement for alternative compliance site use, for purposes of achieving compliance*
- *Attach Operations and Maintenance Plan for all stormwater control measures (include any Peak Management facilities)*

Post-Construction Owner Identification

At the time of completion of the construction work, and the shift to post-construction stormwater controls, the below listed owner is responsible for Operations and Maintenance of stormwater control measures:

Click here to enter text.

(If responsibilities are divided, list all responsible owners and associated measures.)

Certification

I Matt Walsh certify that the systems selected, sized, and designed as demonstrated in the attached calculations, meet the Runoff Retention Performance Requirement for this project per the Post Construction Requirements adopted by the Central Coast Regional Water Quality Control Board. Where identified in the attached documentation, Runoff Retention will be met through alternative compliance.



4/27/2015

Signature

Date

Requirement 4 – Peak Management

(Reference Post Construction Stormwater Management Requirements for Development Projects in the Central Coast Region – Adopted July 12, 2013 California Regional Water Quality Control Board Central Coast Region – for details regarding requirements – Section B.5)

Show any stormwater control measures used to meet the requirements of this section, **in the documentation and attachments required for Retention (Form 3)**, including in all mapping and Operations and Maintenance materials.

Peak Management Compliance

- Post-development peak flows, discharged from the site, do not exceed pre-project peak flows for the 2 through 10 years storm events.
- Technical infeasibility limits on-site compliance
 - Alternative compliance for retention proposed
 - Runoff volume – compliance not achieved onsite:
 - Runoff volume – alternative compliance used:

Attachments

- Attach calculations showing pre-project discharge and post-project discharge for the 2 through 10 year storm events
- Attach documentation of technical infeasibility for on-site compliance, including a site specific hydrologic and/or design analysis supporting findings
- Attach description of alternative compliance project including a summary description of pollutant and flow reduction comparing the expected aggregate results of the alternate project to the results that would otherwise have been achieved by meeting the numeric performance requirements onsite.
- Attach agreement for alternative compliance site use, for purposes of achieving compliance

Post-Construction Owner Identification

At the time of completion of the construction work, and the shift to post-construction stormwater controls, the below listed owner is responsible for Operations and Maintenance of the peak management control measures:

(If responsibilities are divided, list all responsible owners and associated measures.)

Certification

I Matt Walsh certify that the systems selected, sized, and designed as demonstrated in the attached calculations, meet the Peak Management requirements for this project per the Post Construction Requirements adopted by the Central Coast Regional Water Quality Control Board. Where identified in the attached documentation, Peak Management will be met through alternative compliance.

4/25/2015

Signature

Date

Attachments:

Stormwater Control Measure Sizing Calculations (Central Coast Region Calculator v 2/26/2014)

Peak Flow Management Calculations

Maps of Rainfall for Design Storm Event

Plans and Details

Hydrologic Soil Type Information

Seasonal Groundwater Elevation Information from Soils Report

Central Coast Region Stormwater Control Measure Sizing Calculator

Version: 2/26/2014

1. Project Information

Project name:	Atascadero Family Apartments	
Project location:	Atascadero, CA	
Tier 2/Tier 3:	Tier 2 - Treatment	
Design rainfall depth (in):	1.9	
Total project area (ft²):	156754	
Total new impervious area (ft ²):	114401	
Total replaced impervious in a USA (ft ²):		
Total replaced impervious not in a USA (ft ²):		
Total pervious/landscape area (ft ²):	42353	

2. DMA Characterization

Name	DMA Type	Area (ft ²)	Surface Type	New, Replaced?	Connection
1	Drains to SCM	7298	Landscape	New	Bio Retention 1
1	Drains to SCM	5943	Roof	New	Bio Retention 1
1	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 1
1	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 1
2	Drains to SCM	3760	Landscape	New	Bio Retention 2
2	Drains to SCM	9200	Roof	New	Bio Retention 2
2	Drains to SCM	564	Concrete or asphalt	New	Bio Retention 2
2	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 2
3	Drains to SCM	6659	Landscape	New	Bio Retention 3
3	Drains to SCM	5904	Roof	New	Bio Retention 3
3	Drains to SCM	3588	Concrete or asphalt	New	Bio Retention 3
3	Drains to SCM	23653	Concrete or asphalt	New	Bio Retention 3
4	Drains to SCM	1739	Landscape	New	Bio Retention 4
4	Drains to SCM	0	Roof	New	Bio Retention 4
4	Drains to SCM	392	Concrete or asphalt	New	Bio Retention 4
4	Drains to SCM	17602	Concrete or asphalt	New	Bio Retention 4
5	Drains to SCM	2435	Landscape	New	Bio Retention 5
5	Drains to SCM	3527	Roof	New	Bio Retention 5
5	Drains to SCM	767	Concrete or asphalt	New	Bio Retention 5
5	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 5
6	Drains to SCM	4868	Landscape	New	Bio Retention 6
6	Drains to SCM	9992	Roof	New	Bio Retention 6
6	Drains to SCM	516	Concrete or asphalt	New	Bio Retention 6
6	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 6
7	Drains to SCM	7907	Landscape	New	Bio Retention 7
7	Drains to SCM	5826	Roof	New	Bio Retention 7
7	Drains to SCM	8987	Concrete or asphalt	New	Bio Retention 7
7	Drains to SCM	11697	Concrete or asphalt	New	Bio Retention 7
8	Drains to SCM	2729	Landscape	New	Bio Retention 8
8	Drains to SCM	5979	Roof	New	Bio Retention 8
8	Drains to SCM	264	Concrete or asphalt	New	Bio Retention 8
8	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 8

DMA Summary Area

Total project impervious area (ft ²):	114401
New Impervious area (ft ²):	114401
Replaced impervious within a USA (ft ²):	0
Replaced impervious not in a USA (ft ²):	0

Total pervious/landscape area (ft²): 37395

3. SCM Characterization

Name	SCM Type	Safety Factor	SCM Soil Type	Infiltr. Rate (in/hr)	Area (ft ²)
Bio Retention 1	Bioretention	1	HSG A/B	0.75	310
Bio Retention 2	Bioretention	1	HSG A/B	0.75	430
Bio Retention 3	Bioretention	1	HSG A/B	0.75	1386
Bio Retention 4	Bioretention	1	HSG A/B	0.75	755
Bio Retention 5	Bioretention	1	HSG A/B	0.75	199
Bio Retention 6	Bioretention	1	HSG A/B	0.75	449
Bio Retention 7	Bioretention	1	HSG A/B	0.75	1101
Bio Retention 8	Bioretention	1	HSG A/B	0.75	328

4. Run SBUH Model

5. SCM Minimum Sizing Requirements

SCM Name	Minimum SCM Area (ft ²)		
Bio Retention 1	267		
Bio Retention 2	406		
Bio Retention 3	1352		
Bio Retention 4	727		
Bio Retention 5	182		
Bio Retention 6	440		
Bio Retention 7	1092		
Bio Retention 8	261		

6. Self-Retaining Area Sizing Checks

Self-Retaining DMA Name	Self-Retaining DMA Area (ft ²)	Tributary DMA Name	Tributary DMA Area (ft ²)	Tributary / SRA Area Ratio

Central Coast Region Stormwater Control Measure Sizing Calculator

Version: 2/26/2014

1. Project Information

Project name:	Atascadero Family Apartments	
Project location:	Atascadero, CA	
Tier 2/Tier 3:	Tier 3 - Retention	
Design rainfall depth (in):	1.9	
Total project area (ft²):	156754	
Total new impervious area (ft ²):	114401	
Total replaced impervious in a USA (ft ²):		
Total replaced impervious not in a USA (ft ²):		
Total pervious/landscape area (ft ²):	42353	

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1	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 1
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2	Drains to SCM	9200	Roof	New	Bio Retention 2
2	Drains to SCM	564	Concrete or asphalt	New	Bio Retention 2
2	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 2
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3	Drains to SCM	3588	Concrete or asphalt	New	Bio Retention 3
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7	Drains to SCM	7907	Landscape	New	Bio Retention 7
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7	Drains to SCM	8987	Concrete or asphalt	New	Bio Retention 7
7	Drains to SCM	11697	Concrete or asphalt	New	Bio Retention 7
8	Drains to SCM	2729	Landscape	New	Bio Retention 8
8	Drains to SCM	5979	Roof	New	Bio Retention 8
8	Drains to SCM	264	Concrete or asphalt	New	Bio Retention 8
8	Drains to SCM	0	Concrete or asphalt	New	Bio Retention 8

DMA Summary Area

Total project impervious area (ft ²):	114401
New impervious area (ft ²):	114401
Replaced impervious within a USA (ft ²):	0
Replaced impervious not in a USA (ft ²):	0

Total pervious/landscape area (ft²): 37404

3. SCM Characterization

Name	SCM Type	Safety Factor	SCM Soil Type	Infiltr. Rate (in/hr)	Area (ft ²)
Bio Retention 1	Bioretention	1	HSG A/B	0.75	310
Bio Retention 2	Bioretention	1	HSG A/B	0.75	430
Bio Retention 3	Bioretention	1	HSG A/B	0.75	1386
Bio Retention 4	Bioretention	1	HSG A/B	0.75	755
Bio Retention 5	Bioretention	1	HSG A/B	0.75	190
Bio Retention 6	Bioretention	1	HSG A/B	0.75	449
Bio Retention 7	Bioretention	1	HSG A/B	0.75	1101
Bio Retention 8	Bioretention	1	HSG A/B	0.75	328

4. Run SBUH Model

5. SCM Minimum Sizing Requirements

SCM Name	Min. Required Storage Vol. (ft ³)	Depth Below Underdrain (ft)	Drain Time (hours)	* ACTUAL STORAGE VOL. (ft ³)	REMAINING VOL. TO STORAGE (ft ³)
Bio Retention 1	574	4.63	29.6	372	202
Bio Retention 2	914	5.31	34.0	516	398
Bio Retention 3	3098	5.59	35.8	1,663	1,435
Bio Retention 4	1654	5.48	35.0	906	748
Bio Retention 5	412	5.42	34.7	239	173
Bio Retention 6	1009	5.62	36.0	539	470
Bio Retention 7	2520	5.72	36.6	1,321	1,199
Bio Retention 8	535	4.08	26.1	394	141
TOTAL:	10,716			5,950	4,766

6. Self-Retaining Area Sizing Checks

Self-Retaining DMA Name	Self-Retaining DMA Area (ft ²)	Tributary DMA Name	Tributary DMA Area (ft ²)	Tributary / SRA Area Ratio

* NOTE: BIORETENTION AREAS ARE LIMITED TO 3' DEPTH OF ROCK LAYER DUE TO SITE CONSTRAINTS.

EXAMPLE CALCULATION FOR BIORGT. 1

$A = 310 \text{ ft}^2$
 Depth of rock = 3 ft (typ.) @ 40% porosity
 $\text{Vol.} = 310 \text{ ft}^2 \times 3 \text{ ft.} \times 0.40 = 372 \text{ ft}^3$
 MIN. REQ = 574 ft³
 REMAINING VOL. = $574 \text{ ft}^3 - 372 \text{ ft}^3 = \underline{\underline{202 \text{ ft}^3}}$

MC-4500 Site Calculator

Project Information:

Project Name: Atascadero Family Apartments
 Location: Atascadero, CA
 Date: 4/24/2015
 Engineer:
 StormTech RPM:

System Requirements

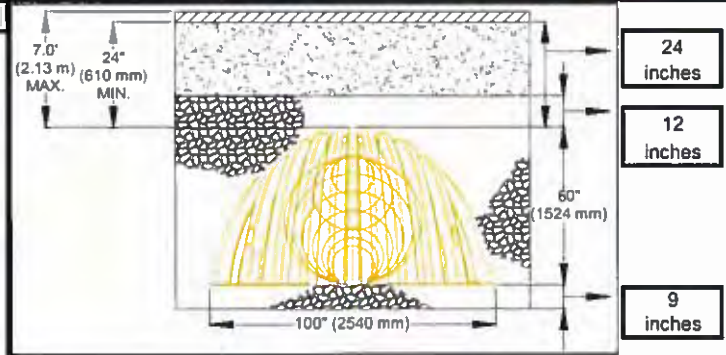
Units		
Required Storage Volume		CF
Stone Porosity (Industry Standard = 40%)		%
Stone Above Chambers (12 inch min.)		inches
Stone Foundation Depth (9 inch min.)		inches
Average Cover over Chambers (24 inch min.)		inches
Bed size controlled by WIDTH or LENGTH?		
Limiting WIDTH or LENGTH dimension		feet
Storage Volume per Chamber	162.6	CF
Storage Volume per End Cap	108.6	CF

System Sizing

Number of Chambers Required	27	each
Number of End Caps Required	4	each
Bed Size (including perimeter stone)	1,178	square feet
Stone Required (including perimeter stone)	259	tons
Volume of Excavation	338	cubic yards
Non-woven Filter Fabric Required (20% Safety Factor)	463	square yards
Length of Isolator Row	63.5	feet
Woven Isolator Row Fabric (20% Safety Factor)	174	square yards
Installed Storage Volume	4,825	cubic feet

Controlled by Width (Rows)

Maximum Width =	25	feet
1 row of	14	chambers
1 row of	13	chambers
Maximum Length =	63.5	feet
Maximum Width =	19.4	feet



24 inches
 12 inches
 9 inches

CALCULATIONS FOR 50 YEAR STORM RETENTION VOLUME

Project: Atascadero Apartments
Date: 02/03/2015

Tributary Areas & Runoff Coefficients

Type	C*	Area (sf)	CxA
Building	1	2,395	2,395
Pavement	1	0	0
Hardscape	1	0	0
Open Space	0.22	167,891	36,936
Total	n/a	170,286	39,331
Composite C (Total CxA/ Total Area)			0.23
Percent Impervious			1.41%

Type	C*	Area (sf)	CxA
Building	1	44,940	44,940
Pavement	1	51,538	51,538
Hardscape	1	14,879	14,879
Open Space	0.22	56,807	12,498
Total	n/a	168,164	123,855
Composite C (Total CxA/ Total Area)			0.74
Percent Impervious			66.22%

*C values obtained from Atascadero Engineering Department Standard Specs and Drawings, dated 03/06/14, page 40. Hydrologic Soil Group
C Per USDA Web Soil Survey
Note: See Hydrology Exhibits Attached.

Time of Concentration (Kirpich's Equation)

$$T_c = ((11.9 * L^3) / H)^{0.385}$$

T_c = time of concentration in hours

L = length of channel in miles

H = Elevation at top of watershed (H₂) - Elevation at bottom of watershed (H₁)

L (miles)	H ₂	H ₁	H (feet)	Avg Slope	T _c (min)
0.02	445	430	15	2.16%	0.60

use 10 min

L (miles)	H ₂	H ₁	H (feet)	Avg Slope	T _c (min)
0.02	443.16	430.88	12.28	1.07%	0.65

use 10 min

T_c per Kirpich's Equation on City Standard 505 attached.

Flow Rate and Volume

Q = C x i x A (rational method; C-dimensionless; i-inches/hour; A-acres)

2 Year Pre-Development C 0.23

Pre-Development Tc = 10 minutes = 0.167 hours

Pre-Development i₂ = 1.7 inches per hour

50 Year Post-Development C value 0.74

Tributary Area 3.60 acres

2 Year Pre Development

Duration	i _{2yr}	Q _{2yr}	Volume
hours	in/hr	cfs	ft ³
0.167	1.7	1.41	857
0.25	1.7	1.53	1388
0.33333	1.7	1.53	1851
0.4167	1.7	1.53	2314
0.5	1.7	1.53	2777
0.583	1.7	1.53	3238
0.67	1.7	1.53	3721
0.75	1.7	1.53	4165
0.83	1.7	1.53	4610
0.916	1.7	1.53	5087
1	1.7	1.53	5554
1.25	1.7	1.53	6942
1.5	1.7	1.53	8331
1.75	1.7	1.53	9719
2	1.7	1.53	11108
2.5	1.7	1.53	13885
3	1.7	1.53	16662
3.5	1.7	1.53	19439
4	1.7	1.53	22216
4.5	1.7	1.53	24993
5	1.7	1.53	27770
6	1.7	1.53	33323
7	1.7	1.53	38877
8	1.7	1.53	44431
9	1.7	1.53	49985
10	1.7	1.53	55539

50 Year Post Development

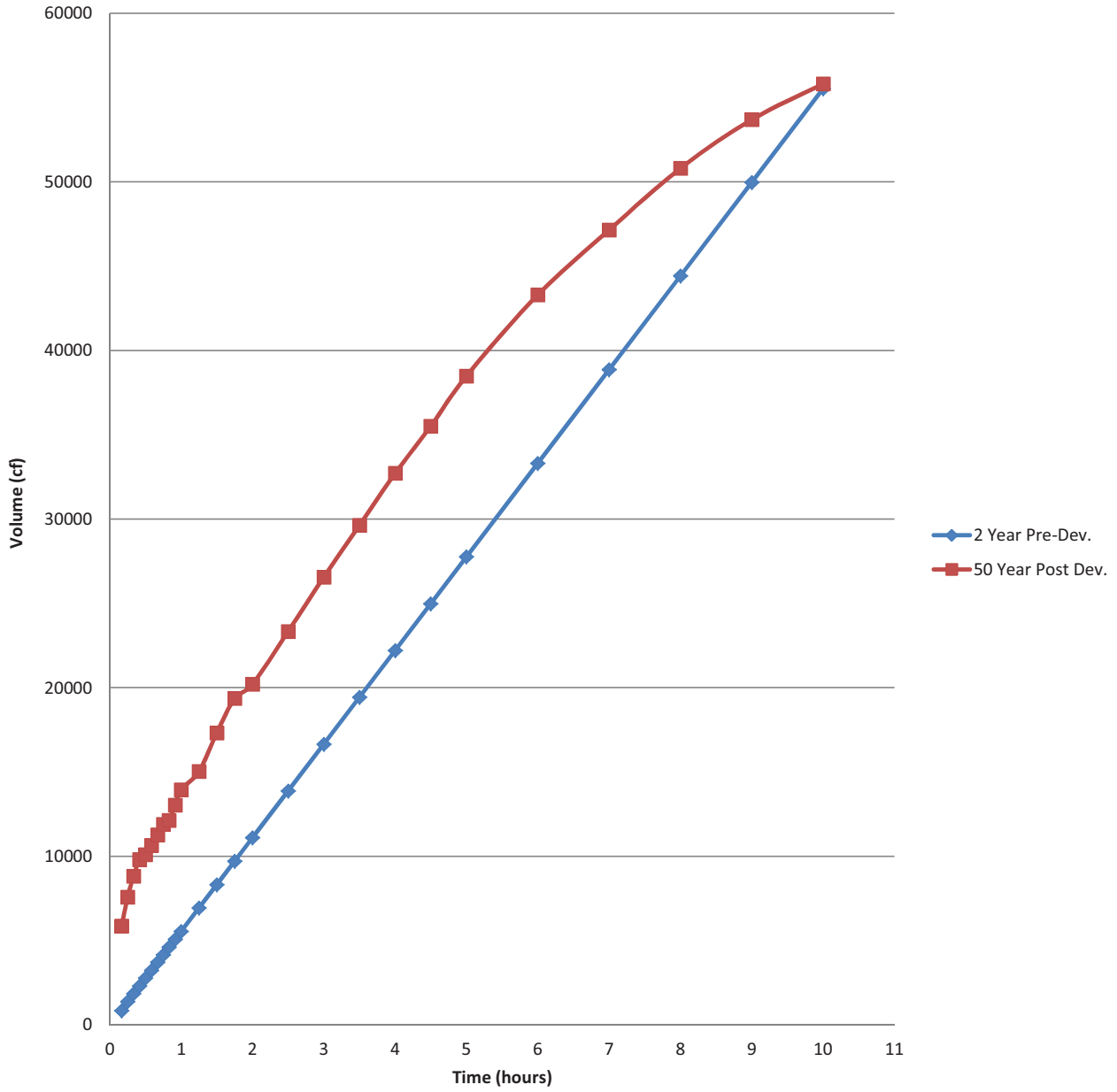
Duration	i _{50yr}	Q _{50yr}	Volume	Δ Volume
hours	in/hr	cfs	ft ³	ft ³
0.167	3.65	9.68	5867	5010
0.25	3.15	8.35	7579	6191
0.33333	2.75	7.29	8823	6971
0.4167	2.45	6.50	9826	7512
0.5	2.1	5.57	10106	7329
0.583	1.9	5.04	10661	7423
0.67	1.75	4.64	11285	7564
0.75	1.65	4.37	11911	7745
0.83	1.52	4.03	12143	7533
0.916	1.48	3.92	13048	7961
1	1.45	3.84	13956	8402
1.25	1.25	3.31	15039	8096
1.5	1.2	3.18	17324	8994
1.75	1.15	3.05	19370	9650
2	1.05	2.78	20212	9104
2.5	0.97	2.57	23340	9455
3	0.92	2.44	26564	9903
3.5	0.88	2.33	29644	10205
4	0.85	2.25	32724	10508
4.5	0.82	2.17	35515	10523
5	0.8	2.12	38499	10729
6	0.75	1.99	43311	9988
7	0.7	1.86	47161	8284
8	0.66	1.75	50819	6387
9	0.62	1.64	53706	3721
10	0.58	1.54	55823	284

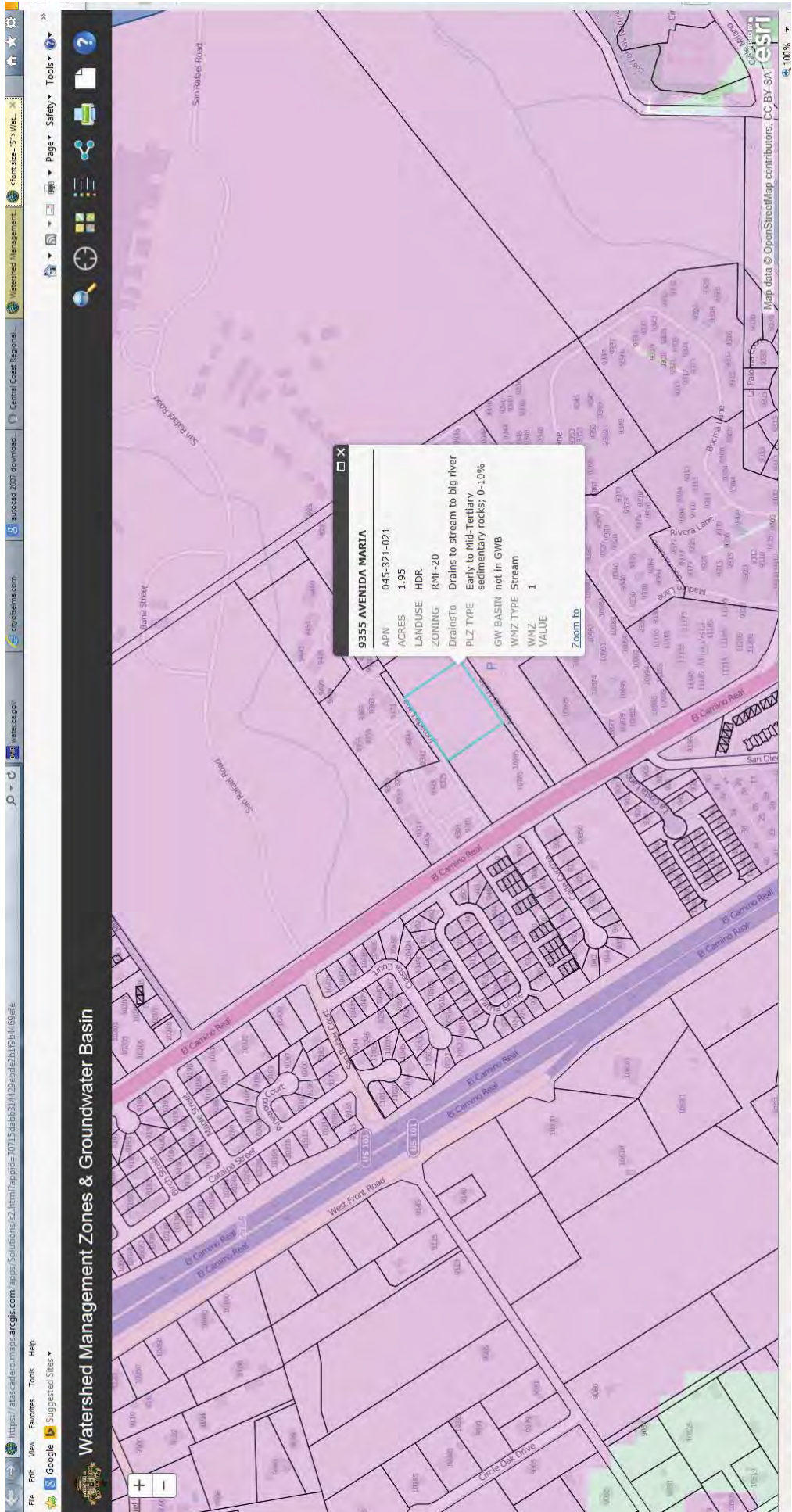
MAX

50 Year Storm Retention Volume 10,729 cf

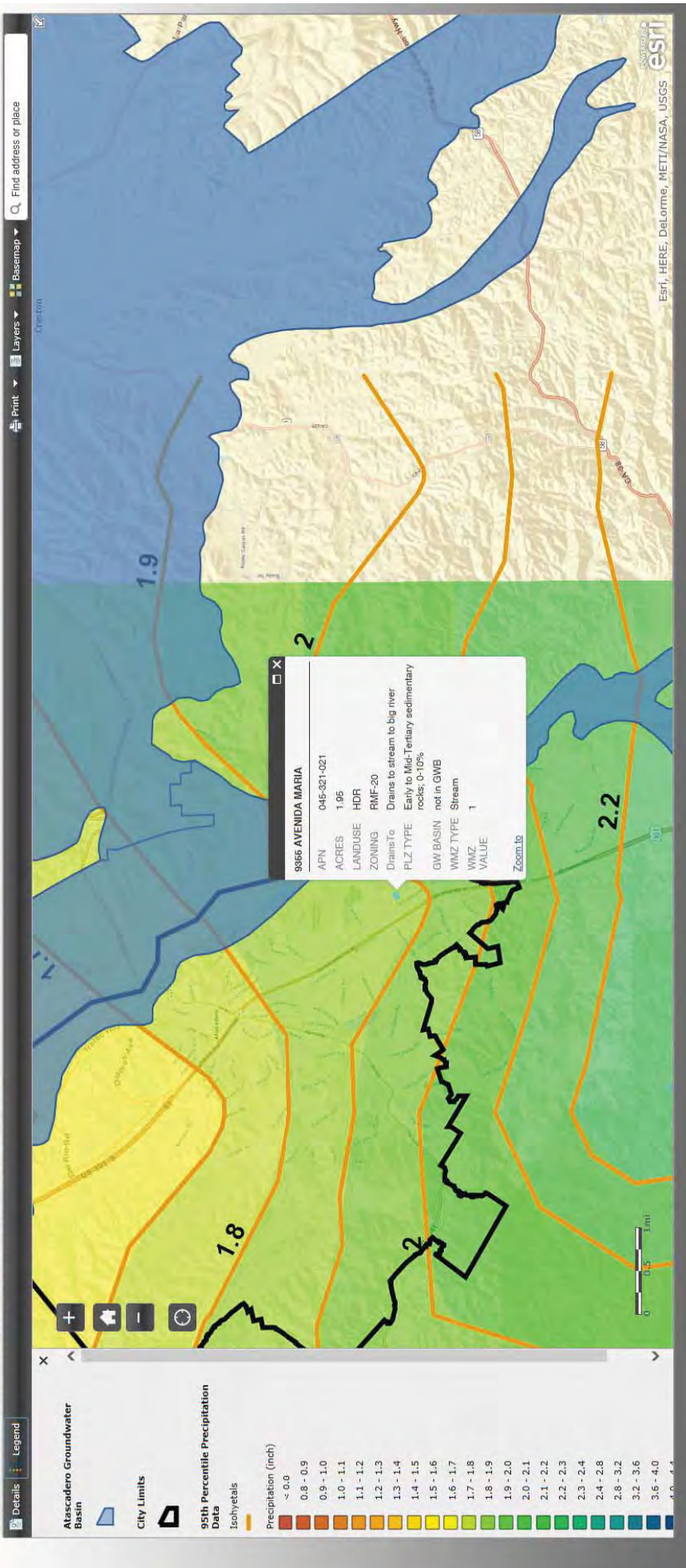
Note: Rainfall intensity, i, was obtained from City Standard 507

50 Year Post-Development Storm Event vs 2 Pre-Development Year Storm Event





Atascadero 24-hour Rainfall Depth Map



NO.	DATE	REVISIONS

811 Know what's below.
Call 811 before you dig.

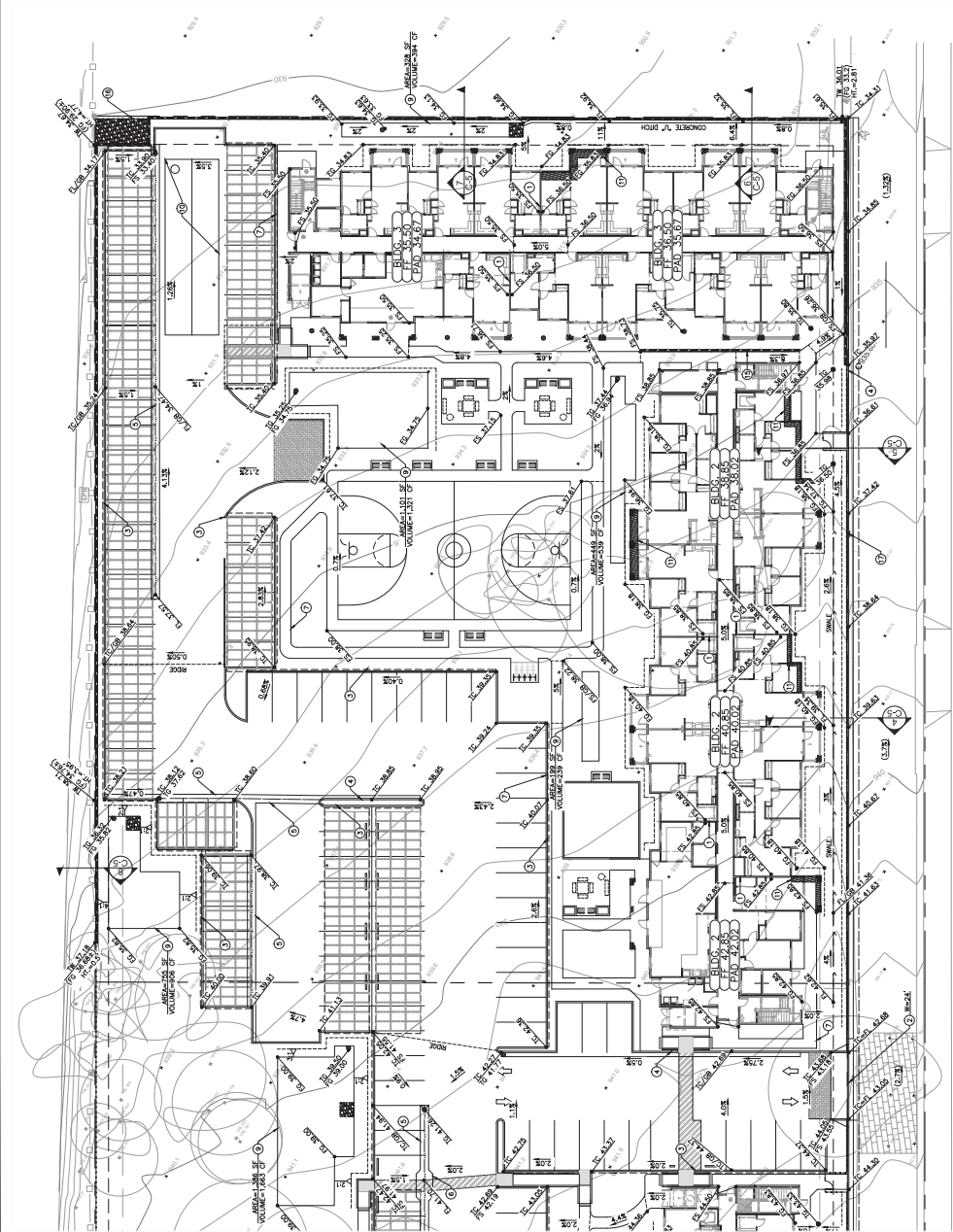
NOTE: UTILITIES SHOWN ARE LOCATED FROM EXISTING EVIDENCE AND PLANS DERIVED FROM PUBLIC RECORDS. EXACT LOCATIONS AND DEPTHS ARE NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE ANY EXCAVATION OR OTHER WORK IS PERFORMED. UTILITIES ARE SHOWN AS LOCATED. UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CORPORATION FOR BETTER HOUSING
ATASCADERO FAMILY APARTMENTS

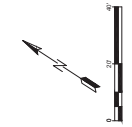


DESIGNED BY: [Name]
CHECKED BY: [Name]
DATE: 4/24/2015

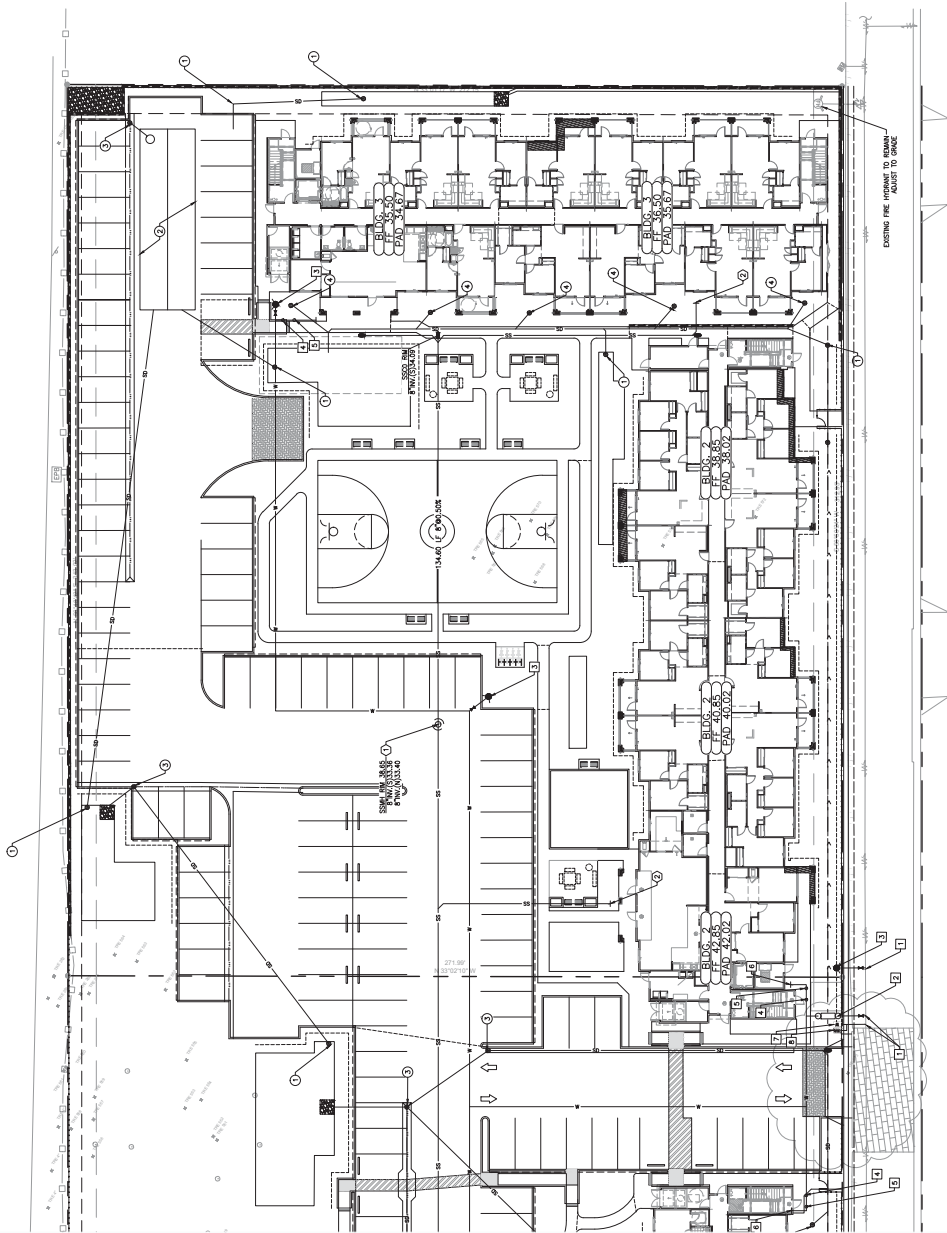
PRELIMINARY GRADING & DRAINAGE PLAN
C-2
SHEET



- GRADING KEY NOTES**
- 1 FINISH FLOOR STEP, SLOPED HALWAYS. SEE ARCHITECTURAL PLANS.
 - 2 DRIVEWAY APPROACH PER MODIFIED CITY STD. 423 (WIDTH PER PLAN).
 - 3 TYPE "C" VERTICAL CURB PER CITY STD. 418 (CURB HEIGHT=47").
 - 4 TYPE "X" CURB AND GUTTER PER CITY STD. 418 (CURB HEIGHT=6", GUTTER FINISH=47").
 - 5 3" WIDE STANDARD VALLEY GUTTER PER DETAIL ON SHEET C-5.
 - 6 6" WIDE ADA ACCESSIBLE VALLEY GUTTER PER DETAIL ON SHEET C-5.
 - 7 SIDEWALK PER CITY STD. 419 (WIDTH PER PLAN).
 - 8 MATCH EXISTING SLOPES & CONFORM TO MATCH EXISTING IMPROVEMENTS.
 - 9 INfiltration BASIN, MC-4200 CHAMBER SYSTEM, PER DETAIL ON SHEET C-5 (CAPTURE VOLUME PER PLAN).
 - 10 PERMEABLE PAVEMENT SHALL BE USED TO MATCH EXISTING PAVEMENT TYPE UNLESS OTHERWISE NOTED TO BE DIFFERENT.
 - 11 LIMIT OF EXPOSED FOOTING (HATCHED AREA), SEE ARCHITECTURAL PLANS.
 - 12 CURB CHECK DAM PER DETAIL ON SHEET C-5.
- GRADING KEY NOTES (CONT.)**
- 13 CURB RAMP GAGE "X" PER CALTRANS STD. 406 (100 SF OF R.O.W. TO BE DEDICATED).
 - 14 GATE FOR EMERGENCY ACCESS ONLY (SEE ARCHITECTURAL PLANS FOR DETAILS).
 - 15 PEDESTRIAN RAMP WITH HANDRAILS.
 - 16 STORM DRAINAGE SHALL BE IN COMPLIANCE WITH THE DESIGN OF 50 YEAR STORM AND 95 PERCENTILE STORM EVENTS.
 - 17 NO PARKING SIGN.
- GENERAL NOTES**
- SEE EXISTING GRADING, UTILITIES AND REPORTS ON UTILITY PLAN.
ALL CLEARING, GRADING, SITE PREPARATION, OVER-CONCRETE, EXCAVATION, DRAINAGE, AND UTILITIES SHALL BE IN COMPLIANCE WITH THE PROPOSED ELEVATIONS SHALL HAVE 90% RISE TO THEM TO REFLECT TRUE ELEVATIONS RELATED TO THE PROJECT BENCHMARK. PLANT ELEVATIONS WERE SIMPLIFIED FOR CLARITY.



SEE SHEET C-3 FOR CONTINUATION



WATER KEY NOTES

- 1 THE 1" IRRIGATION METER MAIN MAINTAIN 2" MIN. SEPARATION BETWEEN CONNECTIONS.
- 2 DOUBLE DETECTOR CHECK BACKFLOW DEVICE.
- 3 THE 4" DOMESTIC METER SHALL BE INSTALLED IN CONFORMANCE WITH ATASCADERO MUNICIPAL WATER DEPARTMENT CITY STD. #16.6 CONNECTIONS SHALL BE MADE TO THE 4" METER.
- 4 POST BACKFLOW VALVE (PBV).
- 5 FIRE WATER SERVICE CONNECTION (FWC).
- 6 FIRE WATER SERVICE SEE ME.P. PLANS FOR CONTINUATION WITHIN 4' OF BUILDING TO FIRE RISER ROOM.
- 7 4" DOMESTIC WATER METER WITH COMPARISON STOP.
- 8 1" IRRIGATION WATER METER WITH COMPARISON STOP.
- 9 BACKFLOW DEVICE ON SERVICE SIDE OF IRRIGATION WATER METER.

SANITARY SEWER KEY NOTES

- 1 48" SANITARY SEWER MANHOLE PER CITY STD. 606 AND 608.
- 2 THE SEWER FOR BUILDING CONNECTION SEE ME.P. PLANS FOR CONTINUATION WITHIN 5' OF THE BUILDING.
- 3 THE 48" SANITARY SEWER MANHOLE SHALL BE INSTALLED IN CONFORMANCE WITH ATASCADERO MUNICIPAL WATER DEPARTMENT CITY STD. #16.6 CONNECTIONS SHALL BE MADE TO THE 48" MANHOLE.

STORM DRAIN KEY NOTES

- 1 OVERFLOW DRAIN FOR RETENTION AREA SEE SHEETS C-1, C-2, AND C-3.
- 2 INFLUENT BASIN, STORMTECH MC-3000 CHAMBER SYSTEM SEE SHEETS C-1, C-2, AND C-3.
- 3 48" STORM DRAIN WITH 150 RATED GRID (W/POST OR EQUIVALENT).
- 4 48" STORM DRAIN WITH 150 RATED GRID (W/POST OR EQUIVALENT).
- 5 48" STORM DRAIN WITH 150 RATED GRID (W/POST OR EQUIVALENT).

GENERAL UTILITY NOTES:
 1. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES AT POINTS OF CONNECTION AND PROVIDED UTILITY RECORDS BY THE CITY AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY ALL CONTACTS OR INTERFERENCES IN THESE PLANS AND ACTUAL FIELD INFORMATION.
 2. PROPOSED ELEVATIONS SHALL HAVE BIDDY ADDED TO THEM TO REFLECT THE PROPOSED ELEVATIONS. THE CONTRACTOR SHALL VERIFY THE PROJECT ELEVATIONS. TURN ELEVATIONS HERE SHOWN FOR CLARITY.

NO.	DATE	REVISIONS

ATASCADERO FAMILY APARTMENTS
 CORPORATION FOR BETTER HOUSING



DESIGNED BY: [Name]
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 4/24/2015

PRELIMINARY COMPOSITE UTILITY PLAN
 SHEET C-4



Contact Us | Subscribe | Archived Soil Surveys | Soil Survey Status | Glossary | Preferences | Link | Logout | Help

| A | A | A |

Area of Interest (AOI) | Soil Map | Soil Data Explorer | Download Soils Data | Shopping Cart (Free)

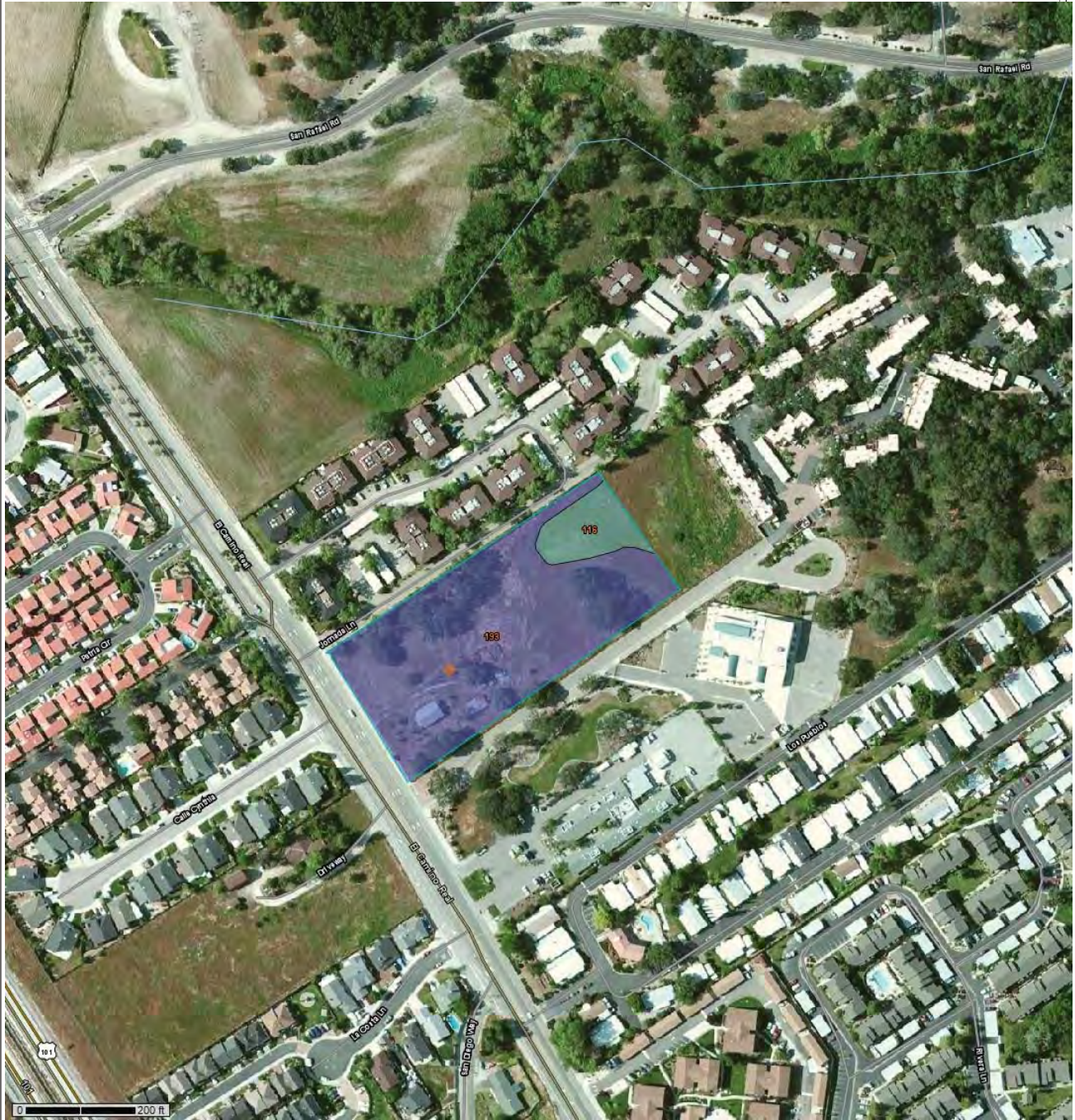
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Intro to Soils | Suitabilities and Limitations for Use | Soil Properties and Qualities | Ecological Site Assessment | Soil Reports

Map - Hydrologic Soil Group

Scale (not to scale)



Warning: Soil Ratings Map may not be valid at this scale.

You have zoomed in beyond the scale at which the soil map for this area is intended to be used. Mapping of soils is done at a particular scale. The soil surveys resulting soil map are dependent on that map scale. Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not

Search

◀ ▶ Clear Search ?

Basic Search

Enter keywords

Advanced Search

◀ ▶ Clear Search ?

"El Camino Real, Atascadero, CA": No match.

Properties and Qualities Ratings

Open All Close All ?

Soil Chemical Properties ?

Soil Erosion Factors ?

Soil Physical Properties ?

Soil Qualities and Features

AASHTO Group Classification (Surface)

Depth to a Selected Soil Restrictive Layer

Depth to Any Soil Restrictive Layer

Drainage Class

Frost Action

Frost-Free Days

Hydrologic Soil Group

View Description View Rating

View Options

Map

Table

Description of Rating

Rating Options Detailed Description

Advanced Options

Aggregation Method

Component Percent Cutoff

Tie-break Rule Lower Higher

View Description View Rating

Map Unit Name

Parent Material Name

Representative Slope

Unified Soil Classification (Surface) ?

Water Features ?

Tables – Hydrologic Soil Group – Summary By Map Unit

Summary by Map Unit – San Luis Obispo County, California, Paso Robles Area (CA665)

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
116	Botella sandy loam, 2 to 9 percent slopes	C	0.4	11.0%
193	San Andreas-Arujo complex, 9 to 15 percent slopes	B	3.3	89.0%
Totals for Area of Interest California, Paso Robles Area (CA665)			3.7	100.0%

Description – Hydrologic Soil Group

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options – Hydrologic Soil Group

Aggregation Method: Dominant Component

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

**GEOTECHNICAL ENGINEERING INVESTIGATION
PROPOSED ATASCADERO FAMILY APARTMENTS
10785 EL CAMINO REAL
ATASCADERO, CALIFORNIA**

**PROJECT NO. 012-14090
OCTOBER 14, 2014**

Prepared for:

**MR. JUSTIN HARDT
CORPORATION FOR BETTER HOUSING
5947 VARIEL AVENUE
WOODLAND HILLS, CALIFORNIA 91367**

Prepared by:

**KRAZAN & ASSOCIATES, INC.
GEOTECHNICAL ENGINEERING DIVISION
215 DAKOTA AVENUE
CLOVIS, CALIFORNIA 93612
(559) 348-2200**

October 14, 2014

KA Project No. 012-14090

Mr. Justin Hardt
Corporation for Better Housing
5947 Variel Avenue
Woodland Hills, California 91367

**RE: Geotechnical Engineering Investigation
Proposed Atascadero Family Apartments
10785 El Camino Real
Atascadero, California**


Dear Mr. Hardt:

In accordance with your request, we have completed a Geotechnical Engineering Investigation for the above-referenced site. The results of our investigation are presented in the attached report.

If you have any questions, or if we may be of further assistance, please do not hesitate to contact our office at (559) 348-2200.



Respectfully submitted,
KRAZAN & ASSOCIATES, INC.


David R. Jarosz, II.
Managing Engineer
RCE No. 60185/RGE No. 2698

DRJ:ht

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October 14, 2014

KA Project 012-14090

**GEOTECHNICAL ENGINEERING INVESTIGATION
PROPOSED ATASCADERO FAMILY APARTMENTS
10785 EL CAMINO REAL
ATASCADERO, CALIFORNIA**

INTRODUCTION

This report presents the results of our Geotechnical Engineering Investigation for the proposed Atascadero Family Apartments to be located at 10785 El Camino Real in Atascadero, California. Discussions regarding site conditions are presented herein, together with conclusions and recommendations pertaining to site preparation, Engineered Fill, utility trench backfill, drainage and landscaping, foundations, concrete floor slabs and exterior flatwork, retaining walls, soil cement reactivity, and pavement design.

A site plan showing the approximate boring locations is presented following the text of this report. A description of the field investigation, boring logs, and the boring log legend are presented in Appendix A. Appendix A contains a description of the laboratory-testing phase of this study, along with the laboratory test results. Appendices B and C contain guides to earthwork and pavement specifications. When conflicts in the text of the report occur with the general specifications in the appendices, the recommendations in the text of the report have precedence.

PURPOSE AND SCOPE

This investigation was conducted to evaluate the soil and groundwater conditions at the site, to make geotechnical engineering recommendations for use in design of specific construction elements, and to provide criteria for site preparation and Engineered Fill construction.

Our scope of services was outlined in our proposal dated July 22, 2014 (KA Proposal No. P365-14) and included the following:

- A site reconnaissance by a member of our engineering staff to evaluate the surface conditions at the project site.
- A field investigation consisting of drilling 6 borings to depths ranging from approximately 10 to 50 feet for evaluation of the subsurface conditions at the project site.
- Performing laboratory tests on representative soil samples obtained from the borings to evaluate the physical and index properties of the subsurface soils.

- Evaluation of the data obtained from the investigation and an engineering analysis to provide recommendations for use in the project design and preparation of construction specifications.
- Preparation of this report summarizing the results, conclusions, recommendations, and findings of our investigation.

PROPOSED CONSTRUCTION

We understand that design of the proposed development is currently underway; structural load information and other final details pertaining to the structures are unavailable. On a preliminary basis, it is understood the proposed development will include the construction of a multi-family residential development that will consist of 3 corridor buildings containing a total of eighty-six 2, 3, and 4-bedroom apartment units with associated clubhouse/community building and laundry room. Footing loads are anticipated to be light to moderate. On-site paved areas and landscaping are also planned for the development of the project.

In the event, these structural or grading details are inconsistent with the final design criteria, the Soils Engineer should be notified so that we may update this writing as applicable.

SITE LOCATION AND SITE DESCRIPTION

The site is rectangular in shape and covers approximately 4 acres. The site is located at the northeast corner of El Camino Real and Buena Fortuna in Atascadero, California. The site is predominately surrounded by residential developments. A commercial development is located southeast of the site.

Presently, the site is partially occupied by an existing rural residential development which includes a residence, several barns, sheds, and animal pens. Buried utility lines are associated with the existing development. The remainder of the site predominately consists of vacant land. Several trees are located throughout the site. Concrete curb, gutter and sidewalk are located along the southwest edge of the site. Concrete curbing and paved roads are located along the northwest and southeast edges of the site. The majority of the site is covered by a moderate weed growth and the surface soils have a loose consistency. The site is relatively level with approximately 15 feet of relief across the site.

GEOLOGIC SETTING

The site is located within the west-central portion of San Luis Obispo County in the southern portion of the Coast Ranges Geomorphic Province of California. The southern Coast Ranges extend from the San Francisco Bay in the north to the San Ynez River in the south. The eastern boundary of the Coast Ranges is the Central Valley and the western boundary extends offshore into the Pacific Ocean. The Coast Ranges are characterized by northwest-southeast trending mountain ranges and intervening valleys which are typically separated by faults.

The site is located on a gently sloping terrain between the Pine Mountains on the northeast and the Frog Pond Mountains on the southwest. The near-surface deposits in the vicinity of the subject site are indicated to be comprised of recent alluvium consisting of unconsolidated sands, silts, and clays derived

from erosion of the surrounding hills underlain by siliceous sedimentary rocks of the Miocene Age, and deposits of *diatomaceous earth* or *diatomite*. Diatomaceous earth or diatomite is a naturally occurring, soft, chalk-like sedimentary rock that is easily crumbled into a fine white to off-white powder. It consists of fossilized remains of diatoms, a type of a hard-shelled algae, resulting in an inert, lightweight, and finely porous material.

Numerous moderate to large earthquakes have affected the area of the subject site within historic time. Based on the proximity of several dominant active faults and seismogenic structures, as well as the historic seismic record, the area of the subject site is considered subject to moderate to high seismicity. According to the 2010 California Geological Survey, "Fault Activity Map of California" the site is located approximately 2 km west of the Rinconada Fault Zone. Other faults near the site included the Los Osos Fault and the Hosgri Fault located approximately 13 and 21 km, respectively, to the south and southwest; and the San Juan Fault and San Andreas Fault (Parkfield) located approximately 23 and 28 km, respectively, to the east. There are no active fault traces in the project vicinity. Accordingly, the project area is not within an Earthquake Fault Zone (Special Study Zone).

FIELD AND LABORATORY INVESTIGATIONS

Subsurface soil conditions were explored by drilling 6 borings to depths ranging from approximately 10 to 50 feet below existing site grade, using a truck-mounted drill rig. In addition, 2 bulk subgrade samples were obtained from the site for laboratory R-Value testing. The approximate boring and bulk sample locations are shown on the site plan. During drilling operations, penetration tests were performed at regular intervals to evaluate the soil consistency and to obtain information regarding the engineering properties of the subsoils. Soil samples were retained for laboratory testing. The soils encountered were continuously examined and visually classified in accordance with the Unified Soil Classification System. A more detailed description of the field investigation is presented in Appendix A.

Laboratory tests were performed on selected soil samples to evaluate their physical characteristics and engineering properties. The laboratory-testing program was formulated with emphasis on the evaluation of natural moisture, density, gradation, shear strength, consolidation potential, expansion potential, atterberg limits, and moisture-density relationships of the materials encountered. In addition, chemical tests were performed to evaluate the corrosivity of the soils to buried concrete and metal. Details of the laboratory test program and results of the laboratory tests are summarized in Appendix A. This information, along with the field observations, was used to prepare the final boring logs in Appendix A.

SOIL PROFILE AND SUBSURFACE CONDITIONS

Based on our findings, the subsurface conditions encountered appear typical of those found in the geologic region of the site. The upper soils along the edges of the site and in the vicinity of the residence consist of approximately 6 to 12 inches of fill material. The fill material predominately consisted of silty sand, sandy silt and gravel. The thickness and extent of fill material was determined based on limited test borings and visual observation. Thicker fill may be present at the site. Limited

testing was performed on the fill soils during the time of our field and laboratory investigations. The limited testing indicates that the fill materials had varying strength characteristics ranging from loosely placed to compacted.

Below the loose surface soils and fill material, approximately 2 to 3 feet of medium dense silty sand, clayey silty sand, or clayey sandy silt were encountered. Field and laboratory tests suggest that these soils are moderately strong and slightly compressible. Penetration resistance ranged from 25 blows per foot to greater than 50 blows per 6 inches. Dry densities ranged from 83 to 124 pcf. A representative soil sample consolidated approximately 2½ percent under a 2 ksf load when saturated. A representative soil sample had an angle of internal friction of 32 degrees. A representative sample of the clayey soil had an expansion index of 48.

Beneath 3 to 4 feet, predominately medium dense to very dense silty sand/sandy silt, clayey silty sand or silty sand were encountered. More specifically, these native soils are classified as *diatomaceous earth* or *diatomite*. Diatomaceous earth or diatomite is a naturally occurring, soft, chalk-like sedimentary rock that is easily crumbled into a fine white to off-white powder. It consists of fossilized remains of diatoms, a type of a hard-shelled algae, resulting in an inert, lightweight, and finely porous material. Field and laboratory tests suggest that these soils are moderately strong and slightly compressible. The clayey soils had a moderate potential for expansion. Penetration resistance ranged from 48 blows per foot to greater than 50 blows per 6 inches. Dry densities ranged from 94 to 125 pcf. These soils/rock extended to the termination depth of our borings.

For additional information about the soils encountered, please refer to the logs of borings in Appendix A.

GROUNDWATER

Test boring locations were checked for the presence of groundwater during and immediately following the drilling operations. Groundwater was encountered within Boring B1 at approximately 40 feet below existing site grade.

It should be recognized that water table elevations may fluctuate with time, being dependent upon seasonal precipitation, irrigation, land use, and climatic conditions, as well as other factors. Therefore, water level observations at the time of the field investigation may vary from those encountered during the construction phase of the project. The evaluation of such factors is beyond the scope of this report.

SOIL LIQUEFACTION

Soil liquefaction is a state of soil particles suspension caused by a complete loss of strength when the effective stress drops to zero. Liquefaction normally occurs under saturated conditions in soils such as sand in which the strength is purely friction. However, liquefaction has occurred in soils other than clean sand. Liquefaction usually occurs under vibratory conditions such as those induced by seismic event.

To evaluate the liquefaction potential of the site, the following items were evaluated:

- 1) Soil type
- 2) Groundwater depth
- 3) Relative density
- 4) Initial confining pressure
- 5) Intensity and duration of groundshaking

The soils encountered within a depth of 50 feet on the project site consist predominantly of medium to very dense silty sands, sandy silts, clayey silty sands, and clayey sandy silts, with diatomaceous earth. Groundwater was encountered below the site within a depth of 40 feet during subsurface exploration. Available groundwater depth mapping, as well as our experience in the area, indicates that groundwater is typically located at depths on the order of 90 feet. Due to the depth of groundwater, the very dense consolidated nature of the deposits below a depth of 4 feet, liquefaction is not considered a viable geologic hazard at the subject site.

SEISMIC SETTLEMENT

One of the most common phenomena during seismic shaking accompanying any earthquake is the induced settlement of loose unconsolidated soils. Based on the nature of the subsurface materials and the relatively low to moderate seismicity of the region, we would not expect seismic settlement to represent a significant geologic hazard to the site provided that the recommendations of our referenced Geotechnical Engineering Investigation are followed.

CONCLUSIONS AND RECOMMENDATIONS

Based on the findings of our field and laboratory investigations, along with previous geotechnical experience in the project area, the following is a summary of our evaluations, conclusions, and recommendations.

Administrative Summary

In brief, the subject site and soil conditions, with the exception of the fill material, expansive nature of the clayey soils, and existing development, appear to be conducive to the development of the project. Approximately 6 to 12 inches of fill material was encountered along the edges of the site and within the southwest portion of the site associated with the roadways and residential development. The fill material predominately consisted of silty sand and sandy silt with gravel. Some of these soils contained traces of clay. The thickness and extent of fill material was determined based on limited test borings and visual observation. Thicker fill may be present at the site. Limited testing was performed on the fill soils during the time of our field and laboratory investigations. The limited testing indicates that the fill materials had varying strength characteristics ranging from loosely placed to compacted. Therefore it is

recommended that the fill soils which are not properly compacted and certified be excavated and stockpiled so that the native soils can be prepared properly. The clayey fill material will not be suitable for reuse as non-expansive Engineered Fill. However, these clayey soils will be suitable for reuse as General Engineered Fill within pavement areas and below 18 inches from finished pad grade within slab-on-grade areas, provided they are cleansed of excessive organics, debris, and moisture-conditioned to a minimum of 2 percent above optimum moisture content. Prior to fill placement Krazan & Associates, Inc. should inspect the bottom of the excavation to verify no additional removal will be required.

The site consists of gentle sloping terrain with approximately 15 feet of relief across the site. In order to reduce post-construction differential settlement, it is recommended that all structures that are in a cut/fill transition zone, be cut a minimum of 3 feet below the bottom of the deepest footing. The excavation should be extended a minimum of 5 feet beyond structural elements. The resulting excavation should be backfilled with Engineered Fill.

The upper native soils and fill material are identified as silty sand, sandy silt, clayey silty sand, clayey sandy silt and gravel. Some of these native soils are classified as *diatomaceous earth* or *diatomite*, consisting of fossilized remains of diatoms, a type of a hard-shelled algae, resulting in an inert, lightweight, and finely porous material. The clayey soils appear to have a moderate swell potential. The estimated swell pressure of the clayey material may cause movement-affecting slabs and brittle exterior finishes. To reduce the potential soil movement, it is recommended that the upper 18 inches of soil within building or exterior flatwork areas consist of non-expansive fill. The fill material should be a well-graded silty sand or sandy silt soil. A clean sand or very sandy soil is not acceptable for this purpose. A sandy soil will allow the surface water to drain into the expansive clayey soils below, which may result in swelling. The replacement soil and/or the upper 18 inches of Imported Fill soils should meet the specifications as described under the subheading Engineered Fill. The replacement soils should extend 5 feet beyond the perimeter of the building. The non-expansive replacement soil should be compacted to at least 90 percent relative compaction based on ASTM Test Method D1557. The exposed native soils in the excavation should not be allowed to dry out and should be kept continuously moist prior to backfilling. In addition, it is recommended that slab-on-grade continuous footings and slabs be nominally reinforced to reduce cracking and vertical off-set.

As an alternative to the use of non-expansive soils, the upper 18 inches of soil supporting the slab areas can consist of lime-treated clayey soils. The lime-treated soils should be recomacted to a minimum of 90 percent of maximum density. Preliminary application rate of lime should be 5 percent by dry weight. The lime material should be calcium oxide, commonly known as quick-lime. The clayey soils should be at or near optimum moisture during the mixing operations.

An existing rural residential development is located in the southwest portion of the site. Associated with this development are several barns, sheds, and buried utility lines. All surface and buried structures/utilities encountered during construction should be properly removed and the resulting excavations backfilled. It is suspected that demolition activities of the existing structures will disturb

the upper soils. After demolition activities, it is recommended that these disturbed soils be removed and/or recompacted. This compaction effort should stabilize the upper soils and locate any unsuitable or pliant areas not found during our field investigation.

Several trees are located on the site. Tree removal operations should include roots greater than 1 inch in diameter. The resulting excavations should be backfilled with Engineered Fill, compacted to a minimum of 90 percent of maximum density based on ASTM Test Method D1557.

After completion of the recommended site preparation, the site should be suitable for shallow footing support. The proposed structure footings may be designed utilizing an allowable bearing pressure of 2,500 psf for dead-plus-live loads. Footings should have a minimum embedment of 18 inches.

Groundwater Influence on Structures/Construction

During our field investigation, groundwater seepage was encountered at a depth of approximately 40 feet below existing site grade. However, very dense native soils were encountered below a depth of 4 feet throughout portions of the site. A perched groundwater condition may occur on these very dense upper native soils. Therefore dewatering and/or waterproofing may be required should structures or excavations extend below this depth. If groundwater is encountered, our firm should be consulted prior to dewatering the site. Installation of a standpipe piezometer is suggested prior to construction should groundwater levels be a concern.

One aspect in the preparation of this property for construction is the determination of areas of possible seasonal springs and the placement of subsurface drainage systems to intercept groundwater away from the planned area of construction. It is recommended that the site be observed by a member of our engineering staff following completion of the site clearing and stripping, to evaluate the need for subdrainage systems. Evaluation should also be performed following completion of rough site grading. This is particularly important for use in evaluating the need for subdrains for pavements. This office should be contacted regarding any future seepage on the property so appropriate mitigation measures can be recommended.

In addition to the groundwater level, if earthwork is performed during or soon after periods of precipitation, the subgrade soils may become saturated, pump, or not respond to densification techniques. Typical remedial measures include discing and aerating the soil during dry weather; mixing the soil with dryer materials; removing and replacing the soil with an approved fill material; or mixing the soil with an approved lime or cement product. Our firm should be consulted prior to implementing remedial measures to observe the unstable subgrade conditions and provide appropriate recommendations.

Site Preparation

General site clearing should include removal of vegetation; existing utilities; structures including foundations; basement walls and floors; existing stockpiled soil; trees and associated root systems; rubble; rubbish; and any loose and/or saturated materials. Site stripping should extend to a minimum

depth of 2 to 4 inches, or until all organics in excess of 3 percent by volume are removed. Deeper stripping may be required in localized areas. These materials will not be suitable for use as Engineered Fill. However, stripped topsoil may be stockpiled and reused in landscape or non-structural areas.

Approximately 6 to 12 inches of fill material was encountered along the edges of the site and within the southwest portion of the site associated with the roadways and residential development. The fill material predominately consisted of silty sand and sandy silt with gravel. Some of these soils contained traces of clay. The thickness and extent of fill material was determined based on limited test borings and visual observation. Thicker fill may be present at the site. Limited testing was performed on the fill soils during the time of our field and laboratory investigations. The limited testing indicates that the fill materials had varying strength characteristics ranging from loosely placed to compacted. Therefore it is recommended that the fill soils which are not properly compacted and certified be excavated and stockpiled so that the native soils can be prepared properly. The clayey fill material will not be suitable for reuse as non-expansive Engineered Fill. However, these clayey soils will be suitable for reuse as General Engineered Fill within pavement areas and below 18 inches from finished pad grade within slab-on-grade areas, provided they are cleansed of excessive organics, debris, and moisture-conditioned to a minimum of 2 percent above optimum moisture content. Prior to fill placement Krazan & Associates, Inc. should inspect the bottom of the excavation to verify no additional removal will be required.

Within proposed building areas, following stripping, demolition, and fill removal operations, it is recommended that at a minimum, the upper 24 inches of subgrade soils be excavated, worked until uniform and free from large clods, moisture-conditioned to a minimum of 2 percent above optimum moisture-content, and recompacted to a minimum of 90 percent of maximum density based on ASTM Test Method D1557.

Within proposed pavement and exterior flatwork areas, following stripping, demolition, and fill removal operations, it is recommended that at a minimum, the upper 12 inches of subgrade soils be excavated, worked until uniform and free from large clods, moisture-conditioned to a minimum of 2 percent above optimum moisture-content, and recompacted to a minimum of 90 percent of maximum density based on ASTM Test Method D1557.

It is recommended that the upper 18 inches of soil within proposed building and exterior flatwork areas consist of non-expansive Engineered Fill or lime-treated Engineered Fill. The intent is to support slab-on-grade and exterior flatwork areas with 18 inches of non-expansive or lime-treated fill. The fill placement serves 2 functions: 1) it provides a uniform amount of soil which will more evenly distribute the soil pressures and 2) it reduces moisture content fluctuation in the clayey material beneath the building area. The non-expansive fill material should be a well-graded silty sand or sandy silt soil. A clean sand or very sandy soil is not acceptable for this purpose. A sandy soil will allow the surface water to drain into the expansive clayey soils below, which may result in soil swelling. Imported Fill should be approved by the Soils Engineer prior to placement. The fill should be placed as specified as Engineered Fill.

The site consists of gently sloping terrain. In order to reduce post-construction differential settlement, it is recommended that all structures that are in a cut/fill transition zone, be cut a minimum of 3 feet below the bottom of the deepest footing. The excavation should be extended a minimum of 5 feet beyond structural elements. The resulting excavation should be backfilled with Engineered Fill.

Several trees are located throughout the site. Tree removal operations should include roots greater than 1 inch in diameter. The resulting excavations should be backfilled with Engineered Fill, compacted to a minimum of 90 percent of maximum density based on ASTM Test Method D1557.

An existing rural residential development is located within the project site. Associated with this development are several barns, sheds, and buried utility lines. All surface and buried structures/utilities encountered during construction should be properly removed and the resulting excavations backfilled. Disturbed areas caused by demolition activities should be removed and recompact. Excavations, depressions, or soft and pliant areas extending below planned finished subgrade levels should be cleaned to firm, undisturbed soil and backfilled with Engineered Fill. In general, any septic tanks, debris pits, cesspools, or similar structures should be entirely removed. Concrete footings should be removed to an equivalent depth of at least 3 feet below proposed footing elevations or as recommended by the Soils Engineer. Any other buried structures should be removed in accordance with the recommendations of the Soils Engineer. The resulting excavations should be backfilled with Engineered Fill.

The upper soils, during wet winter months, become very moist due to the absorptive characteristics of the soil. Earthwork operations performed during winter months may encounter very moist unstable soils, which may require removal to grade a stable building foundation. Project site winterization consisting of placement of aggregate base and protecting exposed soils during the construction phase should be performed.

A representative of our firm should be present during all site clearing and grading operations to test and observe earthwork construction. This testing and observation is an integral part of our service as acceptance of earthwork construction is dependent upon compaction of the material and the stability of the material. The Soils Engineer may reject any material that does not meet compaction and stability requirements. Further recommendations of this report are predicated upon the assumption that earthwork construction will conform to recommendations set forth in this section and the Engineered Fill section.

Engineered Fill

The organic-free, on-site, upper native and fill soils are predominately silty sand, sandy silt, clayey silty sand, clayey sandy silt and gravel. The clayey soils will not be suitable for reuse as non-expansive Engineered Fill. The clayey soils will be suitable for reuse for fill placement within the upper 18 inches of slab-on-grade and exterior flatwork areas, provided they are lime-treated. The preliminary application rate of lime should be 5 percent by dry weight. The lime material should be calcium oxide, commonly known as quick-lime. The clayey soils should be at or near optimum moisture-condition during mixing operations. Additional testing is recommended to determine the appropriate application

rate of lime prior to placement. These clayey soils will be suitable for reuse as General Engineered Fill, within pavement areas and below 18 inches from finished pad grade in building areas, provided they are cleansed of excessive organics, debris and moisture-conditioned to at least 2 percent above optimum moisture.

The preferred materials specified for Engineered Fill are suitable for most applications with the exception of exposure to erosion. Project site winterization and protection of exposed soils during the construction phase should be the sole responsibility of the Contractor, since he has complete control of the project site at that time.

Imported non-expansive Fill should consist of a well-graded, slightly cohesive, fine silty sand or sandy silt, with relatively impervious characteristics when compacted. This material should be approved by the Soils Engineer prior to use and should typically possess the following characteristics:

Percent Passing No. 200 Sieve	20 to 50
Plasticity Index	10 maximum
UBC Standard 29-2 Expansion Index	15 maximum

Fill soils should be placed in lifts approximately 6 inches thick, moisture-conditioned to a minimum of 2 percent above optimum moisture content, and compacted to achieve at least 90 percent of maximum density based on ASTM Test Method D1557. Additional lifts should not be placed if the previous lift did not meet the required density or if soil conditions are not stable.

Drainage and Landscaping

The ground surface should slope away from building pad and pavement areas toward appropriate drop inlets or other surface drainage devices. In accordance with Section 1804 of the 2013 California Building Code, it is recommended that the ground surface adjacent to foundations be sloped a minimum of 5 percent for a minimum distance of 10 feet away from structures, or to an approved alternative means of drainage conveyance. Swales used for conveyance of drainage and located within 10 feet of foundations should be sloped a minimum of 2 percent. Impervious surfaces, such as pavement and exterior concrete flatwork, within 10 feet of building foundations should be sloped a minimum of 1 percent away from the structure. Drainage gradients should be maintained to carry all surface water to collection facilities and off-site. These grades should be maintained for the life of the project.

Slots or weep holes should be placed in drop inlets or other surface drainage devices in pavement areas to allow free drainage of adjoining base course materials. Cutoff walls should be installed at pavement edges adjacent to vehicular traffic areas, these walls should extend to a minimum depth of 12 inches below pavement subgrades to limit the amount of seepage water that can infiltrate the pavements. Where cutoff walls are undesirable subgrade drains can be constructed to transport excess water away from planters to drainage interceptors. If cutoff walls can be successfully used at the site, construction of subgrade drains is considered unnecessary.

Utility Trench Backfill

Utility trenches should be excavated according to accepted engineering practices following OSHA (Occupational Safety and Health Administration) standards by a Contractor experienced in such work. The responsibility for the safety of open trenches should be borne by the Contractor. Traffic and vibration adjacent to trench walls should be reduced; cyclic wetting and drying of excavation side slopes should be avoided. Depending upon the location and depth of some utility trenches, groundwater flow into open excavations could be experienced, especially during or shortly following periods of precipitation.

Sandy soil conditions were encountered at the site. These cohesionless soils have a tendency to cave in trench wall excavations. Shoring or sloping back trench sidewalls may be required within these sandy soils.

Utility trench backfill placed in or adjacent to buildings and exterior slabs should be compacted to at least 90 percent of maximum density based on ASTM Test Method D1557. The utility trench backfill placed in pavement areas should be compacted to at least 90 percent of maximum density based on ASTM Test Method D1557. Pipe bedding should be in accordance with pipe manufacturer's recommendations.

The Contractor is responsible for removing all water-sensitive soils from the trench regardless of the backfill location and compaction requirements. The Contractor should use appropriate equipment and methods to avoid damage to the utilities and/or structures during fill placement and compaction.

Foundations

After completion of the recommended site preparation, the site should be suitable for shallow footing support. The proposed structures may be supported on a shallow foundation system bearing on undisturbed native soils or Engineered Fill. Spread and continuous footings can be designed for the following maximum allowable soil bearing pressures:

Load	Allowable Loading
Dead Load Only	1,875 psf
Dead-Plus-Live Load	2,500 psf
Total Load, including wind or seismic loads	3,325 psf

The footings should have a minimum depth of 18 inches below pad subgrade (soil grade) or adjacent exterior grade, whichever is lower. Footings should have a minimum width of 12 inches, regardless of load.

The total movement is not expected to exceed 1 inch. Differential movement should be less than 1 inch. Most of the settlement is expected to occur during construction as the loads are applied. However, additional post-construction settlement may occur if the foundation soils are flooded or saturated.

The footing excavation should not be allowed to dry out any time prior to pouring concrete. It is recommended that footings be reinforced by at least one No. 4 reinforcing bar in both top and bottom.

Resistance to lateral footing displacement can be computed using an allowable friction factor of 0.35 acting between the base of foundations and the supporting subgrade. Lateral resistance for footings can alternatively be developed using an allowable equivalent fluid passive pressure of 325 pounds per cubic foot acting against the appropriate vertical footing faces. The frictional and passive resistance of the soil may be combined without reduction in determining the total lateral resistance. A $\frac{1}{2}$ increase in the above value may be used for short duration, wind, or seismic loads.

Floor Slabs and Exterior Flatwork

To reduce post-construction soil movement beneath floor slabs and exterior flatwork, it is recommended that mitigation measures be performed. For conventional slab-on-grade, it is recommended that the upper 18 inches of soil consist of non-expansive or lime-treated Engineered Fill.

In areas that will utilize moisture-sensitive floor coverings, concrete slab-on-grade floors should be underlain by a water vapor retarder. The water vapor retarder should be installed in accordance with accepted engineering practice. The water vapor retarder should consist of a vapor retarder sheeting underlain by a minimum of 3 inches of compacted, clean, gravel of $\frac{3}{4}$ -inch maximum size. To aid in concrete curing an optional 2 to 4 inches of granular fill may be placed on top of the vapor retarder. The granular fill should consist of damp clean sand with at least 10 to 30 percent of the sand passing the 100 sieve. The sand should be free of clay, silt, or organic material. Rock dust which is manufactured sand from rock crushing operations is typically suitable for the granular fill. This granular fill material should be compacted.

The floor slabs should be reinforced as a minimum with No. 3 reinforcement bars at 18 inches on center each way within the floor slabs. Thicker floor slabs with increased concrete strength and reinforcement should be designed wherever large vehicular loads, heavy concentrated loads, heavy equipment, or machinery is anticipated.

The exterior floors should be poured separately in order to act independently of the walls and foundation system. All fills required to bring the building pads to grade should be Engineered Fills.

Moisture within the structure may be derived from water vapors, which were transformed from the moisture within the soils. This moisture vapor can travel through the vapor membrane and penetrate the slab-on-grade. This moisture vapor penetration can affect floor coverings and produce mold and mildew in the structure. To reduce moisture vapor intrusion, it is recommended that a vapor retarder be installed. It is recommended that the utility trenches within the structure be compacted, as specified in our report, to reduce the transmission of moisture through the utility trench backfill. Special attention to the immediate drainage and irrigation around the building is recommended. Positive drainage should be established away from the structure and should be maintained throughout the life of the structure. Ponding of water should not be allowed adjacent to the structure. Over-irrigation within landscaped areas adjacent to the structure should not be performed. In addition, ventilation of the structure (i.e. ventilation fans) is recommended to reduce the accumulation of interior moisture.

Lateral Earth Pressures and Retaining Walls

Walls retaining horizontal backfill and capable of deflecting a minimum of 0.1 percent of its height at the top may be designed using an equivalent fluid active pressure of 40 pounds per square foot per foot of depth. Walls that are incapable of this deflection or walls that are fully constrained against deflection may be designed for an equivalent fluid at-rest pressure of 60 pounds per square foot per foot per depth. Expansive soils should not be used for backfill against walls. The wedge of non-expansive backfill material should extend from the bottom of each retaining wall outward and upward at a slope of 2:1 (horizontal to vertical) or flatter. The stated lateral earth pressures do not include the effects of hydrostatic water pressures generated by infiltrating surface water that may accumulate behind the retaining walls; or loads imposed by construction equipment, foundations, or roadways.

Retaining and/or below grade walls should be drained with either perforated pipe encased in free-draining gravel or a prefabricated drainage system. The gravel zone should have a minimum width of 12 inches wide and should extend upward to within 12 inches of the top of the wall. The upper 12 inches of backfill should consist of native soils, concrete, asphaltic concrete or other suitable backfill to reduce surface drainage into the wall drain system. The aggregate should conform to Class 2 permeable materials graded in accordance with Section 68-2.02F(3) of the CalTrans Standard Specifications (2010). Prefabricated drainage systems, such as Miradrain®, Enkadrain®, or an equivalent substitute, are acceptable alternatives in lieu of gravel provided they are installed in accordance with the manufacturer's recommendations. If a prefabricated drainage system is proposed, our firm should review the system for final acceptance prior to installation.

Drainage pipes should be placed with perforations down and should discharge in a non-erosive manner away from foundations and other improvements. The pipes should be placed no higher than 6 inches above the heel of the wall in the center line of the drainage blanket and should have a minimum diameter of 4 inches. Collector pipes may be either slotted or perforated. Slots should be no wider than 1/8 inch in width, while perforations should be no more than 1/4 inch in diameter. If retaining walls are less than 6 feet in height, the perforated pipe may be omitted in lieu of weep holes on 4 feet maximum spacing. The weep holes should consist of 4-inch diameter holes (concrete walls) or unmortared head joints (masonry walls) and not be higher than 18 inches above the lowest adjacent grade. Two 8-inch square overlapping patches of geotextile fabric (conforming to Section 88-1.03 of the CalTrans Standard Specifications for "edge drains") should be affixed to the rear wall opening of each weep hole to retard soil piping.

During grading and backfilling operations adjacent to any walls, heavy equipment should not be allowed to operate within a lateral distance of 5 feet from the wall, or within a lateral distance equal to the wall height, whichever is greater, to avoid developing excessive lateral pressures. Within this zone, only hand-operated equipment ("whackers," vibratory plates, or pneumatic compactors) should be used to compact the backfill soils.

Seismic Parameters – 2013 California Building Code

The Site Class per Section 1613 of the 2013 California Building Code (2013 CBC) and Table 20.3-1 of ASCE 7-10 is based upon the site soil conditions. It is our opinion that a Site Class D is most consistent with the subject site soil conditions. For seismic design of the structures based on the seismic provisions of the 2013 CBC, we recommend the following parameters:

Seismic Item	Value	CBC Reference
Site Class	D	Section 1613.3.2
Site Coefficient F_a	1.015	Table 1613.3.3 (1)
S_s	1.211	Section 1613.3.1
S_{MS}	1.230	Section 1613.3.3
S_{DS}	0.820	Section 1613.3.4
Site Coefficient F_v	1.537	Table 1613.3.3 (2)
S_1	0.463	Section 1613.3.1
S_{M1}	0.712	Section 1613.3.3
S_{D1}	0.475	Section 1613.3.4

Compacted Material Acceptance

Compaction specifications are not the only criteria for acceptance of the site grading or other such activities. However, the compaction test is the most universally recognized test method for assessing the performance of the Grading Contractor. The numerical test results from the compaction test cannot be used to predict the engineering performance of the compacted material. Therefore, the acceptance of compacted materials will also be dependent on the stability of that material. The Soils Engineer has the option of rejecting any compacted material regardless of the degree of compaction if that material is considered to be unstable or if future instability is suspected. A specific example of rejection of fill material passing the required percent compaction is a fill which has been compacted with an in situ moisture content significantly less than optimum moisture. This type of dry fill (brittle fill) is susceptible to future settlement if it becomes saturated or flooded.

Testing and Inspection

A representative of Krazan & Associates, Inc. should be present at the site during the earthwork activities to confirm that actual subsurface conditions are consistent with the exploratory fieldwork. This activity is an integral part of our service, as acceptance of earthwork construction is dependent upon compaction testing and stability of the material. This representative can also verify that the intent of these recommendations is incorporated into the project design and construction. Krazan & Associates, Inc. will not be responsible for grades or staking, since this is the responsibility of the Prime Contractor.

LIMITATIONS

Soils Engineering is one of the newest divisions of Civil Engineering. This branch of Civil Engineering is constantly improving as new technologies and understanding of earth sciences advance. Although your site was analyzed using the most appropriate and most current techniques and methods, undoubtedly there will be substantial future improvements in this branch of engineering. In addition to advancements in the field of Soils Engineering, physical changes in the site, either due to excavation or fill placement, new agency regulations, or possible changes in the proposed structure after the soils report is completed may require the soils report to be professionally reviewed. In light of this, the Owner should be aware that there is a practical limit to the usefulness of this report without critical review. Although the time limit for this review is strictly arbitrary, it is suggested that 2 years be considered a reasonable time for the usefulness of this report.

Foundation and earthwork construction is characterized by the presence of a calculated risk that soil and groundwater conditions have been fully revealed by the original foundation investigation. This risk is derived from the practical necessity of basing interpretations and design conclusions on limited sampling of the earth. The recommendations made in this report are based on the assumption that soil conditions do not vary significantly from those disclosed during our field investigation. If any variations or undesirable conditions are encountered during construction, the Soils Engineer should be notified so that supplemental recommendations may be made.

The conclusions of this report are based on the information provided regarding the proposed construction. If the proposed construction is relocated or redesigned, the conclusions in this report may not be valid. The Soils Engineer should be notified of any changes so the recommendations may be reviewed and re-evaluated.

This report is a Geotechnical Engineering Investigation with the purpose of evaluating the soil conditions in terms of foundation design. The scope of our services did not include any Environmental Site Assessment for the presence or absence of hazardous and/or toxic materials in the soil, groundwater, or atmosphere; or the presence of wetlands. Any statements, or absence of statements, in this report or on any boring log regarding odors, unusual or suspicious items, or conditions observed, are strictly for descriptive purposes and are not intended to convey engineering judgment regarding potential hazardous and/or toxic assessment.

The geotechnical engineering information presented herein is based upon professional interpretation utilizing standard engineering practices and a degree of conservatism deemed proper for this project. It is not warranted that such information and interpretation cannot be superseded by future geotechnical engineering developments. We emphasize that this report is valid for the project outlined above and should not be used for any other sites.

If you have any questions, or if we may be of further assistance, please do not hesitate to contact our office at (559) 348-2200.

Respectfully submitted,
KRAZAN & ASSOCIATES, INC.



Steve Nelson
Project Engineer



David R. Jarosz, II
Managing Engineer
RCE No. 60185/RGE No. 2698

SN/DRJ:ht



- APPROXIMATE BORING LOCATION
- ▲ APPROXIMATE R-VALUE LOCATION



SITE MAP	Scale: NTS	Date: October 2014
	Drawn by: HT	Approved by: DJ
Atascadero Family Apartments 10785 El Camino Real Atascadero, California	Project No. 012-14090	Figure No. 1

APPENDIX A

FIELD AND LABORATORY INVESTIGATIONS

Field Investigation

The field investigation consisted of a surface reconnaissance and a subsurface exploratory program. Six 4½-inch exploratory borings were advanced. The boring locations are shown on the site plan.

The soils encountered were logged in the field during the exploration and, with supplementary laboratory test data, are described in accordance with the Unified Soil Classification System.

Modified standard penetration tests and standard penetration tests were performed at selected depths. This test represents the resistance to driving a 2½-inch and 1½-inch diameter core barrel, respectively. The driving energy was provided by a hammer weighing 140 pounds falling 30 inches. Relatively undisturbed soil samples were obtained while performing this test. Bag samples of the disturbed soil were obtained from the auger cuttings. The modified standard penetration tests are identified in the sample type on the boring logs with a full shaded in block. The standard penetration tests are identified in the sample type on the boring logs with the central portion of the block shaded. All samples were returned to our Clovis laboratory for evaluation.

Laboratory Investigation

The laboratory investigation was programmed to determine the physical and mechanical properties of the foundation soil underlying the site. Test results were used as criteria for determining the engineering suitability of the surface and subsurface materials encountered.

In situ moisture content, dry density, consolidation, direct shear, and sieve analysis tests were determined for the undisturbed samples representative of the subsurface material. Expansion index and R-value tests were completed for select bag samples obtained from the auger cuttings. These tests, supplemented by visual observation, comprised the basis for our evaluation of the site material.

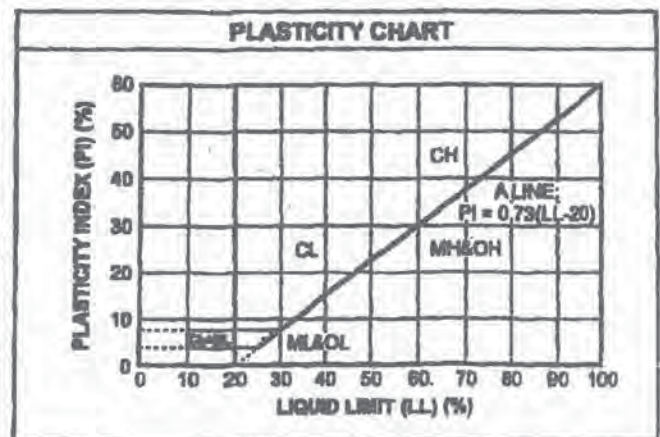
The logs of the exploratory borings and laboratory determinations are presented in this Appendix.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION AND SYMBOL CHART		
COARSE-GRAINED SOILS (more than 50% of material is larger than No. 200 sieve size.)		
GRAVELS More than 50% of coarse fraction larger than No. 4 sieve size	Clean Gravels (Less than 5% fines)	
	GW	Well-graded gravels, gravel-sand mixtures, little or no fines
	GP	Poorly-graded gravels, gravel-sand mixtures, little or no fines
	Gravels with fines (More than 12% fines)	
	GM	Silty gravels, gravel-sand-silt mixtures
	GC	Clayey gravels, gravel-sand-clay mixtures
SANDS 50% or more of coarse fraction smaller than No. 4 sieve size	Clean Sands (Less than 5% fines)	
	SW	Well-graded sands, gravelly sands, little or no fines
	SP	Poorly graded sands, gravelly sands, little or no fines
	Sands with fines (More than 12% fines)	
	SM	Silty sands, sand-silt mixtures
	SC	Clayey sands, sand-clay mixtures
FINE-GRAINED SOILS (50% or more of material is smaller than No. 200 sieve size.)		
SILTS AND CLAYS Liquid limit less than 50%	ML	Inorganic silts and very fine sands, rock flour, silty of clayey fine sands or clayey silts with slight plasticity
	CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays
	OL	Organic silts and organic silty clays of low plasticity
SILTS AND CLAYS Liquid limit 50% or greater	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
	CH	Inorganic clays of high plasticity, fat clays
	OH	Organic clays of medium to high plasticity, organic silts
HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils

CONSISTENCY CLASSIFICATION	
Description	Blows per Foot
<i>Granular Soils</i>	
Very Loose	< 5
Loose	5 - 15
Medium Dense	16 - 40
Dense	41 - 65
Very Dense	> 65
<i>Cohesive Soils</i>	
Very Soft	< 3
Soft	3 - 5
Firm	6 - 10
Stiff	11 - 20
Very Stiff	21 - 40
Hard	> 40

GRAIN SIZE CLASSIFICATION		
Grain Type	Standard Sieve Size	Grain Size in Millimeters
Boulders	Above 12 inches	Above 305
Cobbles	3 to 12 inches	305 to 76.2
Gravel	3 inches to No. 4	76.2 to 4.76
Coarse-grained	3 to ¾ inches	76.2 to 19.1
Fine-grained	¾ inches to No. 4	19.1 to 4.76
Sand	No. 4 to No. 200	4.76 to 0.074
Coarse-grained	No. 4 to No. 10	4.76 to 2.00
Medium-grained	No. 10 to No. 40	2.00 to 0.042
Fine-grained	No. 40 to No. 200	0.042 to 0.074
Silt and Clay	Below No. 200	Below 0.074



Log of Boring B1

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-1

Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water:

Initial: 42 Feet

At Completion: 40 Feet

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft			Water Content (%)								
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.	Penetration Test			Water Content (%)								
							20	40	60	10	20	30	40					
Ground Surface																		
0		SILTY SAND (SM) Very loose, fine- to medium-grained; dark brown, damp, drills easily Loose below 12 inches																
2		CLAYEY SANDY SILT (ML) Medium dense, fine- to medium-grained; brown, damp, drills easily	111.7	6.1		34												
4		SILTY SAND/SANDY SILT (SM/ML) Very dense, fine- to medium-grained; gray/white, damp, drills firmly																
6			119.2	9.8		50+												
8																		
10			129.1	8.7		50+												
12																		
14																		
16			129.2	11.0		50+												
18																		
20																		

Drill Method: Solid Flight

Drill Date: 10-6-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

Driller: Jim Watts

Elevation: 50 Feet

Sheet: 1 of 3

Log of Boring B1

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-1

Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water:

Initial: 42 Feet

At Completion: 40 Feet

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft	Water Content (%)						
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.		20	40	60	10	20	30	40
22			123.3	12.8		50+					■			
24														
26			115.9	15.1		50+					■			
28														
30			122.4	10.8		50+					■			
32														
34														
36		Drills very firmly below 35 feet	118.8	12.6		50+					■			
38														
40		▼												

Drill Method: Solid Flight

Drill Date: 10-6-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

Driller: Jim Watts

Elevation: 50 Feet

Sheet: 2 of 3

Log of Boring B1

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-1

Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water >

Initial: 42 Feet

At Completion: 40 Feet

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft	Water Content (%)					
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.							
42		▽ Saturated below 42 feet	113.6	14.9	█	50+	40	50	60	10	20	30	40
44													
46			111.2	17.7	█	50+	50	60		10	20	30	40
48													
50		End of Borehole											
52													
54													
56													
58													
60													

Drill Method: Solid Flight

Drill Date: 10-6-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

Driller: Jim Watts

Elevation: 50 Feet

Sheet: 3 of 3

Log of Boring B2

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-2

Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water:

Initial: None

At Completion: None

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft	Water Content (%)					
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.		20	40	60	10	20	30	40
Ground Surface													
0		SILTY SAND (SM) Very loose, fine- to medium-grained; light brown, damp, drills easily											
2		Medium dense below 12 inches	120.9	1.2		33							
4		CLAYEY SILTY SAND (SM) Dense, fine- to medium-grained; light gray, damp, drills easily											
6			98.7	6.8		53							
10		SILTY SAND (SM) Dense, fine- to medium-grained; gray, damp, drills easily	114.5	12.0		42							
16		Medium dense with trace CLAY below 15 feet	93.2	17.5		21							
18													
20													

Drill Method: Solid Flight

Drill Date: 10-7-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

Driller: Jim Watts

Elevation: 20 Feet

Sheet: 1 of 1

Log of Boring B3

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-3


Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water:

Initial: None

At Completion: None

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft			Water Content (%)				
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.								
							20	40	60	10	20	30	40	
Ground Surface														
0		SILTY SAND (SM) Very loose, very fine- to medium-grained; light gray, damp, drills easily Medium dense below 12 inches												
2			104.8	6.7		19				■				
4		CLAYEY SILTY SAND (SM) Dense, fine- to medium-grained; gray, damp, drills easily												
6			125.8	6.3		48				■				
10		End of Borehole												
12														
14														
16														
18														
20														

Drill Method: Solid Flight

Drill Date: 10-7-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

Driller: Jim Watts

Elevation: 10 Feet

Sheet: 1 of 1

Log of Boring B4

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-4

Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water>

Initial: None

At Completion: None

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft			Water Content (%)					
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.									
							20	40	60	10	20	30	40		
Ground Surface															
0		SILTY SAND (SM) Very loose, fine- to medium-grained; light gray, damp, drills firmly Medium dense below 12 inches Very dense below 2 feet													
2			124.4	8.6		50+									
4		CLAYEY SILTY SAND (SM) Very dense, fine- to medium-grained; gray, damp, drills easily													
6			120.8	8.2		50+									
8															
10		SILTY SAND (SM) Very dense, fine- to medium-grained; gray, damp, drills easily													
12															
14															
16		End of Borehole													
18															
20															

Drill Method: Solid Flight

Drill Date: 10-7-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

Driller: Jim Watts

Elevation: 15 Feet

Sheet: 1 of 1

Log of Boring B5

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-5

Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water>

Initial: None

At Completion: None

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft			Water Content (%)				
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.								
							20	40	60	10	20	30	40	
Ground Surface														
0		SILTY SAND (SM) Very loose, fine- to medium-grained; light gray, damp, drills firmly Dense below 12 inches												
2			83.8	21.4		50+								■
4		CLAYEY SILTY SAND (SM) Very dense, fine- to medium-grained; gray, damp, drills firmly												
6			94.3	19.4		70								■
10	End of Borehole													
12														
14														
16														
18														
20														

Drill Method: Solid Flight

Drill Date: 10-7-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

Driller: Jim Watts

Elevation: 10 Feet

Sheet: 1 of 1

Log of Boring B6

Project: Atascadero Family Apartments

Project No: 012-14090

Client: Corporation for Better Housing

Figure No.: A-6


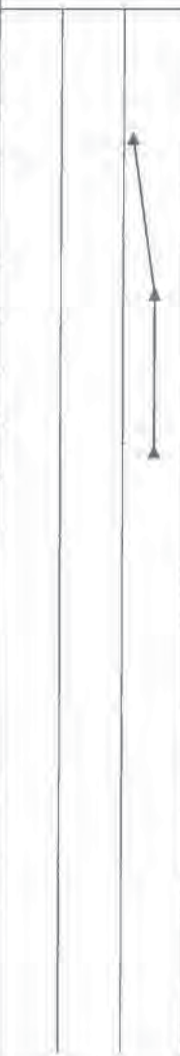
Location: 10785 El Camino Real, Atascadero, CA

Logged By: Dave Adams

Depth to Water >

Initial: None

At Completion: None

SUBSURFACE PROFILE			SAMPLE				Penetration Test blows/ft	Water Content (%)						
Depth (ft)	Symbol	Description	Dry Density (pcf)	Moisture (%)	Type	Blows/ft.		20	40	60	10	20	30	40
Ground Surface														
0		SILTY SAND (SM) Very loose, fine- to medium-grained; light gray, damp, drills firmly Medium dense below 12 inches Dense below 2 feet												
2			110.0	4.0		43								
4		With trace CLAY between 3½ and 4½ feet												
6		Very dense below 5 feet	107.2	6.6		50+								
8			115.2	10.7		50+								
10														
12														
14														
16		End of Borehole												
18														
20														

Drill Method: Solid Flight

Drill Date: 10-7-14

Drill Rig: CME 45C-3

Krazan and Associates

Hole Size: 4½ Inches

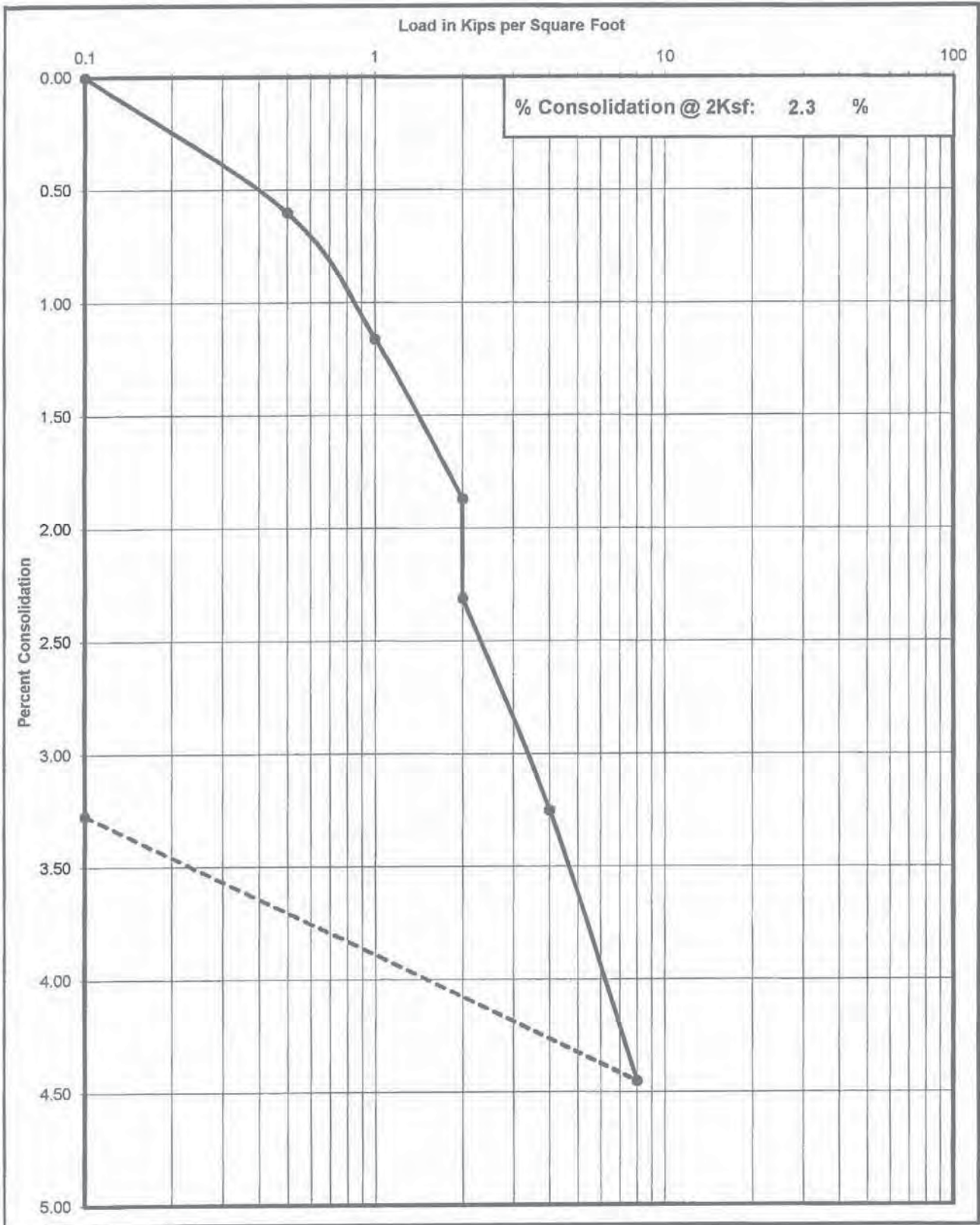
Driller: Jim Watts

Elevation: 15 Feet

Sheet: 1 of 1

Consolidation Test

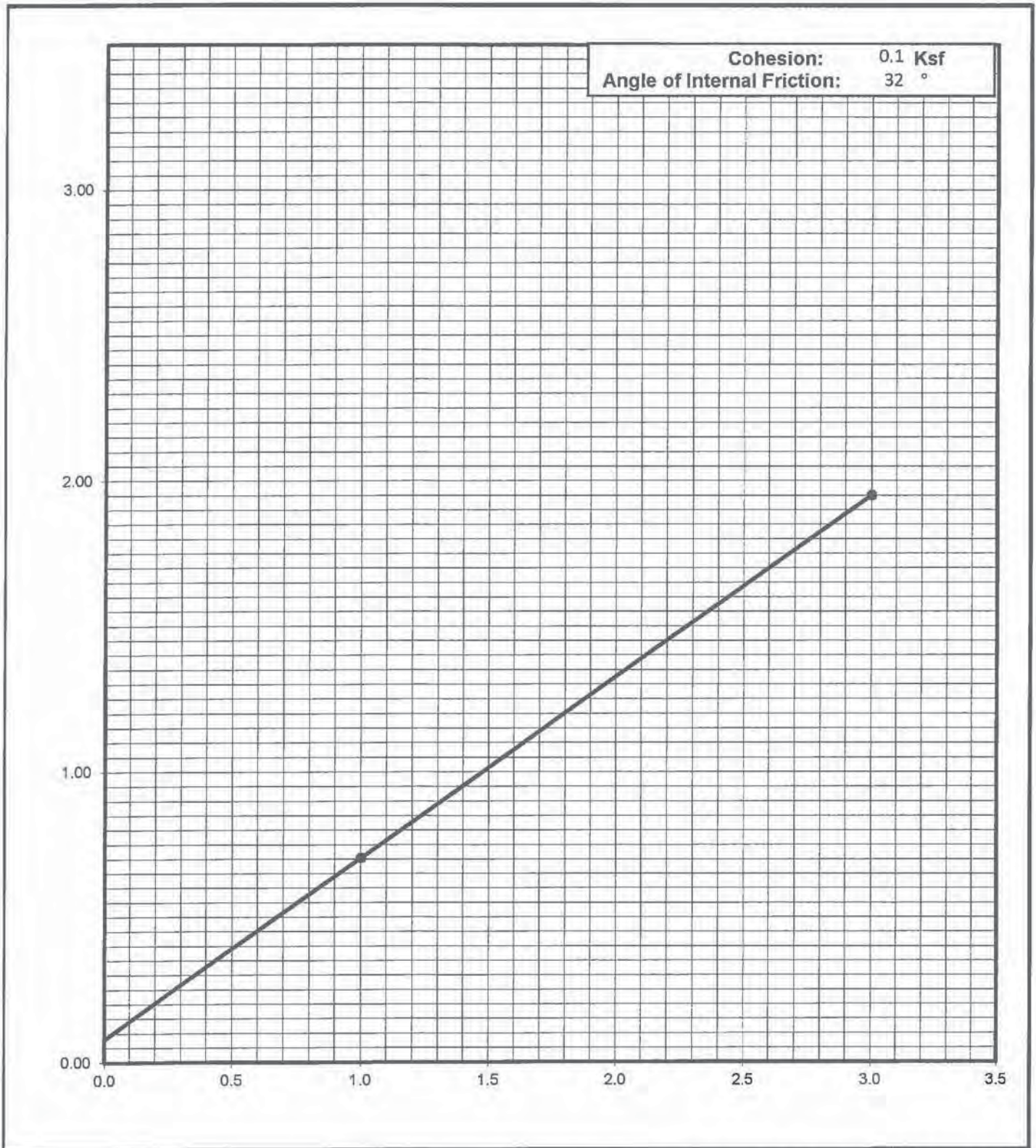
Project No	Boring No. & Depth	Date	Soil Classification
1214090	B3 @ 2-3'	10/10/2014	SM



Krazan Testing Laboratory

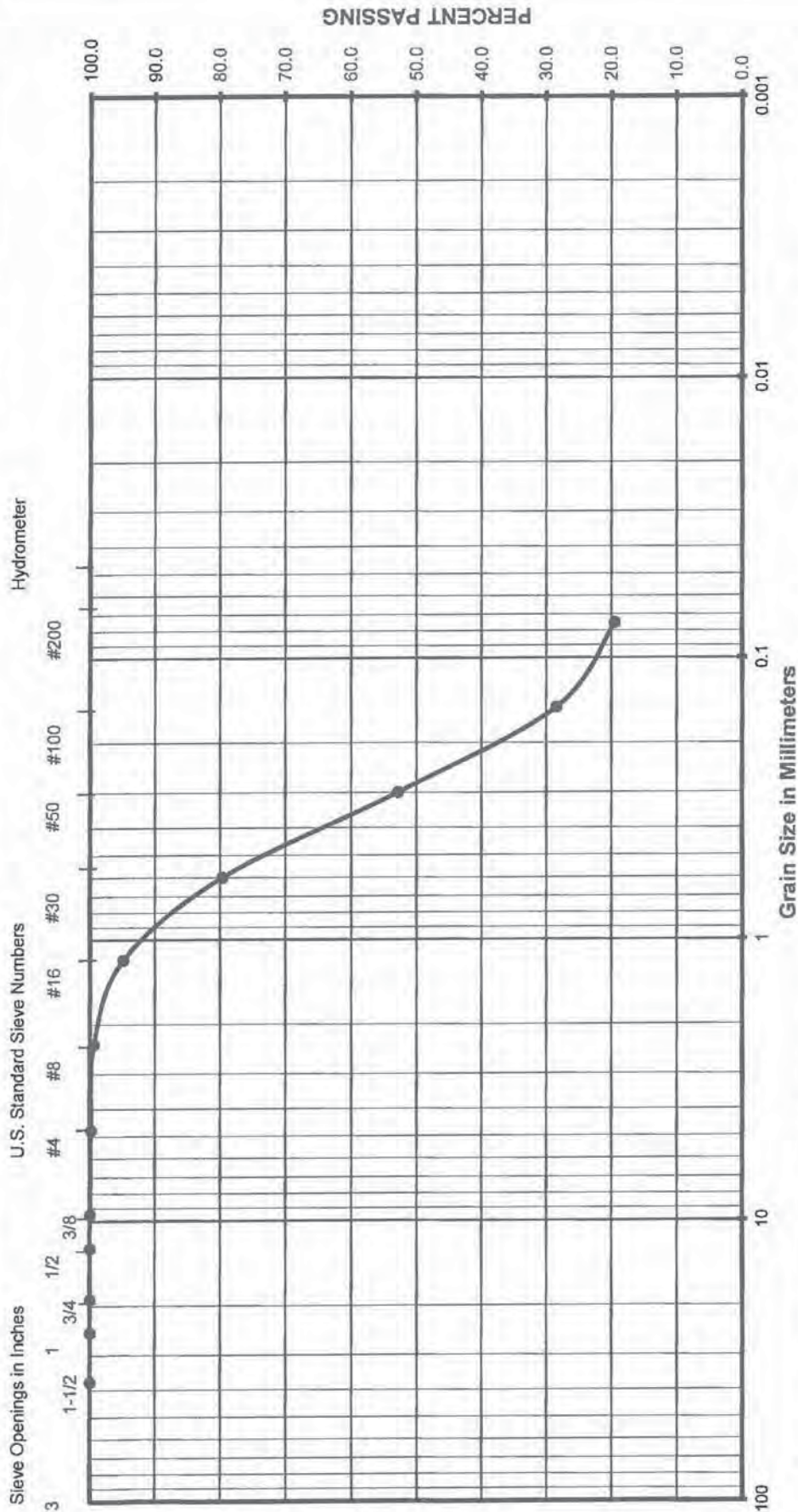
Shear Strength Diagram (Direct Shear)
ASTM D - 3080 / AASHTO T - 236

Project Number	Boring No. & Depth	Soil Type	Date
1214090	B1 @ 2-3'	SM	10/10/2014



Krazan Testing Laboratory

Grain Size Analysis



Gravel		Sand			Silt or Clay
		Fine	Coarse		

(Unified Soils Classification)

Project Name
 Project Number
 Soil Classification
 Sample Number

Atascadero Family Apartments
 1214090
 SM
 B3 @ 2-3'

APPENDIX B

EARTHWORK SPECIFICATIONS

GENERAL

When the text of the report conflicts with the general specifications in this appendix, the recommendations in the report have precedence.

SCOPE OF WORK: These specifications and applicable plans pertain to and include all earthwork associated with the site rough grading, including but not limited to the furnishing of all labor, tools, and equipment necessary for site clearing and grubbing, stripping, preparation of foundation materials for receiving fill, excavation, processing, placement and compaction of fill and backfill materials to the lines and grades shown on the project grading plans, and disposal of excess materials.

PERFORMANCE: The Contractor shall be responsible for the satisfactory completion of all earthwork in accordance with the project plans and specifications. This work shall be inspected and tested by a representative of Krazan and Associates, Inc., hereinafter known as the Soils Engineer and/or Testing Agency. Attainment of design grades when achieved shall be certified to by the project Civil Engineer. Both the Soils Engineer and the Civil Engineer are the Owner's representatives. If the Contractor should fail to meet the technical or design requirements embodied in this document and on the applicable plans, he shall make the necessary readjustments until all work is deemed satisfactory as determined by both the Soils Engineer and the Civil Engineer. No deviation from these specifications shall be made except upon written approval of the Soils Engineer, Civil Engineer or project Architect.

No earthwork shall be performed without the physical presence or approval of the Soils Engineer. The Contractor shall notify the Soils Engineer at least 2 working days prior to the commencement of any aspect of the site earthwork.

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the Contractor shall defend, indemnify and hold the Owner and the Engineers harmless from any and all liability, real or alleged, in connection with the performance of work on this project, except for liability arising from the soil negligence of the Owner or the Engineers.

TECHNICAL REQUIREMENTS: All compacted materials shall be densified to a density not less than 90 percent relative compaction based on ASTM Test Method D1557, UBC or CAL-216, as specified in the technical portion of the Soil Engineer's report. The location and frequency of field density tests shall be as determined by the Soils Engineer. The results of these tests and compliance with these specifications shall be the basis upon which satisfactory completion of work will be judged by the Soils Engineer.

SOILS AND FOUNDATION CONDITIONS: The Contractor is presumed to have visited the site and to have familiarized himself with existing site conditions and the contents of the data presented in the soil report.

The Contractor shall make his own interpretation of the data contained in said report, and the Contractor shall not be relieved of liability under the Contractor for any loss sustained as a result of any variance between conditions indicated by or deduced from said report and the actual conditions encountered during the progress of the work.

DUST CONTROL: The work includes dust control as required for the alleviation or prevention of any dust nuisance on or about the site or the borrow area, or off-site if caused by the Contractor's operation either during the performance of the earthwork or resulting from the conditions in which the Contractor leaves the site. The Contractor shall assume all liability, including court costs of codefendants, for all claims related to dust or windblown materials attributable to his work.

SITE PREPARATION

Site preparation shall consist of site clearing and grubbing and the preparations of foundation materials for receiving fill.

CLEARING AND GRUBBING: The Contractor shall accept the site in this present condition and shall demolish and/or remove from the area of designated project, earthwork all structures, both surface and subsurface, trees, brush, roots, debris, organic matter, and all other matter determined by the Soils Engineer to be deleterious. Such materials shall become the property of the Contractor and shall be removed from the site.

Tree root systems in proposed building areas should be removed to a minimum depth of 3 feet and to such a extent which would permit removal of all roots larger than 1 inch. Tree root removed in parking areas may be limited to the upper 1½ feet of the ground surface. Backfill or tree root excavation should not be permitted until all exposed surfaces have been inspected and the Soils Engineer is present for the proper control of backfill placement and compaction. Burning in areas which are to receive fill materials shall not be permitted.

SUBGRADE PREPARATION: Surfaces to receive Engineered Fill, shall be prepared as outlined above, scarified to a depth of 12 inches, moisture-conditioned as necessary, and recompactd to 90 percent relative compaction.

Loose soil areas, areas of uncertified fill, and/or areas of disturbed soils shall be moisture-conditioned as necessary and recompactd to 90 percent relative compaction. All ruts, hummocks, or other uneven surface features shall be removed by surface grading prior to placement of any fill materials. All areas, which are to receive fill materials, shall be approved by the Soils Engineer prior to the placement of any of the fill material.

EXCAVATION: All excavation shall be accomplished to the tolerance normally defined by the Civil Engineer as shown on the project grading plans. All over excavation below the grades specified shall be backfilled at the Contractor's expense and shall be compacted in accordance with the applicable technical requirements.

FILL AND BACKFILL MATERIAL: No material shall be moved or compacted without the presence of the Soils Engineer. Material from the required site excavation may be utilized for construction site fills provided prior approval is given by the Soils Engineer. All materials utilized for constructing site fills shall be free from vegetation or other deleterious matter as determined by the Soils Engineer.

PLACEMENT, SPREADING AND COMPACTION: The placement and spreading of approved fill materials and the processing and compaction of approved fill and native materials shall be the responsibility of the Contractor. However, compaction of fill materials by flooding, ponding, or jetting shall not be permitted unless specifically approved by local code, as well as the Soils Engineer.

Both cut and fill shall be surface compacted to the satisfaction of the Soils Engineer prior to final acceptance.

SEASONAL LIMITS: No fill material shall be placed, spread, or rolled while it is frozen or thawing or during unfavorable wet weather conditions. When the work is interrupted by heavy rains, fill operations shall not be resumed until the Soils Engineer indicates that the moisture content and density of previously placed fill are as specified.

APPENDIX C

PAVEMENT SPECIFICATIONS

1. DEFINITIONS - The term "pavement" shall include asphaltic concrete surfacing, untreated aggregate base, and aggregate subbase. The term "subgrade" is that portion of the area on which surfacing, base, or subbase is to be placed.

The term "Standard Specifications": hereinafter referred to is the January 1991 Standard Specifications of the State of California, Department of Transportation, and the "Materials Manual" is the Materials Manual of Testing and Control Procedures, State of California, Department of Public Works, Division of Highways. The term "relative compaction" refers to the field density expressed as a percentage of the maximum laboratory density as defined in the applicable tests outlined in the Materials Manual.

2. SCOPE OF WORK - This portion of the work shall include all labor, materials, tools, and equipment necessary for, and reasonably incidental to the completion of the pavement shown on the plans and as herein specified, except work specifically notes as "Work Not Included."

3. PREPARATION OF THE SUBGRADE - The Contractor shall prepare the surface of the various subgrades receiving subsequent pavement courses to the lines, grades, and dimensions given on the plans. The upper 12 inches of the soil subgrade beneath the pavement section shall be compacted to a minimum relative compaction of 90 percent. The finished subgrades shall be tested and approved by the Soils Engineer prior to the placement of additional pavement courses.

4. UNTREATED AGGREGATE BASE - The aggregate base material shall be spread and compacted on the prepared subgrade in conformity with the lines, grades, and dimensions shown on the plans. The aggregate base material shall conform to the requirements of Section 26 of the Standard Specifications for Class II material, 1½ inches maximum size. The aggregate base material shall be compacted to a minimum relative compaction of 95 percent. The aggregate base material shall be spread and compacted in accordance with Section 26 of the Standard Specifications. The aggregate base material shall be spread in layers not exceeding 6 inches and each layer of aggregate material course shall be tested and approved by the Soils Engineer prior to the placement of successive layers.

5. AGGREGATE SUBBASE - The aggregate subbase shall be spread and compacted on the prepared subgrade in conformity with the lines, grades, and dimensions shown on the plans. The aggregate subbase material shall conform to the requirements of Section 25 of the Standard Specifications for Class II material. The aggregate subbase material shall be compacted to a minimum relative compaction of 95 percent, and it shall be spread and compacted in accordance with Section 25 of the Standard Specifications. Each layer of aggregate subbase shall be tested and approved by the Soils Engineer prior to the placement of successive layers.

6. ASPHALTIC CONCRETE SURFACING - Asphaltic concrete surfacing shall consist of a mixture of mineral aggregate and paving grade asphalt, mixed at a central mixing plant and spread and compacted on a prepared base in conformity with the lines, grades, and dimensions shown on the plans. The viscosity grade of the asphalt shall be AR-4000. The mineral aggregate shall be Type B, ½ inch maximum size, medium grading, and shall conform to the requirements set forth in Section 39 of the Standard Specifications. The drying, proportioning, and mixing of the materials shall conform to Section 39.

The prime coat, spreading and compacting equipment, and spreading and compacting the mixture shall conform to the applicable chapters of Section 39, with the exception that no surface course shall be placed when the atmospheric temperature is below 50 degrees F. The surfacing shall be rolled with a combination steel-wheel and pneumatic rollers, as described in Section 39-6. The surface course shall be placed with an approved self-propelled mechanical spreading and finishing machine.

7. FOG SEAL COAT - The fog seal (mixing type asphaltic emulsion) shall conform to and be applied in accordance with the requirements of Section 37.

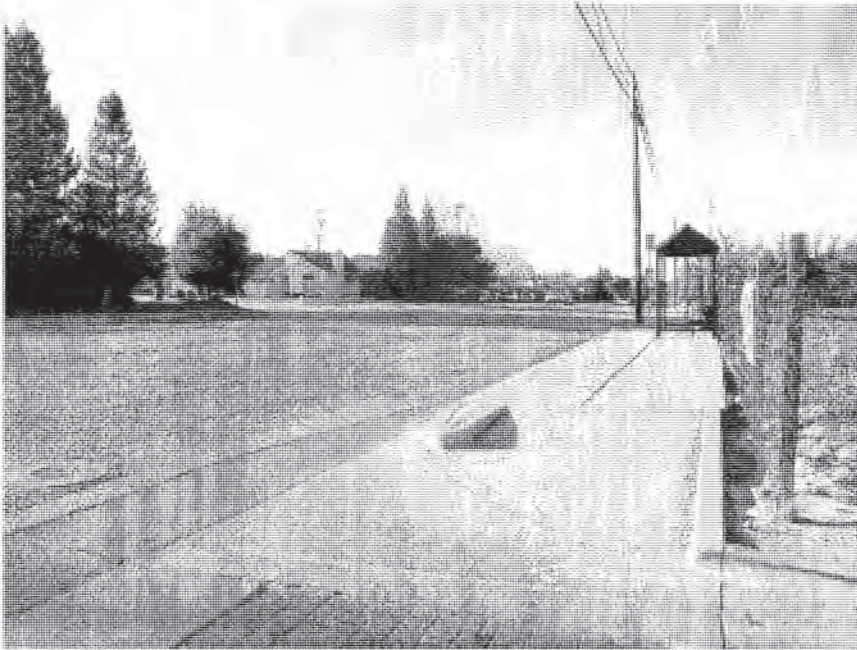


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Attachment 16
Traffic Impact Report
See Attached

Traffic Impact Study for Atascadero Family Apartments



Prepared for the
City of Atascadero



Submitted by
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April 17, 2015



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- A Collision Rate Calculations
- B Intersection Level of Service Calculations
- C Interchange Area Queuing Calculations
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Executive Summary

The proposed Atascadero Family Apartments project would result in construction of 86 apartment units on a lot currently occupied by a single family dwelling. The project's anticipated trip generation includes 562 daily trips on average during a weekday, with 43 trips during the a.m. peak hour and 52 during the p.m. peak hour.

Analysis indicates that the five study intersections are operating acceptably under Existing conditions both with and without project, and will continue to do so under projected Future volumes and with the addition of project generated traffic.

Traffic volumes generated by the project are not expected to significantly affect operations at the US 101 freeway interchanges with Santa Barbara Road and Santa Rosa Road.

Vehicles will access the project via one full access driveway on Avenida Maria east of its intersection with El Camino Real. Two additional driveways on El Camino Real and Jornada Lane will provide access for emergency vehicles. Sight distance at the project driveway is adequate for both entering and exiting drivers.

A traffic signal is not warranted at the intersection of El Camino Real/Avenida Maria.

Upon the construction of sidewalks along the site's frontage, facilities for alternative modes will be adequate.

Introduction

Introduction

This report presents an analysis of the potential traffic impacts that would be associated with development of a proposed 86-unit apartment complex to be located near the 10700 block of El Camino Real in the City of Atascadero. The traffic study was completed in accordance with the criteria established by the City of Atascadero, and is consistent with standard traffic engineering techniques.

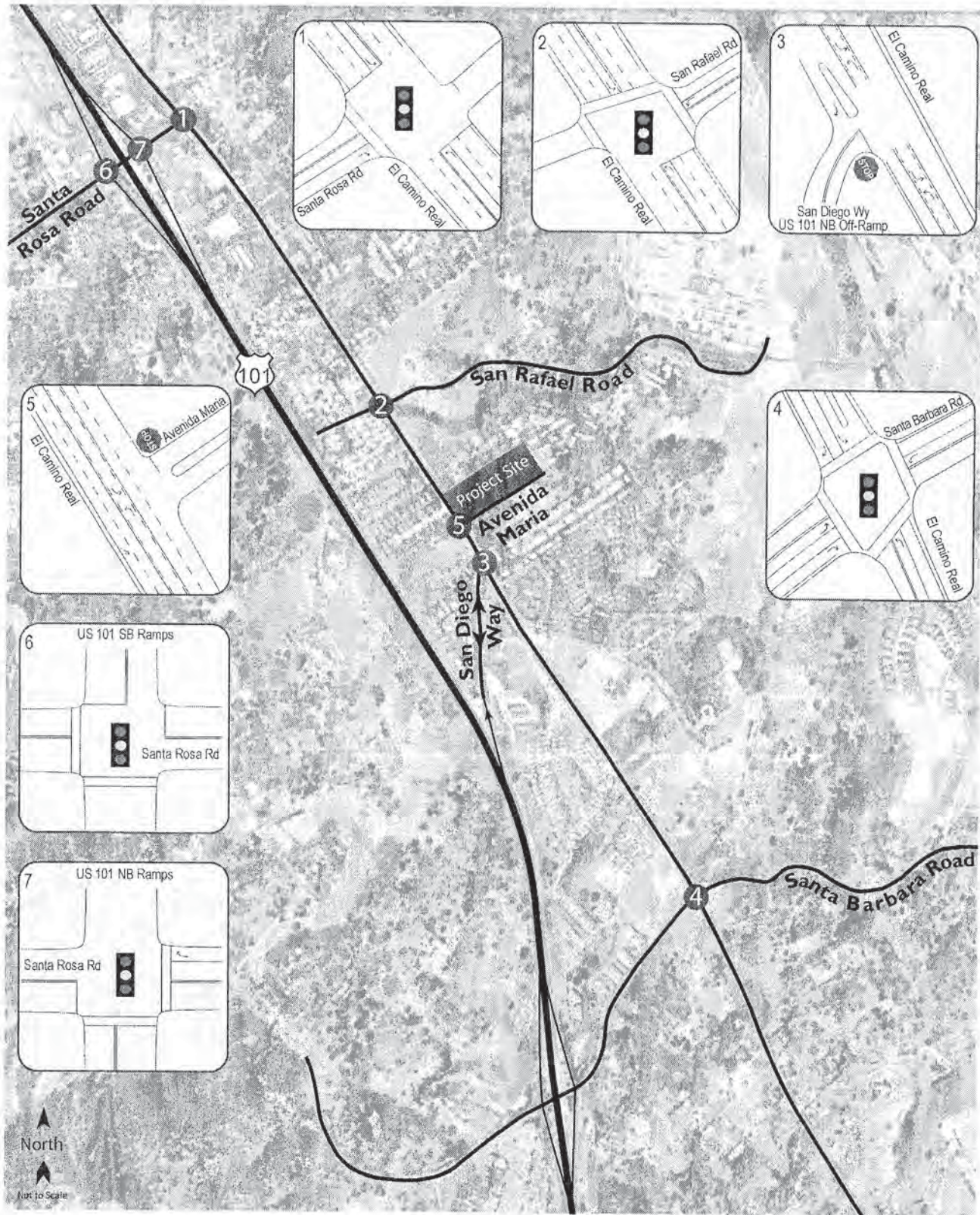
Prelude

The purpose of a traffic impact study is to provide City staff and policy makers with data that they can use to make an informed decision regarding the potential traffic impacts of a proposed project, and any associated improvements that would be required in order to mitigate these impacts to a level of insignificance as defined by the City's General Plan or other policies. Vehicular traffic impacts are typically evaluated by determining the number of new trips that the proposed use would be expected to generate, distributing these trips to the surrounding street system based on existing travel patterns or anticipated travel patterns specific to the proposed project, then analyzing the impact the new traffic would be expected to have on critical intersections or roadway segments. Impacts relative to access for pedestrians, bicyclists, and to transit are also addressed.

Project Profile

The project would result in construction of an apartment complex consisting of 86 dwelling units. The project site is currently occupied by a single family home and is bounded by Jornada Lane to the north, Avenida Maria to the south, and El Camino Real to the west, as shown in Figure 1.

LEGEND
 ● Study Intersection



Traffic Study for Atascadero Family Apartments
Figure I – Study Area and Lane Configurations

Transportation Setting

Operational Analysis

Study Area and Periods

The study area consists of the following intersections:

1. El Camino Real/Santa Rosa Road
2. El Camino Real/San Rafael Road
3. El Camino Real/San Diego Way-US 101 Northbound Off-Ramp
4. El Camino Real/Santa Barbara Road
5. El Camino Real/Avenida Maria
6. US 101 Southbound On-Ramp-West Front Road/Santa Rosa Road
7. US 101 Northbound On-Ramp-East Front Road/Santa Rosa Road

Operating conditions during the a.m. and p.m. peak periods were evaluated to capture the highest potential impacts for the proposed project as well as the highest volumes on the local transportation network. The morning peak hour occurs between 7:00 and 9:00 a.m. and reflects conditions during the home to work or school commute, while the p.m. peak hour occurs between 4:00 and 6:00 p.m. and typically reflects the highest level of congestion during the homeward bound commute.

Study Intersections

El Camino Real/Santa Rosa Road is a four-legged signalized intersection; the east leg is a driveway. Protected left-turn phasing is provided on the northbound and southbound approaches and a right turn overlap is provided on the eastbound approach. There are ladder-style (Continental) crosswalks across the north and west legs.

El Camino Real/San Rafael Road is a four-legged signalized intersection. The northbound and southbound approaches have protected left-turn phasing. The intersection's north, east, and west legs have ladder-style crosswalks.

El Camino Real/San Diego Way (US 101 NB Off-Ramp) is a "tee" intersection with a stop control on the eastbound San Diego Way approach. A center turn lane is provided on El Camino Real.

El Camino Real/Santa Barbara Road is a four-legged signalized intersection with crosswalks provided on all legs. The northbound and southbound approaches have protected left-turn phasing.

El Camino Real/Avenida Maria is a "tee" intersection with a stop control on the westbound Avenida Maria approach. The intersection provides access to the project site and there is a center turn lane on El Camino Real.

US 101 Southbound On-Ramp-West Front Road/Santa Rosa Road is a signalized four-legged intersection. A crosswalks exists on the south and west legs.

US 101 Northbound On-Ramp-East Front Road/Santa Rosa Road is a signalized four-legged intersection with crosswalks provided on the south and east legs.

The locations of the study intersections and the existing lane configurations and controls are shown in Figure 1.

Study Roadway

El Camino Real is identified as a Major Arterial in the City of Atascadero's General Plan. *El Camino Real* serves as a local parallel route to US 101 within the City. Near the southern city limit, *El Camino Real* consists of typical rural conditions, and lacks pedestrian and bicycle facilities in some areas with low-density commercial and residential uses. To the north, the arterial has a more urban configuration generally including pedestrian and bicycle facilities, as well as commercial development with on-street parking allowed in some areas. *El Camino Real* has two to four travel lanes, and planted medians and/or two-way left-turn lanes. *El Camino Real* has posted speed limits ranging from 25 to 45 mph, though within the study area, the posted speed limit is 45 mph.

Collision History

The collision history for the study area was reviewed to determine any trends or patterns that may indicate a safety issue. Collision rates were calculated based on records available from the California Highway Patrol as published in their Statewide Integrated Traffic Records System (SWITRS) reports. The most current five-year period available is January 2009 through December 2013.

As presented in Table I, the calculated collision rates for the study intersections were compared to average collision rates for similar facilities statewide, as indicated in *2010 Collision Data on California State Highways*, California Department of Transportation. All of the study intersections have calculated collision rates lower than the Statewide average. Copies of the collision rate calculations are provided in Appendix A.

Table I
Collision Rates at the Study Intersections

Study Intersection	Number of Collisions (2009-2013)	Calculated Collision Rate (c/mve)	Statewide Average Collision Rate (c/mve)
1. El Camino Real/Santa Rosa Rd	11	0.24	0.43
2. El Camino Real/San Rafael Rd	9	0.36	0.43
3. El Camino Real/San Diego Way	1	0.06	0.14
4. El Camino Real/Santa Barbara Rd	10	0.22	0.43
5. El Camino Real/Avenida Maria	0	0.00	0.14

Note: c/mve = collisions per million vehicles entering

Alternative Modes

Pedestrian Facilities

Pedestrian facilities include sidewalks, crosswalks, pedestrian signal phases, curb ramps, curb extensions, and various streetscape amenities such as lighting, benches, etc. In general, a network of sidewalks, crosswalks, pedestrian signals, and curb ramps provide access for pedestrians in the vicinity of the proposed project site; however, sidewalk gaps can be found along all of the roadways connecting to the project site. Existing gaps and obstacles along the connecting roadways impact convenient and continuous access for pedestrians and present safety concerns in those locations where appropriate pedestrian infrastructure would address potential conflict points.

- *El Camino Real* – Intermittent sidewalk coverage is provided on El Camino Real with significant gaps on one side of the street between San Rafael Road and Patria Circle. There is another large gap between Calle Cynthia and La Costa Lane. Sidewalks are provided along developed property frontages. Lighting is provided by overhead street lights.
- *Avenida Maria* – Continuous sidewalks are provided along the south side of the street but no sidewalks are provided along the project frontage.

Bicycle Facilities

The *Highway Design Manual*, California Department of Transportation (Caltrans), 2012, classifies bikeways into three categories:

- *Class I Multi-Use Path*: a completely separated right-of-way for the exclusive use of bicycles and pedestrians with cross flows of motorized traffic minimized.
- *Class II Bike Lane*: a striped and signed lane for one-way bike travel on a street or highway.
- *Class III Bike Route*: signing only for shared use with motor vehicles within the same travel lane on a street or highway.

In the project area, Class II bike lanes exist on El Camino Real between the northern city limits and southern city limits. Santa Rosa Road and Santa Barbara Road also have Class II bike lanes in the vicinity of the project. Bicyclists ride in the roadway and/or on sidewalks along all other streets within the project study area. Table 2 summarizes the existing and planned bicycle facilities in the project vicinity, as contained in the *Atascadero Bicycle Transportation Plan, 2010*.

**Table 2
Bicycle Facility Summary**

Status Facility	Class	Length (miles)	Begin Point	End Point
Existing				
El Camino Real	II	2.3	San Diego Rd	State Highway 41
El Camino Real	II	2.0	Southern City Limit	Santa Barbara Road
Santa Barbara Rd	II	0.51	US 101	Viejo Camino
Santa Rosa Rd	II	0.30	US 101	Atascadero
Planned				
Viejo Camino	II	1.25	El Camino Real	El Camino Real

Source: *Atascadero Bicycle Transportation Plan, 2010*

Transit Facilities

The Regional Transit Authority (RTA) provides regional service between Atascadero and surrounding communities in San Luis Obispo County. Route 9 provides service between the City of San Luis Obispo and San Miguel, with stops less than one-quarter mile from the project site at El Camino Real/Avenida Maria and El Camino Real/Patria Circle. The route operates Monday through Friday from 5:30 a.m. to 10:00 p.m. with approximately one-hour headways and thirty-minute headways during commute hours.

Two bicycles can be carried on most RTA buses. Bike rack space is on a first come, first served basis. Additional bicycles are allowed on RTA buses at the discretion of the driver.

Dial-a-ride, also known as paratransit, or door-to-door service, is available for those who are unable to independently use the transit system due to a physical or mental disability. Atascadero Dial-a-Ride is designed to serve the needs of individuals with disabilities within the City of Atascadero and the greater City of Atascadero area.

Capacity Analysis

Intersection Level of Service Methodologies

Level of Service (LOS) is used to rank traffic operation on various types of facilities based on traffic volumes and roadway capacity using a series of letter designations ranging from A to F. Generally, Level of Service A represents free flow conditions and Level of Service F represents forced flow or breakdown conditions. A unit of measure that indicates a level of delay generally accompanies the LOS designation.

The study intersections were analyzed using methodologies published in the *Highway Capacity Manual* (HCM), Transportation Research Board, 2000. This source contains methodologies for various types of intersection control, all of which are related to a measurement of delay in average number of seconds per vehicle.

The Levels of Service for the intersections with side-street stop controls, or those which are unsignalized and have one or two approaches stop controlled, were analyzed using the "Two-Way Stop-Controlled" intersection capacity method from the HCM. This methodology determines a level of service for each minor turning movement by estimating the level of average delay in seconds per vehicle. Results are presented for individual movements together with the weighted overall average delay for the intersection.

The study intersections that are currently controlled by a traffic signal were evaluated using the signalized methodology from the HCM. This methodology is based on factors including traffic volumes, green time for each movement, phasing, whether or not the signals are coordinated, truck traffic, and pedestrian activity. Average stopped delay per vehicle in seconds is used as the basis for evaluation in this LOS methodology. For purposes of this study, delays were calculated using optimized signal timing.

The ranges of delay associated with the various levels of service are indicated in Table 3.

Table 3
Intersection Level of Service Criteria

LOS	Two-Way Stop-Controlled	Signalized
A	Delay of 0 to 10 seconds. Gaps in traffic are readily available for drivers exiting the minor street.	Delay of 0 to 10 seconds. Most vehicles arrive during the green phase, so do not stop at all.
B	Delay of 10 to 15 seconds. Gaps in traffic are somewhat less readily available than with LOS A, but no queuing occurs on the minor street.	Delay of 10 to 20 seconds. More vehicles stop than with LOS A, but many drivers still do not have to stop.
C	Delay of 15 to 25 seconds. Acceptable gaps in traffic are less frequent, and drivers may approach while another vehicle is already waiting to exit the side street.	Delay of 20 to 35 seconds. The number of vehicles stopping is significant, although many still pass through without stopping.
D	Delay of 25 to 35 seconds. There are fewer acceptable gaps in traffic, and drivers may enter a queue of one or two vehicles on the side street.	Delay of 35 to 55 seconds. The influence of congestion is noticeable, and most vehicles have to stop.
E	Delay of 35 to 50 seconds. Few acceptable gaps in traffic are available, and longer queues may form on the side street.	Delay of 55 to 80 seconds. Most, if not all, vehicles must stop and drivers consider the delay excessive.
F	Delay of more than 50 seconds. Drivers may wait for long periods before there is an acceptable gap in traffic for exiting the side streets, creating long queues.	Delay of more than 80 seconds. Vehicles may wait through more than one cycle to clear the intersection.

Reference: *Highway Capacity Manual*, Transportation Research Board, 2000

Analysis of Interchange Area Queuing

Adverse queuing conditions can result in traffic impacts at closely spaced intersections, particularly at freeway interchanges where queues can potentially affect mainline freeway operation. For these reasons, an analysis of queuing was performed for the Santa Barbara Road and Santa Rosa Road corridors between the US 101 Southbound Ramps and El Camino Real Road, including the US 101 Northbound Ramps intersection. The projected vehicle queues were determined using the applied timing schemes in SIMTRAFFIC, which is a traffic simulation extension of SYNCHRO. SIMTRAFFIC generates random "seeding" of vehicles on the street network and then simulates how vehicles will flow through the system using the actual volumes, phasing, and timing developed in SYNCHRO. Because each SIMTRAFFIC run is unique, a series of five separate "runs" was used to develop queuing estimates. The 95th percentile queues projected for each lane in the five SIMTRAFFIC runs were averaged and are reported as the maximum queue.

Traffic Signal Warrants

The point at which signalization should be considered as a mitigation measure was evaluated based on information contained in the *California Manual on Uniform Traffic Control Devices for Streets and Highways*, Caltrans, 2012, which has been adopted by the State of California as a replacement for the *Caltrans Traffic Manual*. For the purposes of this study, Warrant 3, the Peak Hour volume warrant, which determines the need for traffic control based on the highest volume hour of the day, was used as an initial indication of traffic control needs. The use of this signal warrant is common practice for planning studies since the peak hour volumes are readily available. Other warrants, which are more generally applicable to existing traffic issues, require collection of traffic volumes for the highest four or eight hours of the day, review of the collision history, and evaluation of the system surrounding the location.

Warrant 3, is often the first warrant to be met. Under the Peak Hour Warrant the need for a traffic control signal shall be considered if an engineering study finds that the criteria in either of the following two categories are met:

- A. If all three of the following conditions exist for the same 1 hour (any four consecutive 15-minute periods) of an average day:
 1. The total stopped time delay experienced by the traffic on one minor-street approach (one direction only) controlled by a STOP sign equals or exceeds: 4 vehicle-hours for a one-lane approach; or 5 vehicle-hours for a two-lane approach, and
 2. The volume on the same minor-street approach (one direction only) equals or exceeds 100 vehicles per hour for one moving lane of traffic or 150 vehicles per hour for two moving lanes, and
 3. The total entering volume serviced during the hour equals or exceeds 650 vehicles per hour for intersections with three approaches or 800 vehicles per hour for intersections with four or more approaches.
- B. The plotted point representing the vehicles per hour on the major street (total of both approaches) and the corresponding vehicles per hour on the higher-volume minor-street approach (one direction only) for 1 hour (any four consecutive 15-minute periods) of an average day falls above the applicable curve in Figure 4C-3 for the existing combination of approach lanes.

Traffic Operation Standards

The City of Atascadero's adopted LOS standard is contained in Policy I.3 of the 2025 Atascadero General Plan. This standard allows for a minimum operation of LOS C or better at all intersections and on all

arterial and collector roads. Upon City Council approval, LOS D is acceptable where residences are not directly impacted and improvements made meet City standards.

The City of Atascadero LOS standard does not differentiate between signalized intersections and other types of controls. Since application of the LOS C standard to individual movements at two- or all-way stop-controlled intersections may lead to recommendations which create unnecessary delay or maintenance expenses, mitigation measures such as a traffic signal, additional lanes, or revised right-of-way controls were only considered if operation on any single movement fell to LOS F, indicating an average delay in excess of 50 seconds, and traffic signal warrants were met. This approach is common practice in evaluating unsignalized intersections and is acceptable to the City.

Caltrans maintains a target LOS at the transition between LOS C and LOS D for freeway facilities where LOS C is considered acceptable and LOS D exceeds the standard.

Existing Conditions

The Existing Conditions scenario provides an evaluation of current operation based on existing traffic volumes during the a.m. and p.m. peak periods. This condition does not include project-generated traffic volumes. Volume data was collected in May 2013 and January 2015 while local schools were in session.

Intersection Levels of Service

Under existing conditions, the study intersections are operating acceptably at LOS A or B overall as well as on individual approaches. A summary of the intersection level of service calculations is contained in Table 4. The existing traffic volumes are shown in Figure 2, and copies of the Level of Service calculations are provided in Appendix B.

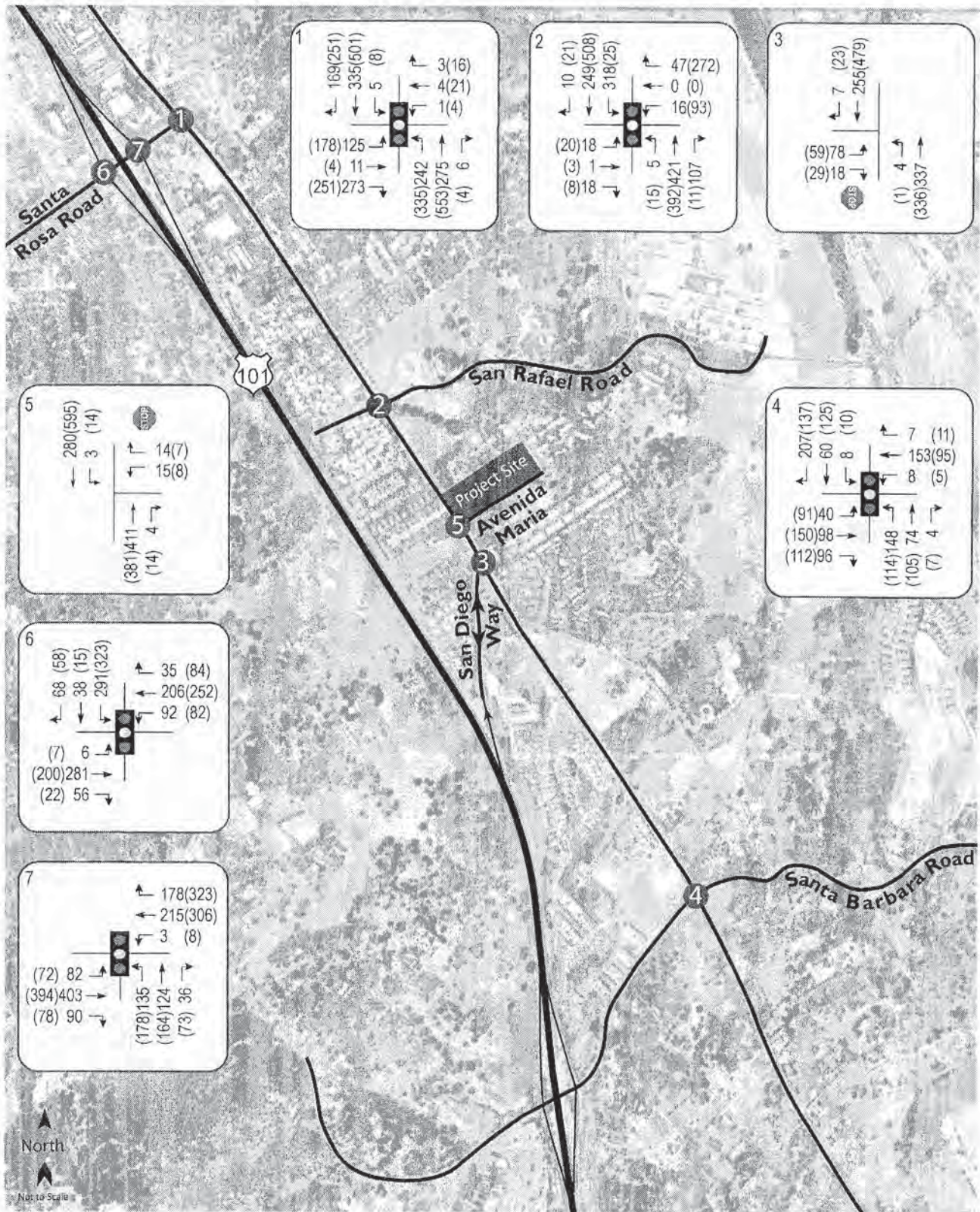
Table 4
Existing Peak Hour Intersection Levels of Service

Study Intersection Approach	Existing Conditions			
	AM Peak		PM Peak	
	Delay	LOS	Delay	LOS
1. El Camino Real/Santa Rosa Rd	17.0	B	18.7	B
2. El Camino Real/San Rafael Rd	12.6	B	13.3	B
3. El Camino Real/San Diego Way	1.7	A	1.2	A
<i>Eastbound Approach</i>	<i>12.1</i>	<i>B</i>	<i>13.0</i>	<i>B</i>
4. El Camino Real/Santa Barbara Rd	16.2	B	15.3	B
5. El Camino Real/Avenida Maria	0.5	A	0.3	A
<i>Westbound Approach</i>	<i>11.5</i>	<i>B</i>	<i>12.5</i>	<i>B</i>
6. US 101 SB On-Ramp-W Front Rd/Santa Rosa Rd	14.6	B	15.9	B
7. US 101 NB On-Ramp-E Front Rd/Santa Rosa Rd	14.4	B	15.5	B

Notes: Delay is measured in average seconds per vehicle; LOS = Level of Service; Results for minor approaches to two-way stop-controlled intersections are indicated in *italics*

LEGEND

- Study Intersection
- xx A.M. Peak Hour Volume
- (xx) P.M. Peak Hour Volume



Traffic Study for Atascadero Family Apartments
Figure 2 – Existing Traffic Volumes

Future Conditions

Segment volumes for the horizon year of 2035 were obtained from the regional travel demand model maintained by the San Luis Obispo Council of Governments (SLOCOG) and translated to turning movement volumes at each of the study intersections using the "Furness" method. The Furness method is an iterative process that employs existing turn movement data, existing link volumes and future link volumes to project likely turning future movement volumes at intersections.

Under the anticipated Future volumes, the study intersections are expected to operate acceptably at LOS A or B both overall and on all approaches. Future operating conditions are summarized in Table 5, and Future volumes are shown in Figure 3.

Table 5
Future Peak Hour Levels of Service

Study Intersection Approach	Future Conditions			
	AM Peak		PM Peak	
	Delay	LOS	Delay	LOS
1. El Camino Real/Santa Rosa Rd	17.1	B	19.1	B
2. El Camino Real/San Rafael Rd	12.6	B	13.2	B
3. El Camino Real/San Diego Way	1.7	A	1.2	A
<i>Eastbound Approach</i>	<i>12.2</i>	<i>B</i>	<i>13.1</i>	<i>B</i>
4. El Camino Real/Santa Barbara Rd	16.2	B	15.2	B
5. El Camino Real/Avenida Maria	1.1	A	0.6	A
<i>Westbound Approach</i>	<i>11.9</i>	<i>B</i>	<i>13.1</i>	<i>B</i>
6. US 101 SB On-Ramp-W Front Rd/Santa Rosa Rd	16.1	B	19.3	B
7. US 101 NB On-Ramp-E Front Rd/Santa Rosa Rd	14.9	B	19.7	B

Notes: Delay is measured in average seconds per vehicle; LOS = Level of Service; Results for minor approaches to two-way stop-controlled intersections are indicated in *italics*

Project Description

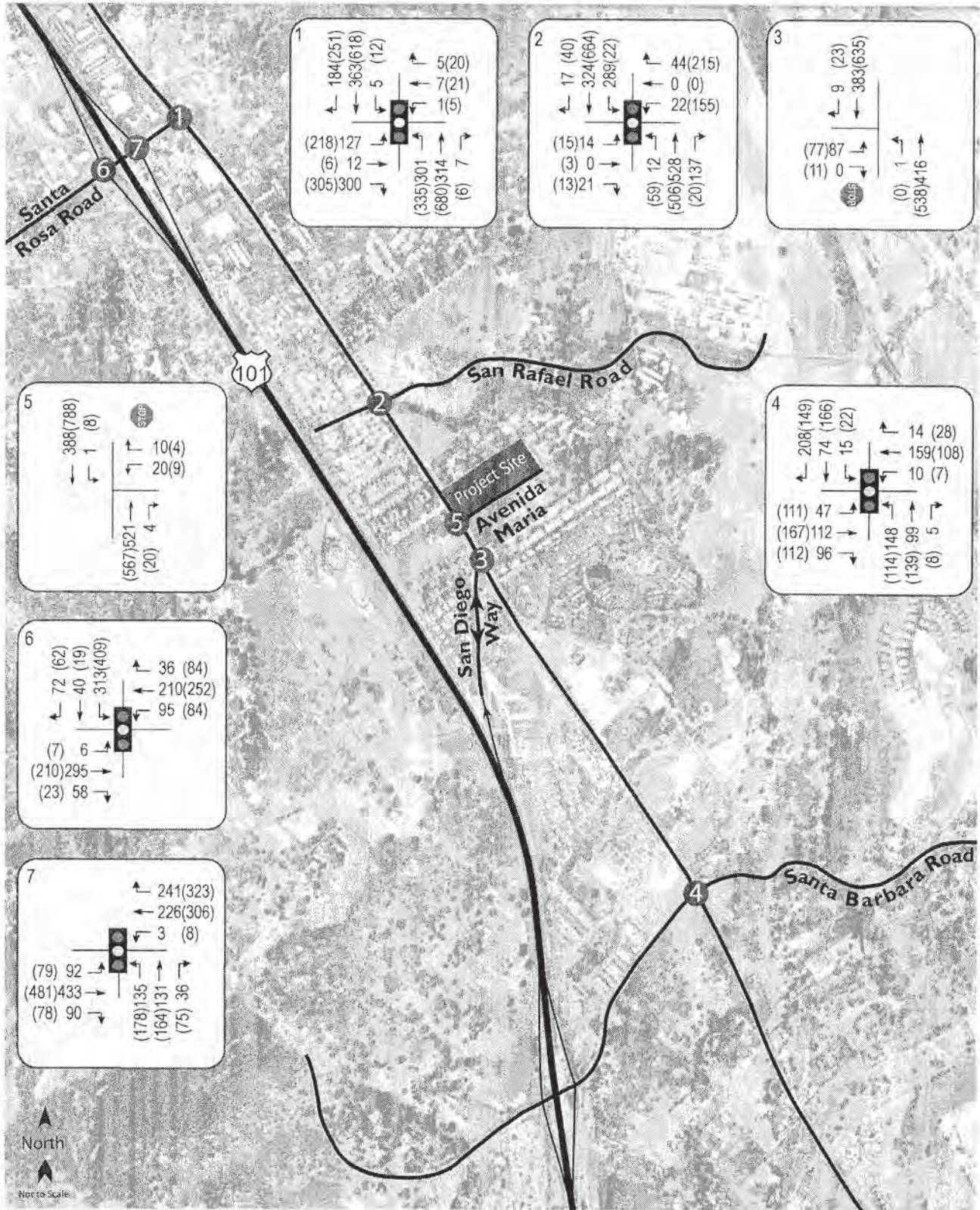
The proposed project site is located on the 10700 block of El Camino Real, between Avenida Maria and Jornada Lane, and would allow development of 86 apartments on a lot that is currently occupied by one housing unit. The proposed project site plan is shown in Figure 4. The project would be served by one full access driveway on Avenida Maria, and two driveways for use by emergency vehicles on El Camino Real and Jornada Lane.

Trip Generation

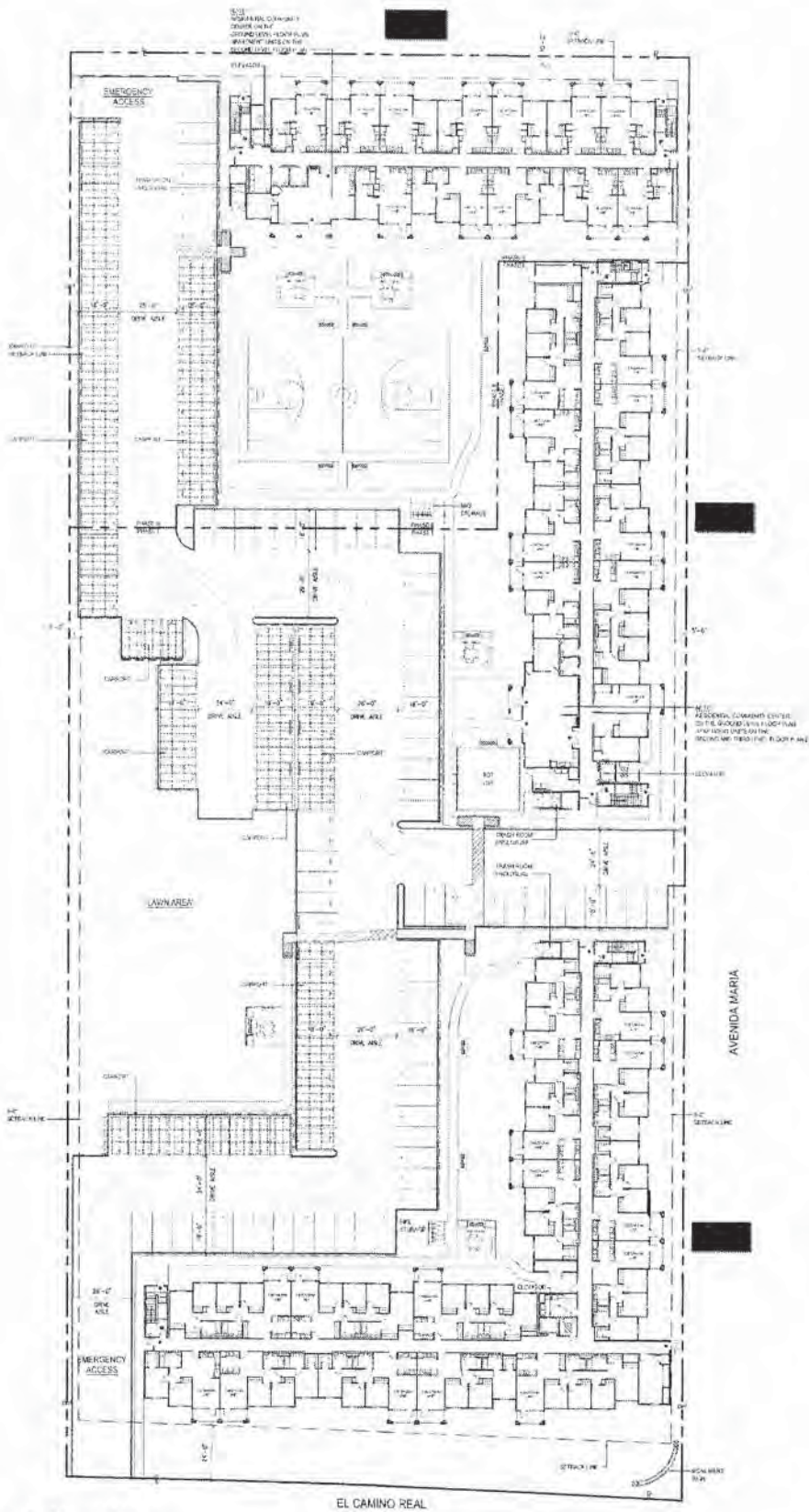
The anticipated trip generation for the proposed project was estimated using standard rates published by the Institute of Transportation Engineers (ITE) in *Trip Generation Manual*, 9th Edition, 2012 for "Apartment" (ITE LU #220). Because the site is currently occupied by a single family residence, the trip generation of the existing use was considered. "Single Family Detached Housing" rates (ITE LU #210) were applied to the existing home.

LEGEND

- Study Intersection
- xx A.M. Peak Hour Volume
- (xx) P.M. Peak Hour Volume



Traffic Study for Atascadero Family Apartments
Figure 3 – Future Traffic Volumes



Y&M Architects
02.11.15

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Traffic Study for Atascadero Family Apartments
Figure 4 – Site Plan



Total Project Trip Generation

The expected trip generation potential for the proposed project is indicated in Table 6, with deductions taken for trips made to and from the single family residence at the site, which will cease with the construction of the project. The proposed project is expected to generate an average of 572 trips per day, including 44 trips during the a.m. peak hour and 53 during the p.m. peak hour. After deductions are taken into account, the project would be expected to generate 562 new trips on a daily basis, including 43 during the morning peak hour and 52 during the evening peak hour; these new trips represent the increase in traffic associated with the project compared to existing volumes.

**Table 6
Trip Generation Summary**

Land Use	Units	Daily		AM Peak Hour				PM Peak Hour			
		Rate	Trips	Rate	Trips	In	Out	Rate	Trips	In	Out
Existing											
Single Family Detached Housing	1 du	9.52	-10	0.75	-1	0	-1	1.00	-1	0	-1
Proposed											
Apartment	86 du	6.65	572	0.51	44	9	35	0.62	53	35	18
Total			562		43	9	34		52	35	17

Note: du = dwelling unit

Trip Distribution

The pattern used to allocate new project trips to the street network was based on typical home-to-work or work-to-home trips. The applied distribution assumptions and resulting trips are shown in Table 7.

**Table 7
Trip Distribution Assumptions**

Route	Percent	Daily Trips	AM Trips	PM Trips
US 101 (to/from north)	25%	140	11	13
US 101 (to/from south)	15%	84	6	7
El Camino Real (to/from north)	30%	169	13	16
El Camino Real (to/from south)	30%	169	13	16
TOTAL	100%	562	43	52

Intersection Operation

Existing plus Project Conditions

Upon the addition of project-related traffic to the existing volumes, the study intersections are expected to continue operating acceptably overall at LOS A or B. These results are summarized in Table 8. Project traffic volumes are shown in Figure 5.

LEGEND

- Study Intersection
- xx A.M. Peak Hour Volume
- (xx) P.M. Peak Hour Volume

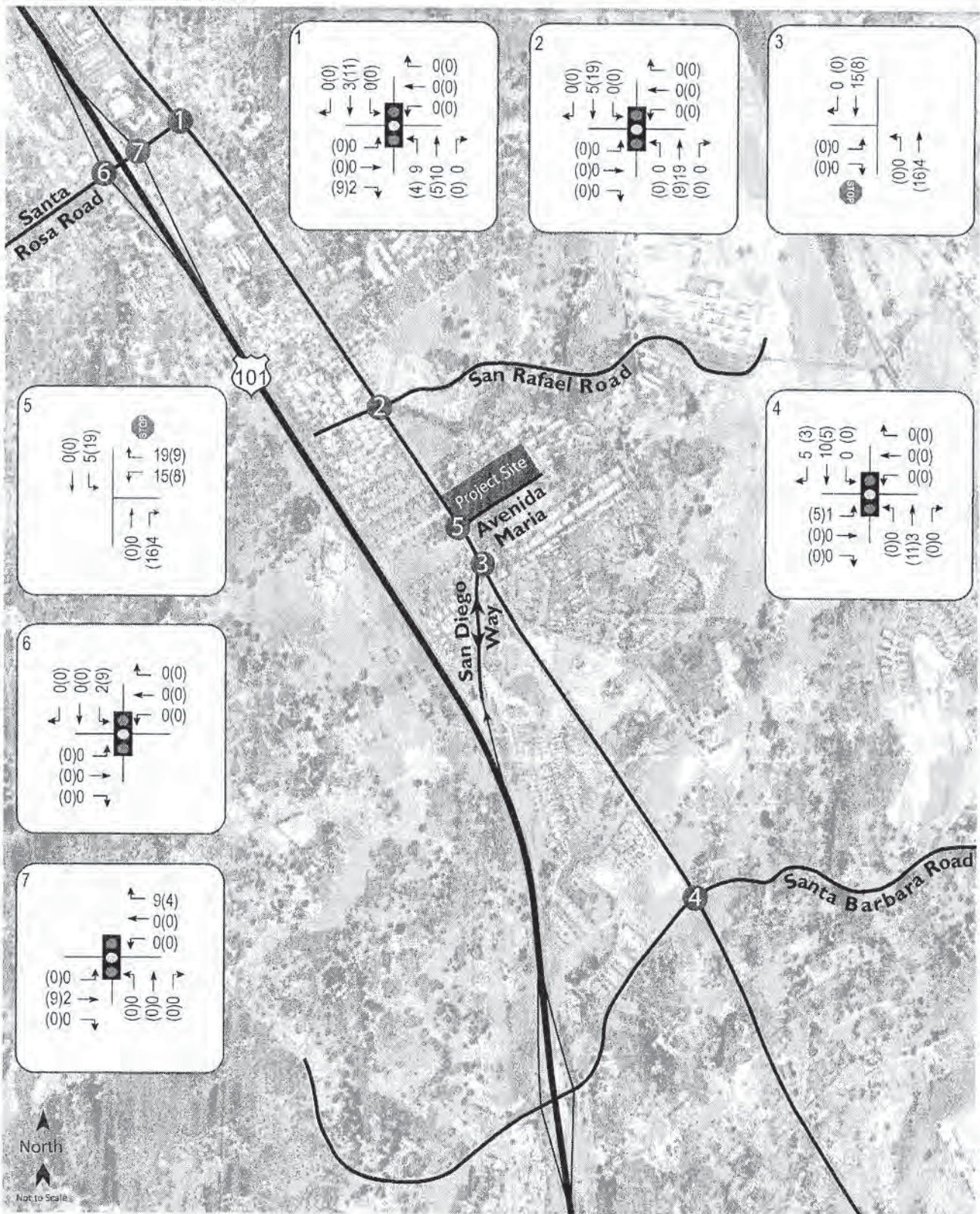


Table 8
Existing and Existing plus Project Peak Hour Intersection Levels of Service

Study Intersection Approach	Existing Conditions				Existing plus Project			
	AM Peak		PM Peak		AM Peak		PM Peak	
	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
1. El Camino Real/Santa Rosa Rd	17.0	B	18.7	B	17.1	B	19.1	B
2. El Camino Real/San Rafael Rd	12.6	B	13.3	B	12.6	B	13.2	B
3. El Camino Real/San Diego Way <i>Eastbound approach</i>	1.7	A	1.2	A	1.7	A	1.2	A
	<i>12.1</i>	<i>B</i>	<i>13.0</i>	<i>B</i>	<i>12.2</i>	<i>B</i>	<i>13.1</i>	<i>B</i>
4. El Camino Real/Santa Barbara Rd	16.2	B	15.3	B	16.2	B	15.2	B
5. El Camino Real/Avenida Maria <i>Westbound Approach</i>	0.5	A	0.3	A	1.1	A	0.6	A
	<i>11.5</i>	<i>B</i>	<i>12.5</i>	<i>B</i>	<i>11.9</i>	<i>B</i>	<i>13.1</i>	<i>B</i>
6. US 101 SB On-Ramp-W Front Rd/ Santa Rosa Rd	14.6	B	15.9	B	14.7	B	16.2	B
7. US 101 NB On-Ramp-E Front Rd/ Santa Rosa Rd	14.4	B	15.5	B	14.4	B	15.8	B

Notes: Delay is measured in average seconds per vehicle; LOS = Level of Service; Results for minor approaches to two-way stop-controlled intersections are indicated in *italics*

Finding: The study intersections are expected to continue operating acceptably at the same levels of service upon the addition of project-generated traffic.

Future plus Project Conditions

Upon the addition of project-generated traffic to the anticipated Future volumes, the study intersections are expected to operate acceptably at LOS A or B overall, with the side streets at LOS C or better. The Future plus Project operating conditions are summarized in Table 9.

**Table 9
Future and Future plus Project Peak Hour Levels of Service**

Study Intersection Approach	Future Conditions				Future plus Project			
	AM Peak		PM Peak		AM Peak		PM Peak	
1. El Camino Real/Santa Rosa Rd	17.5	B	19.3	B	17.6	B	19.7	B
2. El Camino Real/San Rafael Rd	11.5	B	12.2	B	11.5	B	12.1	B
3. El Camino Real/San Diego Way Eastbound Approach	1.3	A	1.1	A	1.2	A	1.1	A
	<i>12.9</i>	<i>B</i>	<i>15.6</i>	<i>C</i>	<i>13.0</i>	<i>B</i>	<i>15.8</i>	<i>C</i>
4. El Camino Real/Santa Barbara Rd	15.9	B	15.2	B	15.9	B	15.2	B
5. El Camino Real/Avenida Maria Westbound Approach	0.5	A	0.2	A	1.0	A	0.5	A
	<i>13.8</i>	<i>B</i>	<i>17.2</i>	<i>C</i>	<i>13.9</i>	<i>B</i>	<i>17.4</i>	<i>C</i>
6. US 101 SB On-Ramp-W Front Rd/ Santa Rosa Rd	16.1	B	19.3	B	16.2	B	19.7	B
7. US 101 NB On-Ramp-E Front Rd/ Santa Rosa Rd	14.9	B	19.7	B	14.8	B	20.3	B

Notes: Delay is measured in average seconds per vehicle; LOS = Level of Service; Results for minor approaches to two-way stop-controlled intersections are indicated in *italics*

Finding: The study intersections will continue operating acceptably with project traffic added, at the same Levels of Service overall as without it.

Interchange Area Queuing

Queuing in the vicinity of the US 101 interchanges at Santa Barbara Road and Santa Rosa Road was assessed under Existing, Existing plus Project, Future and Future plus Project conditions to determine whether the project would impact operation at the interchanges.

Existing Conditions

Vehicle queues in the vicinity of the Santa Barbara Road freeway interchange are projected to be within acceptable storage under Existing Conditions. However, queuing lengths are expected to exceed capacity for the eastbound and westbound through movements on Santa Rosa Road at the US 101 Northbound Ramps during the p.m. peak hour. A summary of the Existing a.m. and p.m. peak hour queues is presented in Table 12. Copies of the SIMTRAFFIC projections are contained in Appendix C.

**Table 10
Peak Hour Queues Near Santa Rosa and Santa Barbara Interchanges – Existing**

Intersection	NB	SB	EB	WB	
	T	T	T	T	R
Santa Barbara Rd/US 101 NB Ramps					
Available Storage	1,000	–	285	440	–
Maximum Queue AM/PM	45/100	–/–	37/57	–/–	–/–
Santa Barbara Rd/US 101 SB Ramps					
Available Storage	–	405	323	285	–
Maximum Queue AM/PM	–/–	69/90	52/47	78/62	–/–
Santa Rosa Rd/US 101 NB Ramps					
Available Storage	710	–	255	120	333
Maximum Queue AM/PM	131/283	–/–	255/286	114/153	104/175
Santa Rosa Rd/US 101 SB Ramps					
Available Storage	–	1,026	355	255	–
Maximum Queue AM/PM	–/–	179/275	135/113	226/240	–/–

Notes: Maximum (95th Percentile) Queue represents the maximum queues that develop within SIMTRAFFIC (values represent the average of 5 SIMTRAFFIC runs); all distances are measured in feet; NB = Northbound; SB = Southbound; EB = Eastbound; WB = Westbound; T = Through movement; R = Right-Turn; **Bold** text = deficient operation

With the project, vehicle queues in the vicinity of the Santa Barbara Road freeway interchange are projected to continue to be acceptable within the provided storage. However, projected queuing lengths exceed capacity for the eastbound and westbound through movements on Santa Rosa Road at the US 101 Northbound Ramps without or with the project. The difference in queue length with the project compared to without it is less than 10 feet, or less than one-vehicle car length on average. The project would contribute towards already excessive queues at the Santa Rosa Road interchange, but the project is not expected to impact operations at the evaluated interchanges to the extent that there is not a significant increase in queue lengths. A summary of the Existing plus Project a.m. and p.m. peak hour queues is presented in Table 13.

Table 11
Peak Hour Queues Near Santa Rosa and Santa Barbara Interchanges – Existing plus Project

Intersection	NB	SB	EB	WB	
	T	T	T	T	R
Santa Barbara Rd/US 101 NB Ramps					
Available Storage	1,000	–	285	440	–
Maximum Queue AM/PM	38/95	–/–	59/40	–/–	–/–
Santa Barbara Rd/US 101 SB Ramps					
Available Storage	–	405	323	285	–
Maximum Queue AM/PM	–/–	57/82	59/45	73/60	–/–
Santa Rosa Rd/US 101 NB Ramps					
Available Storage	710	–	255	120	333
Maximum Queue AM/PM	196/279	–/–	245/281	123/154	76/190
Santa Rosa Rd/US 101 SB Ramps					
Available Storage	–	1,026	355	255	–
Maximum Queue AM/PM	–/–	212/240	151/112	241/254	–/–

Notes: Maximum (95th Percentile) Queue represents the maximum queues that develop within SIMTRAFFIC (values represent the average of 5 SIMTRAFFIC runs); all distances are measured in feet;
 NB = Northbound; SB = Southbound; EB = Eastbound; WB = Westbound;
 T = Through movement; R = Right-Turn; **Bold** text = deficient operation

Finding: The project would contribute towards already excessive queues at the Santa Rosa Road interchange, but project is not expected to impact operations at the evaluated interchanges to the extent that there is not a significant increase in queue lengths.

Future Conditions

Vehicle queues in the vicinity of the Santa Barbara Road freeway interchange are projected to be within acceptable storage under Future Conditions. However, queuing lengths are expected to exceed capacity for the eastbound and westbound through movements on Santa Rosa Road at the US 101 Northbound Ramps. A summary of the Future a.m. and p.m. peak hour queues is presented in Table 12. Copies of the SIMTRAFFIC projections are contained in Appendix C.

Table 12
Peak Hour Queues Near Santa Rosa and Santa Barbara Interchanges – Future

Intersection	NB	SB	EB	WB	
	T	T	T	T	R
Santa Barbara Rd/US 101 NB Ramps					
Available Storage	1,000	–	285	440	–
Maximum Queue AM/PM	37/94	–/–	27/42	–/–	–/–
Santa Barbara Rd/US 101 SB Ramps					
Available Storage	–	405	323	285	–
Maximum Queue AM/PM	–/–	67/90	45/52	68/61	–/–
Santa Rosa Rd/US 101 NB Ramps					
Available Storage	710	–	255	120	333
Maximum Queue AM/PM	193/453	–/–	269/331	114/153	73/137
Santa Rosa Rd/US 101 SB Ramps					
Available Storage	–	1,026	355	255	–
Maximum Queue AM/PM	–/–	292/388	258/176	224/184	–/–

Notes: Maximum (95th Percentile) Queue represents the maximum queues that develop within SIMTRAFFIC (values represent the average of 5 SIMTRAFFIC runs); all distances are measured in feet;
 NB = Northbound; SB = Southbound; EB = Eastbound; WB = Westbound;
 T = Through movement; R = Right-Turn; **Bold** text = deficient operation

With the project, vehicle queues in the vicinity of the Santa Barbara Road freeway interchange are projected to continue to be met within the provided storage. However, projected queuing lengths exceed capacity for the eastbound and westbound through movements on Santa Rosa Road at the US 101 Northbound Ramps. The difference in queue length with the project compared to without it is less than 10 feet, or less than one-vehicle car length on average. The project would contribute towards already excessive queues at the Santa Rosa Road interchange, but the project is not expected to impact operations at the evaluated interchanges to the extent that there is not a significant increase in queue lengths. A summary of the Future plus Project a.m. and p.m. peak hour queues is presented in Table 13.

Table 13
Peak Hour Queues Near Santa Rosa and Santa Barbara Interchanges – Future plus Project

Intersection	NB	SB	EB	WB	
	T	T	T	T	R
Santa Barbara Rd/US 101 NB Ramps					
Available Storage	1,000	–	285	440	–
Maximum Queue AM/PM	46/91	–/–	32/51	–/–	–/–
Santa Barbara Rd/US 101 SB Ramps					
Available Storage	–	405	323	285	–
Maximum Queue AM/PM	–/–	76/78	46/48	73/65	–/–
Santa Rosa Rd/US 101 NB Ramps					
Available Storage	710	–	255	120	333
Maximum Queue AM/PM	191/306	–/–	277/338	123/162	93/194
Santa Rosa Rd/US 101 SB Ramps					
Available Storage	–	1,026	355	255	–
Maximum Queue AM/PM	–/–	219/573	168/227	233/252	–/–

Notes: Maximum (95th Percentile) Queue represents the maximum queues that develop within SIMTRAFFIC (values represent the average of 5 SIMTRAFFIC runs); all distances are measured in feet;
 NB = Northbound; SB = Southbound; EB = Eastbound; WB = Westbound;
 T = Through movement; R = Right-Turn; **Bold** text = deficient operation

Finding: The project would contribute towards already excessive queues at the Santa Rosa Road interchange, but project is not expected to impact operations at the evaluated interchanges to the extent that there is not a significant increase in queue lengths.

Alternative Modes

Alternative Modes

Pedestrian Facilities

Given the proximity of strip commercial, residential, civic, and schools surrounding the site, it is reasonable to assume that some project residents will want to walk, bicycle, and/or utilize transit for travel to and from the Atascadero Family Apartments.

Project Site – Sidewalks exist along the project frontage on El Camino Real. A sidewalk exists on the south side of Avenida Maria. However, no sidewalks are provided along the project frontage on the north side of Avenida Maria. Additionally, improved crossing opportunities for pedestrians on El Camino Real would provide connectivity to southbound transit.

Finding: Pedestrian facilities serving the project site are deficient.

Recommendation: The applicant should install sidewalks along the project frontage on the north side of Avenida Maria. In addition, the applicant should install a crosswalk on the south leg of El Camino Real/ Patria Circle and utilize the existing raised median to provide a pedestrian refuge area.

Bicycle Facilities

Existing bicycle facilities, including bike lanes on El Camino Real, together with shared use of minor streets provide adequate access for bicyclists.

Bicycle Storage

The project site plan identifies the provision of bicycle parking or storage facilities.

Finding: Bicycle facilities serving the project site are expected to be adequate.

Recommendation: A bicycle rack should be provided on-site.

Transit

Existing transit routes are adequate to accommodate project-generated transit trips. Existing stops are within acceptable walking distance of the site, with the northbound transit stop located along the project frontage on El Camino Real.

Finding: Transit facilities serving the project site are expected to be adequate.

Access and Circulation

Site Access

The project site has one full access driveway that would connect it to the surrounding Atascadero road network. The driveway would be located on the north side of Avenida Maria, approximately 500 feet east of its intersection with El Camino Real. Two additional driveways would provide emergency access to the site, with one located on the south side of Jornada Lane approximately 550 feet east of El Camino Real and the other located on the east side of El Camino Real immediately south of Jornada Lane. An existing center turn lane on El Camino Real allows southbound vehicles to turn left onto Avenida Maria and provides refuge for westbound vehicles turning left onto El Camino Real.

Sight Distance

Sight distance along Avenida Maria at the proposed project driveway was evaluated based on sight distance criteria contained in the *Highway Design Manual* published by Caltrans. The recommended sight distance for minor-street approaches that are either a private road or a driveway is based on stopping sight distance using the approach travel speeds as the basis for determining the recommended sight distance. Based on the speed limit of 25 mph on Avenida Maria, the minimum stopping sight distance needed is 150 feet, and a review of the field conditions showed that the sight distance at the project driveway is more than adequate.

Finding: Adequate sight distance is available at the proposed project driveway.

Traffic Signal Warrants

A signal warrant analysis was performed to determine the potential need for a traffic signal at El Camino Real/Avenida Maria. For the purpose of the analysis, the volumes from the Future plus Project scenario were used as these present the highest volumes and most conservative assessment. Copies of the signal warrant calculations are provided in Appendix D.

Finding: A traffic signal is not warranted at El Camino Real/Avenida Maria.

Conclusions and Recommendations

Conclusions

- The five intersections had collision rates for the five-year study period that are lower than the statewide average for similar facilities.
- Currently, all seven study intersections operate acceptably.
- Under Future conditions, all of the study intersections are expected to continue operating acceptably.
- The proposed project would generate an average of 562 net new trips per day, including 43 trips during the a.m. peak hour and 52 during the p.m. peak hour.
- With the addition of project-generated traffic, all of the study intersections are expected to continue operating acceptably under all scenarios evaluated.
- The project is not expected to significantly impact operations at the Santa Barbara Road freeway interchanges under Existing and Future conditions.
- The project would contribute towards already excessive queues at the Santa Rosa Road interchange, but project is not expected to impact operations at the evaluated interchanges to the extent that there is not a significant increase in queue lengths.
- With the implementation of the recommended improvements, pedestrian, bicycle and transit facilities are expected to adequately serve the project site.
- A left-turn lane is already provided on El Camino Real which will serve access to the project.
- A traffic signal is not warranted at El Camino Real/Avenida Maria.

Recommendations

- The applicant should install sidewalks along the north side of Avenida Maria along the project frontage and a crosswalk on the south leg of El Camino Real/Patria Circle with a pedestrian refuge area.
- Since the project would contribute minor traffic volumes towards already excessive queues at the Santa Rosa Road interchange, the project should contribute towards the City's Traffic Impact Fee program which includes future improvements at the Santa Rosa Road interchange.

Study Participants and References

Study Participants

Principal in Charge: Steve Weinberger, PE, PTOE
Assistant Engineer: Smadar Boardman, EIT and Lauren Davini, EIT
Technician/Graphics: Deborah J. Mizell
Editing/Formatting: Angela McCoy

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Appendix A

Collision Rate Calculations

Intersection Collision Rate Calculations

City of Atascadero

Intersection # 1: El Camino Real & Santa Rosa Rd

Number of Collisions: 11
Number of Injuries: 3
Number of Fatalities: 0
ADT: 25600
Start Date: January 1, 2009
End Date: December 31, 2013
Number of Years: 5

Intersection Type: Four-Legged
Control Type: Signals
Area: Suburban

$$\text{collision rate} = \frac{\text{Number of Collisions} \times 1 \text{ Million}}{\text{ADT} \times 365 \text{ Days per Year} \times \text{Number of Years}}$$

$$\text{collision rate} = \frac{11 \times 1,000,000}{25,600 \times 365 \times 5}$$

	Collision Rate	Fatality Rate	Injury Rate
Study Intersection	0.24 c/mve	0.0%	27.3%
Statewide Average*	0.43 c/mve	0.4%	37.9%

ADT = average daily total vehicles entering intersection
 c/mve = collisions per million vehicles entering intersection
 * 2010 Collision Data on California State Highways, Caltrans

Intersection # 2: El Camino Real & San Rafael Rd

Number of Collisions: 9
Number of Injuries: 5
Number of Fatalities: 0
ADT: 13700
Start Date: January 1, 2009
End Date: December 31, 2013
Number of Years: 5

Intersection Type: Four-Legged
Control Type: Signals
Area: Suburban

$$\text{collision rate} = \frac{\text{Number of Collisions} \times 1 \text{ Million}}{\text{ADT} \times 365 \text{ Days per Year} \times \text{Number of Years}}$$

$$\text{collision rate} = \frac{9 \times 1,000,000}{13,700 \times 365 \times 5}$$

	Collision Rate	Fatality Rate	Injury Rate
Study Intersection	0.36 c/mve	0.0%	55.6%
Statewide Average*	0.43 c/mve	0.4%	37.9%

ADT = average daily total vehicles entering intersection
 c/mve = collisions per million vehicles entering intersection
 * 2010 Collision Data on California State Highways, Caltrans

Intersection Collision Rate Calculations

City of Atascadero

Intersection # 3: El Camino Real & San Diego way/Hwy 101

Number of Collisions: 1
Number of Injuries: 1
Number of Fatalities: 0
ADT: 9300
Start Date: January 1, 2009
End Date: December 31, 2013
Number of Years: 5

Intersection Type: Tee
Control Type: Stop & Yield Controls
Area: Suburban

$$\text{collision rate} = \frac{\text{Number of Collisions} \times 1 \text{ Million}}{\text{ADT} \times 365 \text{ Days per Year} \times \text{Number of Years}}$$

$$\text{collision rate} = \frac{1}{9,300} \times \frac{1,000,000}{365 \times 5}$$

	Collision Rate	Fatality Rate	Injury Rate
Study Intersection	0.06 c/mve	0.0%	100.0%
Statewide Average*	0.14 c/mve	0.7%	38.0%

ADT = average daily total vehicles entering intersection
 c/mve = collisions per million vehicles entering intersection
 * 2010 Collision Data on California State Highways, Caltrans

Intersection # 4: El Camino Real & Santa Barbara Rd

Number of Collisions: 10
Number of Injuries: 2
Number of Fatalities: 0
ADT: 9600
Start Date: January 1, 2009
End Date: December 31, 2015
Number of Years: 13

Intersection Type: Four-Legged
Control Type: Signals
Area: Suburban

$$\text{collision rate} = \frac{\text{Number of Collisions} \times 1 \text{ Million}}{\text{ADT} \times 365 \text{ Days per Year} \times \text{Number of Years}}$$

$$\text{collision rate} = \frac{10}{9,600} \times \frac{1,000,000}{365 \times 13}$$

	Collision Rate	Fatality Rate	Injury Rate
Study Intersection	0.22 c/mve	0.0%	20.0%
Statewide Average*	0.43 c/mve	0.4%	37.9%

ADT = average daily total vehicles entering intersection
 c/mve = collisions per million vehicles entering intersection
 * 2010 Collision Data on California State Highways, Caltrans

Intersection Collision Rate Calculations

City of Atascadero

Intersection # 5: El Camino Real & Avenida Maria

Number of Collisions: 0
 Number of Injuries: 0
 Number of Fatalities: 0
 ADT: 10200
 Start Date: January 1, 2009
 End Date: December 31, 2013
 Number of Years: 5

Intersection Type: Tee
 Control Type: Stop & Yield Controls
 Area: Suburban

$$\text{collision rate} = \frac{\text{Number of Collisions} \times 1 \text{ Million}}{\text{ADT} \times 365 \text{ Days per Year} \times \text{Number of Years}}$$

$$\text{collision rate} = \frac{0 \times 1,000,000}{10,200 \times 365 \times 5}$$

	Collision Rate	Fatality Rate	Injury Rate
Study Intersection	0.00 c/mve	0.0%	0.0%
Statewide Average*	0.14 c/mve	0.7%	38.0%

ADT = average daily total vehicles entering intersection
 c/mve = collisions per million vehicles entering intersection
 * 2010 Collision Data on California State Highways, Caltrans



Appendix B

Intersection Level of Service Calculations



AM Peak Hour - Existing Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #3 El Camino Real/San Diego Wy-US 101 Off Ramp
Average Delay (sec/veh): 1.7 Worst Case Level of Service: B [12.1]
Street Name: El Camino Real San Diego Wy-US 101 Off Ramp
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Stop Sign
Rights: Include Include Include Include
Lanes: 1 0 1 0 0 0 1 0 1 0 0 0 0 0 0 0 0 0 0 0
Volume Module: >> Count Date: 5 Feb 2015 << 7:15 - 8:15 am
Base Vol: 4 337 0 0 255 7 78 0 18 0 0 0
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 4 337 0 0 255 7 78 0 18 0 0 0
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89
PHF Volume: 4 378 0 0 286 8 87 0 20 0 0 0
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
FinalVolume: 4 378 0 0 286 8 87 0 20 0 0 0

Critical Gap Module:
Critical Gap: 4.1 xxx xxxxxx xxxxxx xxxxxx 6.4 6.5 6.2 xxxxxx xxxxxx xxxxxx
FollowUpTim: 2.2 xxx xxxxxx xxxxxx xxxxxx 3.5 4.0 3.3 xxxxxx xxxxxx xxxxxx

Capacity Module:
Conflict Vol: 294 xxx xxxxxx xxxxxx xxxxxx 673 673 286 xxx xxx xxxxxx
Potential Cap.: 1279 xxx xxxxxx xxxxxx xxxxxx 424 379 758 xxx xxx xxxxxx
Move Cap.: 1279 xxx xxxxxx xxxxxx xxxxxx 423 378 758 xxx xxx xxxxxx
Total Cap: xxx xxx xxxxxx xxxxxx xxxxxx 590 524 xxxxxx 530 521 xxxxxx
Volume/Cap: 0.00 xxx xxxxxx xxxxxx xxxxxx 0.15 0.00 0.03 xxx xxx xxxxxx

Level of Service Module:
2way5thQ: 0.0 xxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx
Control Del: 7.8 xxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx
LOS by Move: A * * * * *
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxx xxx xxxxxx xxxxxx xxxxxx xxxxxx 616 xxxxxx xxx xxx xxxxxx
SharedQueue: xxx xxx xxxxxx xxxxxx xxxxxx xxxxxx 0.6 xxxxxx xxx xxx xxxxxx
Shrd ConDel: xxx xxx xxxxxx xxxxxx xxxxxx xxxxxx 12.1 xxxxxx xxx xxx xxxxxx
Shared LOS: * * * * *
ApproachDel: xxxxxx xxxxxx 12.1 xxxxxx
ApproachLOS: * * * * *
Note: Queue reported is the number of cars per lane.

PM Peak Hour - Existing Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #3 El Camino Real/San Diego Wy-US 101 Off Ramp
Average Delay (sec/veh): 1.2 Worst Case Level of Service: B [13.0]
Street Name: El Camino Real San Diego Wy-US 101 Off Ramp
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Stop Sign
Rights: Include Include Include Include
Lanes: 1 0 1 0 0 0 0 0 1 0 0 0 0 0 0 0 0 0 0 0
Volume Module: >> Count Date: 5 Feb 2015 << 4:45 - 5:45 pm
Base Vol: 1 336 0 0 479 23 59 0 29 0 0 0
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 1 336 0 0 479 23 59 0 29 0 0 0
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97
PHF Volume: 1 346 0 0 494 24 61 0 30 0 0 0
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
FinalVolume: 1 346 0 0 494 24 61 0 30 0 0 0

Critical Gap Module:
Critical Gap: 4.1 xxx xxxxxx xxxxxx xxxxxx 6.4 6.5 6.2 xxxxxx xxxxxx xxxxxx
FollowUpTim: 2.2 xxx xxxxxx xxxxxx xxxxxx 3.5 4.0 3.3 xxxxxx xxxxxx xxxxxx

Capacity Module:
Conflict Vol: 518 xxx xxxxxx xxxxxx xxxxxx 842 842 494 xxx xxx xxxxxx
Potential Cap.: 1059 xxx xxxxxx xxxxxx xxxxxx 337 303 579 xxx xxx xxxxxx
Move Cap.: 1059 xxx xxxxxx xxxxxx xxxxxx 337 303 579 xxx xxx xxxxxx
Total Cap: xxx xxx xxxxxx xxxxxx xxxxxx 523 466 xxxxxx 442 456 xxxxxx
Volume/Cap: 0.00 xxx xxxxxx xxxxxx xxxxxx 0.12 0.00 0.05 xxx xxx xxxxxx

Level of Service Module:
2Way5thQ: 0.0 xxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx
Control Del: 8.4 xxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx xxxxxx
LOS by Move: A * * * * *
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxx xxx xxxxxx xxxxxx xxxxxx xxxxxx 540 xxxxxx xxx xxx xxxxxx
SharedQueue: xxx xxx xxxxxx xxxxxx xxxxxx xxxxxx 0.6 xxxxxx xxx xxx xxxxxx
Shrd ConDel: xxx xxx xxxxxx xxxxxx xxxxxx xxxxxx 13.0 xxxxxx xxx xxx xxxxxx
Shared LOS: * * * * *
ApproachDel: xxxxxx xxxxxx 13.0 xxxxxx
ApproachLOS: * * * * *
Note: Queue reported is the number of cars per lane.

AM Peak Hour - Existing Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Level of Service Computation Report
 2000 HCM Operations Method (Base Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.366
 Loss Time (sec): 8 Average Delay (sec/veh): 16.2
 Optimal Cycle: 25 Level of Service: B

Street Name: El Camino Real Santa Barbara Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Protected	Protected	Protected	Permitted	Permitted
Rights:	Include	Include	Include	Include	Include
Min. Green:	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0
Y/R:	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0
Lanes:	1 0 0 1 0	1 0 0 1 0	1 0 0 1 0	1 0 0 1 0	1 0 0 1 0

Volume Module: >> Count Date: 16 Oct 2014 << 7:15 - 8:15 am

Base Vol:	148 74 4 8 60 207	40 98 96 8 153 7
Growth Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
Initial Bse:	148 74 4 8 60 207	40 98 96 8 153 7
User Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
PHF Adj:	0.93 0.93 0.93 0.93	0.93 0.93 0.93 0.93
PHF Volume:	159 80 4 9 65 223	43 105 103 9 165 8
Reduced Vol:	0 0 0 0	0 0 0 0
Reduced Vol:	159 80 4 9 65 223	43 105 103 9 165 8
PCE Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
MLF Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
FinalVolume:	159 80 4 9 65 223	43 105 103 9 165 8

Saturation Flow Module:

Sat/Lane:	1900 1900 1900 1900	1900 1900 1900 1900
Adjustment:	0.95 0.99 0.99 0.85	0.55 1.00 0.85 0.68
Lanes:	1.00 0.95 0.05 1.00	1.00 1.00 1.00 1.00
Final Sat.:	1805 1788 97 1805	1615 1049 1900 1615

Capacity Analysis Module:

Vol/Sat:	0.09 0.04 0.04 0.00	0.03 0.14 0.04 0.06	0.06 0.06 0.01 0.09	0.09 0.09
Crit Moves:	0.24 0.56 0.56 0.08	0.38 0.38 0.25 0.25	0.25 0.25 0.25 0.25	0.25 0.25
Green/Cycle:	0.37 0.08 0.08 0.08	0.09 0.37 0.16 0.22	0.26 0.03 0.37 0.37	0.37 0.37
Volume/Cap:	19.5 6.2 6.2 27.0	12.1 13.9 17.9 18.1	18.4 17.1 19.1 19.1	19.1 19.1
Delay/Veh:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00
User DelAdj:	19.5 6.2 6.2 27.0	12.1 13.9 17.9 18.1	18.4 17.1 19.1 19.1	19.1 19.1
AdjDel/Veh:	6 2 2 0	2 6 1 3	3 0 6 6	6 6
LOS by Move:	B A A C	B B B B	B B B B	B B B B
HCM2k95thQ:	6 2 2 0	2 6 1 3	3 0 6 6	6 6

Note: Queue reported is the number of cars per lane.

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PM Peak Hour - Existing Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Level of Service Computation Report
 2000 HCM Operations Method (Base Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.284
 Loss Time (sec): 8 Average Delay (sec/veh): 15.3
 Optimal Cycle: 23 Level of Service: B

Street Name: El Camino Real Santa Barbara Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Protected	Protected	Protected	Permitted	Permitted
Rights:	Include	Include	Include	Include	Include
Min. Green:	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0
Y/R:	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0
Lanes:	1 0 0 1 0	1 0 0 1 0	1 0 0 1 0	1 0 0 1 0	1 0 0 1 0

Volume Module: >> Count Date: 16 Oct 2014 << 4:45 - 5:45 pm

Base Vol:	114 105 7 10 125 137	91 150 112 5 95 11
Growth Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
Initial Bse:	114 105 7 10 125 137	91 150 112 5 95 11
User Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
PHF Adj:	0.92 0.92 0.92 0.92	0.92 0.92 0.92 0.92
PHF Volume:	124 114 8 11 136 149	99 163 122 5 103 12
Reduced Vol:	0 0 0 0	0 0 0 0
Reduced Vol:	124 114 8 11 136 149	99 163 122 5 103 12
PCE Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
MLF Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
FinalVolume:	124 114 8 11 136 149	99 163 122 5 103 12

Saturation Flow Module:

Sat/Lane:	1900 1900 1900 1900	1900 1900 1900 1900
Adjustment:	0.95 0.99 0.99 0.85	0.67 1.00 0.85 0.59
Lanes:	1.00 0.94 0.06 1.00	1.00 1.00 1.00 1.00
Final Sat.:	1805 1765 118 1805	1615 1277 1900 1615

Capacity Analysis Module:

Vol/Sat:	0.07 0.06 0.06 0.01	0.07 0.09 0.08 0.09	0.08 0.00 0.06 0.06
Crit Moves:	0.24 0.52 0.52 0.05	0.32 0.32 0.30 0.30	0.30 0.30 0.30 0.30
Green/Cycle:	0.28 0.12 0.12 0.12	0.22 0.28 0.26 0.28	0.25 0.02 0.20 0.20
Volume/Cap:	18.9 7.5 7.5 28.3	14.9 15.4 16.2 16.3	16.1 14.7 15.8 15.8
Delay/Veh:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
User DelAdj:	18.9 7.5 7.5 28.3	14.9 15.4 16.2 16.3	16.1 14.7 15.8 15.8
AdjDel/Veh:	6 2 2 0	2 4 4 3	5 3 0 3
LOS by Move:	B A A C	B B B B	B B B B
HCM2k95thQ:	6 2 2 0	2 4 4 3	5 3 0 3

Note: Queue reported is the number of cars per lane.

Traffic 8.0.0715 (c) 2008 Dowling Assoc. Licensed to W-TRANS, Santa Rosa, CA

AM Peak Hour - Existing Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria

Average Delay (sec/veh): 0.5 Worst Case Level of Service: B [11.5]

Street Name: El Camino Real Avenida Maria
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Uncontrolled Uncontrolled
Rights: Include Include Include Include
Lanes: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 0 0 1 1 0 0

Volume Module:
Base Vol: 0 411 4 3 280 0 0 0 0 0 15 0 14
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 0 411 4 3 280 0 0 0 0 0 15 0 14
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 0 411 4 3 280 0 0 0 0 0 15 0 14
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0 0
Final Volume: 0 411 4 3 280 0 0 0 0 0 15 0 14

Critical Gap Module:
Critical Gap:xxxx xxx xxxxxx 4.1 xxx xxxxxx xxxxxx xxxxxx 6.8 6.5 6.9
FollowUpTim:xxxx xxx xxxxxx 2.2 xxx xxxxxx xxxxxx xxxxxx 3.5 4.0 3.3

Capacity Module:
Conflict Vol: xxx xxxxxx 415 xxx xxxxxx xxx xxx xxxxxx 559 699 208
Potential Cap.: xxx xxxxxx 1155 xxx xxxxxx xxx xxx xxxxxx 464 366 805
Move Cap.: xxx xxxxxx 1155 xxx xxxxxx xxx xxx xxxxxx 463 365 805
Volume/Cap: xxx xxxxxx 0.00 xxx xxxxxx xxx xxx xxxxxx 0.03 0.00 0.02

Level of Service Module:
2Way95thQ: xxx xxxxxx xxxxxx xxx xxx xxxxxx xxx xxx xxxxxx
Control Del:xxxx xxx xxxxxx 6.1 xxx xxxxxx xxxxxx xxxxxx xxxxxx
LOS by Move: LT - LTR - RT LT - LTR - RT LT - LTR - RT
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxx xxxxxx xxxxxx xxx xxx xxxxxx xxx xxx xxxxxx
Shared Queue:xxxx xxx xxxxxx 0.0 xxx xxxxxx xxx xxx xxxxxx
Shrd ConDel:xxxx xxx xxxxxx 8.1 xxx xxxxxx xxx xxx xxxxxx
Shared LOS: A A A
ApproachDel: xxxxxx xxxxxx 11.5
ApproachLOS: B B

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Existing Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria

Average Delay (sec/veh): 0.3 Worst Case Level of Service: B [12.5]

Street Name: El Camino Real Avenida Maria
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Uncontrolled Uncontrolled
Rights: Include Include Include Include
Lanes: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 1 1 0 0

Volume Module:
Base Vol: 0 381 14 14 595 0 0 0 0 0 8 0 7
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 0 381 14 14 595 0 0 0 0 0 8 0 7
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 0 381 14 14 595 0 0 0 0 0 8 0 7
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0 0
Final Volume: 0 381 14 14 595 0 0 0 0 0 8 0 7

Critical Gap Module:
Critical Gap:xxxx xxx xxxxxx 4.1 xxx xxxxxx xxxxxx xxxxxx 6.8 6.5 6.9
FollowUpTim:xxxx xxx xxxxxx 2.2 xxx xxxxxx xxxxxx xxxxxx 3.5 4.0 3.3

Capacity Module:
Conflict Vol: xxx xxxxxx 395 xxx xxxxxx xxx xxx xxxxxx 714 1011 198
Potential Cap.: xxx xxxxxx 1175 xxx xxxxxx xxx xxx xxxxxx 371 241 817
Move Cap.: xxx xxxxxx 1175 xxx xxxxxx xxx xxx xxxxxx 367 239 817
Volume/Cap: xxx xxxxxx 0.01 xxx xxxxxx xxx xxx xxxxxx 0.02 0.00 0.01

Level of Service Module:
2Way95thQ: xxx xxx xxxxxx 0.0 xxx xxxxxx xxx xxx xxxxxx
Control Del:xxxx xxx xxxxxx 6.1 xxx xxxxxx xxxxxx xxxxxx xxxxxx
LOS by Move: A A A
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxx xxx xxxxxx xxx xxx xxxxxx xxx xxx xxxxxx
Shared Queue:xxxx xxx xxxxxx 0.0 xxx xxxxxx xxx xxx xxxxxx
Shrd ConDel:xxxx xxx xxxxxx 8.1 xxx xxxxxx xxx xxx xxxxxx
Shared LOS: A A A
ApproachDel: xxxxxx xxxxxx 12.5
ApproachLOS: B B

Note: Queue reported is the number of cars per lane.

AM Peak Hour - Existing plus Project Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Trip Generation Report

Zone #	Subzone	Amount	Units	Forecast for am		Trips		Total % Of			
				Rate In	Rate Out	In	Out	In	Out	Trips Total	Trips Total
1		1.00	Project	9.00	34.00	9	34	9	34	43 100.0	43 100.0
		Zone 1 Subtotal				9	34	9	34	43 100.0	43 100.0

TOTAL				9	34	9	34	9	34	43 100.0	43 100.0

PM Peak Hour - Existing plus Project Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Trip Generation Report

Zone #	Subzone	Amount	Units	Forecast for pm		Trips		Total % Of			
				Rate In	Rate Out	In	Out	In	Out	Trips Total	Trips Total
1		1.00	Project	35.00	17.00	35	17	35	17	52 100.0	52 100.0
		Zone 1 Subtotal				35	17	35	17	52 100.0	52 100.0

TOTAL				35	17	35	17	35	17	52 100.0	52 100.0

AM Peak Hour - Existing plus Project Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Level Of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #1 El Camino Real/Santa Rosa Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.579
 Loss Time (sec): 8 Average Delay (sec/veh): 17.1
 Optimal Cycle: 35 Level Of Service: B

Street Name: El Camino Real Santa Rosa Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L-T-R L-T-R L-T-R L-T-R

Control:	Protected	Protected	Protected	Protected
Rights:	Include	Include	Include	Include
Min. Green:	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0
Y+R:	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0
Lanes:	1 0 1 0	1 0 1 0	1 0 1 0	1 0 1 0

Volume Module: >> Count Date: 25 May 2006 << 7:30 - 8:30 am

Base Vol: 242 275 6 5 335 169 125 11 273 1 4 3
 Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 Initial Bse: 242 275 6 5 335 169 125 11 273 1 4 3
 Added Vol: 9 10 0 0 0 0 0 0 0 0 0 0
 PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0
 Initial Fut: 251 285 6 5 338 169 125 11 275 1 4 3
 User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 PHF Adj: 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92
 PHF Volume: 273 310 7 5 367 184 136 12 299 1 4 3
 Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
 Reduced Vol: 273 310 7 5 367 184 136 12 299 1 4 3
 PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 MUF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 Final Volume: 273 310 7 5 367 184 136 12 299 1 4 3

Saturation Flow Module:
 Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
 Adjustment: 0.95 0.95 0.95 0.95 0.90 0.90 0.96 0.85 0.94 0.94 0.94
 Lanes: 1.00 1.96 0.04 1.00 1.33 0.67 0.92 0.08 1.00 0.13 0.50 0.37
 Final Sat.: 1805 3525 74 1805 2286 1143 1669 147 1615 224 896 672

Capacity Analysis Module:
 Vol/Sat: 0.15 0.09 0.09 0.00 0.16 0.16 0.08 0.08 0.19 0.00 0.00 0.00
 Crit Moves: ****
 Green/Cycle: 0.26 0.52 0.52 0.02 0.28 0.28 0.31 0.22 0.32 0.01 0.02 0.02
 Volume/Cap: 0.58 0.17 0.17 0.17 0.58 0.58 0.26 0.25 0.58 0.58 0.26 0.26
 Delay/Veh: 21.1 7.6 7.6 31.5 19.6 19.6 15.8 15.3 18.7 75.6 33.3 33.3
 User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 AdjDel/Veh: 21.1 7.6 7.6 31.5 19.6 19.6 15.8 15.3 18.7 75.6 33.3 33.3
 LOS by Move: C A A C 1 1 1 1 1 1 1 1
 HCM2k95tbQ: 9 3 3 1 1 1 1 1 1 1 1 1

PM Peak Hour - Existing plus Project Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Level Of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #1 El Camino Real/Santa Rosa Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.737
 Loss Time (sec): 8 Average Delay (sec/veh): 19.1
 Optimal Cycle: 48 Level Of Service: B

Street Name: El Camino Real Santa Rosa Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L-T-R L-T-R L-T-R L-T-R

Control:	Protected	Protected	Protected	Protected
Rights:	Include	Include	Include	Include
Min. Green:	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0
Y+R:	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0
Lanes:	1 0 1 0	1 0 1 0	1 0 1 0	1 0 1 0

Volume Module: >> Count Date: 24 May 2006 << 4:30 - 5:30 pm

Base Vol: 335 553 4 8 501 251 178 4 251 4 21 16
 Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 Initial Bse: 335 553 4 8 501 251 178 4 251 4 21 16
 Added Vol: 4 5 0 0 0 0 0 0 0 0 0 0
 PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0
 Initial Fut: 339 558 4 8 512 251 178 4 260 4 21 16
 User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 PHF Adj: 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93
 PHF Volume: 365 600 4 9 551 270 191 4 280 4 23 17
 Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
 Reduced Vol: 365 600 4 9 551 270 191 4 280 4 23 17
 PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 MUF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 Final Volume: 365 600 4 9 551 270 191 4 280 4 23 17

Saturation Flow Module:
 Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
 Adjustment: 0.95 0.95 0.95 0.90 0.90 0.90 0.95 0.95 0.85 0.94 0.94 0.94
 Lanes: 1.00 1.99 0.01 1.00 1.34 0.66 0.98 0.02 1.00 0.10 0.51 0.39
 Final Sat.: 1805 3581 26 1805 2304 1129 1771 40 1615 175 917 699

Capacity Analysis Module:
 Vol/Sat: 0.20 0.17 0.17 0.00 0.24 0.24 0.11 0.11 0.17 0.02 0.02 0.02
 Crit Moves: ****
 Green/Cycle: 0.27 0.58 0.58 0.02 0.32 0.32 0.22 0.23 0.23 0.03 0.05 0.05
 Volume/Cap: 0.74 0.29 0.29 0.29 0.74 0.74 0.49 0.46 0.74 0.74 0.49 0.49
 Delay/Veh: 25.6 6.4 6.4 34.4 20.6 20.6 21.5 20.5 28.6 66.5 32.0 32.0
 User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
 AdjDel/Veh: 25.6 6.4 6.4 34.4 20.6 20.6 21.5 20.5 28.6 66.5 32.0 32.0
 LOS by Move: C A A C C C C C C C C C
 HCM2k95tbQ: 12 6 6 1 17 17 6 6 9 5 3 3

AM Peak Hour - Existing plus Project Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Level Of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #2 El Camino Real/San Rafael Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.460
 Loss Time (sec): 8 Average Delay (sec/veh): 12.6
 Optimal Cycle: 29 Level Of Service: B

Street Name: El Camino Real San Rafael Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Protected	Protected	Protected	Protected	Permitted	Permitted
Rights:	Include	Include	Include	Include	Include	Include
Min. Green:	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0
Y/R:	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0
Lanes:	1 0 1 0	1 0 1 0	0 0 1 0	0 0 1 0	1 0 0 1	0 0 1 0

Volume Module: >> Count Date: 3 Feb 2015 << 7:15 - 8:15 am

Base Vol:	5 421 107 318	249 10 18 1	18 16 0 47
Growth Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
Initial Bse:	5 421 107 318	249 10 18 1	18 16 0 47
Added Vol:	0 19 0 0	0 0 0 0	0 0 0 0
PasserByVol:	0 0 0 0	0 0 0 0	0 0 0 0
Initial Fut:	5 440 107 318	254 10 18 1	18 16 0 47
User Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
PHF Adj:	0.91 0.91 0.91 0.91	0.91 0.91 0.91 0.91	0.91 0.91 0.91 0.91
PHF Volume:	6 486 118 351	280 11 20 1	20 18 0 52
Reduc Vol:	0 0 0 0	0 0 0 0	0 0 0 0
Reduced Vol:	6 486 118 351	280 11 20 1	20 18 0 52
PCE Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
MLF Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
FinalVolume:	6 486 118 351	280 11 20 1	20 18 0 52

Saturation Flow Module:

Sat/Lane:	1900 1900 1900 1900	1900 1900 1900 1900	1900 1900 1900 1900
Adjustment:	0.95 0.92 0.92 0.94	0.94 0.76 0.76 0.76	0.76 0.96 1.00 0.85
Lanes:	1.00 1.61 0.39 1.00	1.92 0.08 0.48 0.03	0.49 1.00 0.00 1.00
Final Sat.:	1805 2820 686 1805	3452 136 699 39	699 1815 0 1615

Capacity Analysis Module:

Vol/Sat:	0.00 0.17 0.17 0.19	0.08 0.08 0.03 0.03	0.03 0.03 0.01 0.00	0.03 0.03 0.00 0.00
Crit Moves:	0.03 0.37 0.37 0.42	0.77 0.77 0.07 0.07	0.07 0.07 0.00 0.00	0.07 0.07 0.00 0.00
Green/Cycle:	0.11 0.46 0.46 0.46	0.11 0.11 0.41 0.41	0.41 0.14 0.00 0.46	0.14 0.00 0.46 0.00
Volume/Cap:	29.3 14.4 14.4 12.9	1.8 29.4 29.4 29.4	26.7 0.0 29.8	0.0 29.8 0.0 29.8
Delay/Veh:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
User DelAdj:	29.3 14.4 14.4 12.9	1.8 29.4 29.4 29.4	26.7 0.0 29.8	0.0 29.8 0.0 29.8
AdjDel/Veh:	0 9 9 9	1 1 3 3	3 1 0 3	3 1 0 3
LOS by Move:	C B B A	A A C C	C C A C	A C A C
HCM2k95HQ:	0 9 9 9	1 1 3 3	3 1 0 3	3 1 0 3

PM Peak Hour - Existing plus Project Conditions
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Level Of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #2 El Camino Real/San Rafael Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.422
 Loss Time (sec): 8 Average Delay (sec/veh): 13.2
 Optimal Cycle: 27 Level Of Service: B

Street Name: El Camino Real San Rafael Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Protected	Protected	Protected	Protected	Permitted	Permitted
Rights:	Include	Include	Include	Include	Include	Include
Min. Green:	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0	0 0 0 0
Y/R:	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0	4.0 4.0 4.0 4.0
Lanes:	1 0 1 0	1 0 1 0	0 0 1 0	0 0 1 0	1 0 0 1	0 0 1 0

Volume Module: >> Count Date: 3 Feb 2015 << 4:30 - 5:30 pm

Base Vol:	15 382 11 25	508 21 20 3	8 93 0 272
Growth Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
Initial Bse:	15 382 11 25	508 21 20 3	8 93 0 272
Added Vol:	0 9 0 0	0 19 0 0	0 0 0 0
PasserByVol:	0 0 0 0	0 0 0 0	0 0 0 0
Initial Fut:	15 401 11 25	527 21 20 3	8 93 0 272
User Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
PHF Adj:	0.90 0.90 0.90 0.90	0.90 0.90 0.90 0.90	0.90 0.90 0.90 0.90
PHF Volume:	17 446 12 28	586 23 22 3	9 103 0 302
Reduc Vol:	0 0 0 0	0 0 0 0	0 0 0 0
Reduced Vol:	17 446 12 28	586 23 22 3	9 103 0 302
PCE Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
MLF Adj:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
FinalVolume:	17 446 12 28	586 23 22 3	9 103 0 302

Saturation Flow Module:

Sat/Lane:	1900 1900 1900 1900	1900 1900 1900 1900	1900 1900 1900 1900
Adjustment:	0.95 0.95 0.95 0.94	0.94 0.79 0.79 0.79	0.79 0.78 1.00 0.85
Lanes:	1.00 1.95 0.05 1.00	1.92 0.08 0.64 0.10	0.26 1.00 0.00 1.00
Final Sat.:	1805 3500 96 1805	3451 138 964 145	386 1484 0 1615

Capacity Analysis Module:

Vol/Sat:	0.01 0.13 0.13 0.02	0.17 0.02 0.02 0.02	0.02 0.07 0.00 0.19
Crit Moves:	0.02 0.38 0.38 0.05	0.40 0.40 0.44 0.44	0.44 0.44 0.00 0.44
Green/Cycle:	0.42 0.34 0.34 0.34	0.42 0.05 0.05 0.05	0.05 0.16 0.00 0.42
Volume/Cap:	36.1 13.5 13.5 30.2	13.1 9.6 9.6 9.6	10.1 0.0 11.9
Delay/Veh:	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00	1.00 1.00 1.00 1.00
User DelAdj:	36.1 13.5 13.5 30.2	13.1 9.6 9.6 9.6	10.1 0.0 11.9
AdjDel/Veh:	0 9 9 9	1 1 3 3	3 1 0 3
LOS by Move:	D B B B	B A A A	A A A B
HCM2k95HQ:	1 6 6 6	1 3 3 3	3 1 0 3

AM Peak Hour - Existing plus Project Conditions
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Level of Service Computation Report
2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #3 El Camino Real/San Diego WY-US 101 Off Ramp

Average Delay (sec/veh): 1.7 Worst Case Level of Service: B (12.2)

Street Name: El Camino Real San Diego WY-US 101 Off Ramp
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Stop Sign
Rights: Include Include Include Include
Lanes: 1 0 1 0 0 0 1 0 1 0 0 1 0 0 0 0 0 0 0 0

Volume Module: >> Count Date: 5 Feb 2015 << 7:15 - 8:15 am
Base Vol: 4 337 0 0 255 7 78 0 18 0 0 0
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 4 337 0 0 255 7 78 0 18 0 0 0
Added Vol: 0 0 0 0 0 0 0 0 0 0 0 0
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 4 341 0 0 270 7 78 0 18 0 0 0
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89 0.89
PHF Volume: 4 382 0 0 303 8 87 0 20 0 0 0
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
FinalVolume: 4 382 0 0 303 8 87 0 20 0 0 0

Critical Gap Module:
Critical Gp: 4.1 xxxxx xxxxx xxxxx xxxxx 6.4 6.5 6.2 xxxxx xxxxx xxxxx
FollowUpTim: 2.2 xxxxx xxxxx xxxxx xxxxx 3.5 4.0 3.3 xxxxx xxxxx xxxxx

Capacity Module:
Conflict Vol: 311 xxxxx xxxxx xxxxx xxxxx 694 694 303 xxxxx xxxxx xxxxx
Potent Cap.: 1261 xxxxx xxxxx xxxxx xxxxx 412 369 742 xxxxx xxxxx xxxxx
Move Cap.: 1261 xxxxx xxxxx xxxxx xxxxx 411 368 742 xxxxx xxxxx xxxxx
Total Cap: xxxxx xxxxx xxxxx xxxxx xxxxx 582 517 xxxxx 522 514 xxxxx
Volume/Cap: 0.00 xxxxx xxxxx xxxxx xxxxx 0.15 0.00 0.03 xxxxx xxxxx xxxxx

Level of Service Module:
2Way95thQ: 0.0 xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx
Control Del: 7.9 xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx
LOS by Move: A
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx 507 xxxxx xxxxx xxxxx
ShareQueue: xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx 0.6 xxxxx xxxxx xxxxx
Shrd ConDel: xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx 12.2 xxxxx xxxxx xxxxx
Shared LOS: B
ApproachDel: xxxxxx 12.2 xxxxxx
ApproachLOS: B

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Existing plus Project Conditions
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2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #3 El Camino Real/San Diego WY-US 101 Off Ramp

Average Delay (sec/veh): 1.2 Worst Case Level of Service: B (13.1)

Street Name: El Camino Real San Diego WY-US 101 Off Ramp
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Stop Sign
Rights: Include Include Include Include
Lanes: 1 0 1 0 0 0 1 0 1 0 0 1 0 0 0 0 0 0 0 0

Volume Module: >> Count Date: 5 Feb 2015 << 4:45 - 5:45 pm
Base Vol: 1 338 0 0 479 23 59 0 29 0 0 0
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 1 338 0 0 479 23 59 0 29 0 0 0
Added Vol: 0 16 0 0 0 0 0 0 0 0 0 0
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 1 352 0 0 487 23 59 0 29 0 0 0
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97
PHF Volume: 1 363 0 0 502 24 61 0 30 0 0 0
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
FinalVolume: 1 363 0 0 502 24 61 0 30 0 0 0

Critical Gap Module:
Critical Gp: 4.1 xxxxx xxxxx xxxxx xxxxx 6.4 6.5 6.2 xxxxx xxxxx xxxxx
FollowUpTim: 2.2 xxxxx xxxxx xxxxx xxxxx 3.5 4.0 3.3 xxxxx xxxxx xxxxx

Capacity Module:
Conflict Vol: 526 xxxxx xxxxx xxxxx xxxxx 867 867 502 xxxxx xxxxx xxxxx
Potent Cap.: 1051 xxxxx xxxxx xxxxx xxxxx 326 293 573 xxxxx xxxxx xxxxx
Move Cap.: 1051 xxxxx xxxxx xxxxx xxxxx 326 293 573 xxxxx xxxxx xxxxx
Total Cap: xxxxx xxxxx xxxxx xxxxx xxxxx 515 459 xxxxx 434 449 xxxxx
Volume/Cap: 0.00 xxxxx xxxxx xxxxx xxxxx 0.12 0.00 0.05 xxxxx xxxxx xxxxx

Level of Service Module:
2Way95thQ: 0.0 xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx
Control Del: 8.4 xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx
LOS by Move: A
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx 533 xxxxx xxxxx xxxxx
ShareQueue: xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx 0.6 xxxxx xxxxx xxxxx
Shrd ConDel: xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx 13.1 xxxxx xxxxx xxxxx
Shared LOS: E
ApproachDel: xxxxxx 13.1 xxxxxx
ApproachLOS: B

Note: Queue reported is the number of cars per lane.

AM Peak Hour - Existing plus Project Conditions
Traffic Study for Atascadero Family Apartments
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Level of Service Computation Report
2000 HCM Operations Method (Future Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd
Cycle (sec): 100 Critical Vol./Cap.(X): 0.370
Loss Time (sec): 8 Average Delay (sec/veh): 16.2
Optimal Cycle: 25 Level Of Service: B

Street Name: El Camino Real Santa Barbara Rd
Approach: North Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Protected Protected Permitted Permitted
Rights: Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 0 1 0 1 0 1 1 0 1 0 1 0 0 1 0

Volume Module: >> Count Date: 16 Oct 2014 << 7:15 - 8:15 am
Base Vol: 148 74 4 8 60 207 40 98 96 8 153 7
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 148 74 4 8 60 207 40 98 96 8 153 7
Added Vol: 0 3 0 0 10 5 1 0 0 0 0 0
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 148 77 4 8 70 212 41 98 96 8 153 7
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93 0.93
PHE Volume: 159 83 4 9 75 228 44 105 103 9 165 8
Reduc Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 159 83 4 9 75 228 44 105 103 9 165 8
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
FinalVolume: 159 83 4 9 75 228 44 105 103 9 165 8

Saturation Flow Module:
Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.99 0.99 0.95 1.00 0.85 0.55 1.00 0.85 0.68 0.99 0.99
Lanes: 1.00 0.95 0.05 1.00 1.00 1.00 1.00 1.00 1.00 1.00 0.96 0.04
Final Sat.: 1805 1794 93 1805 1900 1615 1045 1900 1615 1392 1804 83

Capacity Analysis Module:
Vol/Sat: 0.09 0.05 0.05 0.00 0.04 0.14 0.04 0.06 0.06 0.01 0.09 0.09
Crit Moves: ****
Green/Cycle: 0.24 0.56 0.56 0.06 0.38 0.38 0.25 0.25 0.25 0.25 0.25 0.25
Volume/Cap: 0.37 0.08 0.08 0.08 0.10 0.37 0.17 0.23 0.26 0.03 0.37 0.37
Delay/Veh: 19.6 6.1 6.1 27.1 12.0 13.7 18.1 18.3 18.5 17.2 19.2 19.2
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Ven: 19.6 6.1 6.1 27.1 12.0 13.7 18.1 18.3 18.5 17.2 19.2 19.2
LOS by Move: B A A C B B B B B B B B B B
HCM2k95thq: 6 2 2 0 2 6 1 3 3 0 6 6

PM Peak Hour - Existing plus Project Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Operations Method (Future Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd
Cycle (sec): 100 Critical Vol./Cap.(X): 0.287
Loss Time (sec): 8 Average Delay (sec/veh): 15.2
Optimal Cycle: 23 Level Of Service: B

Street Name: El Camino Real Santa Barbara Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Protected Protected Protected Permitted
Rights: Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0

Volume Module: >> Count Date: 16 Oct 2014 << 4:45 - 5:45 pm
Base Vol: 114 105 7 10 125 137 91 150 112 5 95 11
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 114 105 7 10 125 137 91 150 112 5 95 11
Added Vol: 0 11 0 0 0 5 3 5 0 0 0 0
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 114 116 7 10 130 140 96 150 112 5 95 11
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92 0.92
PHE Volume: 124 126 8 11 141 152 104 163 122 5 103 12
Reduc Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 124 126 8 11 141 152 104 163 122 5 103 12
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
FinalVolume: 124 126 8 11 141 152 104 163 122 5 103 12

Saturation Flow Module:
Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.99 0.99 0.95 1.00 0.85 0.67 1.00 0.85 0.59 0.98 0.98
Lanes: 1.00 0.94 0.06 1.00 1.00 1.00 1.00 1.00 1.00 1.00 0.90 0.10
Final Sat.: 1805 1776 107 1805 1900 1615 1277 1900 1615 1127 1676 194

Capacity Analysis Module:
Vol/Sat: 0.07 0.07 0.07 0.01 0.07 0.09 0.08 0.09 0.08 0.00 0.06 0.06
Crit Moves: ****
Green/Cycle: 0.24 0.52 0.52 0.04 0.33 0.33 0.30 0.30 0.30 0.30 0.30 0.30
Volume/Cap: 0.29 0.14 0.14 0.14 0.23 0.29 0.27 0.29 0.25 0.02 0.21 0.21
Delay/Veh: 19.0 7.4 7.4 28.3 14.8 15.2 16.4 16.4 16.2 14.8 15.9 15.9
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Ven: 19.0 7.4 7.4 28.3 14.8 15.2 16.4 16.4 16.2 14.8 15.9 15.9
LOS by Move: B A A A C B B B B B B B B B B
HCM2k95thq: 4 3 3 0 4 4 3 5 3 0 3 3

AM Peak Hour - Existing plus Project Conditions
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Level of Service Computation Report
2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria

Average Delay (sec/veh): 11.1 Worst Case Level of Service: E (11.9)

Street Name: El Camino Real Avenida Maria
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Include
Rights: Include Include
Lanes: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 1 1 0 0

Volume Module:
Base Vol: 0 411 4 3 280 0 0 0 0 0 15 0 14
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 0 411 4 3 280 0 0 0 0 0 15 0 14
Added Vol: 0 0 4 5 0 0 0 0 0 0 15 0 19 0
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 0 411 8 8 280 0 0 0 0 0 30 0 33
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 0 411 8 8 280 0 0 0 0 0 30 0 33
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0 0
FinalVolume: 0 411 8 8 280 0 0 0 0 0 30 0 33

Critical Gap Module:
Critical Gp:xxxxx xxxx xxxxx 4.1 xxxx xxxxx xxxxx xxxxx 6.8 6.5 6.9
FollowUpTim:xxxxx xxxx xxxxx 2.2 xxxx xxxxx xxxxx xxxxx 3.5 4.0 3.3

Capacity Module:
Conflict Vol: xxxx xxxx xxxxx 419 xxxx xxxxx xxxxx xxxxx 571 711 210
Potential Cap.: xxxx xxxx xxxxx 1151 xxxx xxxxx xxxxx xxxxx 456 351 802
Move Cap.: xxxx xxxx xxxxx 1151 xxxx xxxxx xxxxx xxxxx 453 358 802
Volume/Cap: xxxx xxxx xxxx 0.01 xxxx xxxx xxxxx xxxxx 0.07 0.00 0.04

Level Of Service Module:
2Way95thQ: xxxx xxxx xxxxx 0.0 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx
Control Del:xxxxx xxxx xxxxx 8.1 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx
LOS by Move: A A
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxxx xxxx xxxxx xxxxx xxxx xxxxx xxxxx xxxxx 587 xxxxx
SharedQueue:xxxxx xxxx xxxxx 0.0 xxxx xxxxx xxxxx xxxxx 0.4 xxxxx
Shrd ConDel:xxxxx xxxx xxxxx 8.1 xxxx xxxxx xxxxx xxxxx 11.9 xxxxx
Shared LOS: A A
ApproachDel: xxxxxx xxxxxx 13.9 B
ApproachLOS: B

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Existing plus Project Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria

Average Delay (sec/veh): 0.6 Worst Case Level of Service: B (13.1)

Street Name: El Camino Real Avenida Maria
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Include
Rights: Include Include
Lanes: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 1 1 0 0

Volume Module:
Base Vol: 0 381 14 14 595 0 0 0 0 0 0 0 8 0 7
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 0 381 14 14 595 0 0 0 0 0 0 0 8 0 7
Added Vol: 0 0 16 19 0 0 0 0 0 0 0 0 0 0 9
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 0 381 30 33 595 0 0 0 0 0 0 0 16 0 16
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 0 381 30 33 595 0 0 0 0 0 0 0 16 0 16
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
FinalVolume: 0 381 30 33 595 0 0 0 0 0 0 0 16 0 16

Critical Gap Module:
Critical Gp:xxxxx xxxx xxxxx 4.1 xxxx xxxxx xxxxx xxxxx 6.8 6.5 6.9
FollowUpTim:xxxxx xxxx xxxxx 2.2 xxxx xxxxx xxxxx xxxxx 3.5 4.0 3.3

Capacity Module:
Conflict Vol: xxxx xxxx xxxxx 411 xxxx xxxxx xxxxx xxxxx 760 1057 206
Potential Cap.: xxxx xxxx xxxxx 1159 xxxx xxxxx xxxxx xxxxx 347 227 807
Move Cap.: xxxx xxxx xxxxx 1159 xxxx xxxxx xxxxx xxxxx 339 220 807
Volume/Cap: xxxx xxxx xxxx 0.03 xxxx xxxxx xxxxx xxxxx 0.05 0.00 0.02

Level Of Service Module:
2Way95thQ: xxxx xxxx xxxxx 0.1 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx
Control Del:xxxxx xxxx xxxxx 8.2 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx
LOS by Move: A A
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxxx xxxx xxxxx xxxxx xxxx xxxxx xxxxx xxxxx 477 xxxxx
SharedQueue:xxxxx xxxx xxxxx 0.1 xxxx xxxxx xxxxx xxxxx 0.2 xxxxx
Shrd ConDel:xxxxx xxxx xxxxx 8.2 xxxx xxxxx xxxxx xxxxx 13.1 xxxxx
Shared LOS: A A
ApproachDel: xxxxxx xxxxxx 13.1 B
ApproachLOS: B

Note: Queue reported is the number of cars per lane.

AM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level Of Service Computation Report

2000 HCM Operations Method (Base Volume Alternative)

Intersection #1 El Camino Real/Santa Rosa Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.599
Loss Time (sec): 8 Average Delay (sec/veh): 17.5
Optimal Cycle: 36 Level Of Service: B

Street Name: El Camino Real Santa Rosa Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L T R L T R L T R L T R

Control: Protected Protected Protected Protected Protected
Rights: Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 1 1 0 1 0 1 0 1 0 0

Volume Module:

Base Vol: 301 314 7 5 363 184 127 12 300 1 7 5
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 301 314 7 5 363 184 127 12 300 1 7 5
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 301 314 7 5 363 184 127 12 300 1 7 5
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 301 314 7 5 363 184 127 12 300 1 7 5
PCF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
FinalVolume: 301 314 7 5 363 184 127 12 300 1 7 5

Saturation Flow Module:

Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.95 0.95 0.95 0.96 0.96 0.85 0.94 0.94 0.94
Lanes: 1.00 1.96 0.04 1.00 1.33 0.67 0.91 0.09 1.00 0.08 0.54 0.38
Final Sat.: 1805 3521 78 1805 2276 1154 1660 157 1615 138 966 690

Capacity Analysis Module:

Vol/Sat: 0.17 0.09 0.09 0.00 0.16 0.16 0.08 0.08 0.19 0.01 0.01 0.01
Crit Moves: ****
Green/Cycle: 0.28 0.53 0.53 0.02 0.27 0.27 0.29 0.31 0.31 0.01 0.03 0.03
Volume/Cap: 0.60 0.17 0.17 0.17 0.60 0.60 0.26 0.25 0.60 0.60 0.26 0.26
Delay/Veh: 20.8 7.4 7.4 31.6 20.3 20.3 16.4 15.7 19.6 68.2 31.3 31.3
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 20.8 7.4 7.4 31.6 20.3 20.3 16.4 15.7 19.6 68.2 31.3 31.3
LOS by Move: C A A C C C E B B E C C
HCM2k95thQ: 9 3 3 1 11 11 4 4 9 2 1 1

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level Of Service Computation Report

2000 HCM Operations Method (Base Volume Alternative)

Intersection #1 El Camino Real/Santa Rosa Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.752
Loss Time (sec): 8 Average Delay (sec/veh): 19.3
Optimal Cycle: 49 Level Of Service: B

Street Name: El Camino Real Santa Rosa Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L T R L T R L T R L T R

Control: Protected Protected Protected Protected Protected
Rights: Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 1 1 0 1 0 1 0 1 0 0

Volume Module:

Base Vol: 335 680 6 12 618 251 218 6 305 5 21 20
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 335 680 6 12 618 251 218 6 305 5 21 20
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 335 680 6 12 618 251 218 6 305 5 21 20
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 335 680 6 12 618 251 218 6 305 5 21 20
PCF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
FinalVolume: 335 680 6 12 618 251 218 6 305 5 21 20

Saturation Flow Module:

Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.95 0.95 0.95 0.91 0.91 0.91 0.95 0.95 0.85 0.94 0.94
Lanes: 1.00 1.96 0.02 1.00 1.42 0.58 0.97 0.03 1.00 0.11 0.46 0.43
Final Sat.: 1805 3575 52 1805 2457 998 1764 49 1615 193 612 773

Capacity Analysis Module:

Vol/Sat: 0.19 0.19 0.19 0.01 0.25 0.25 0.12 0.12 0.19 0.03 0.03 0.03
Crit Moves: ****
Green/Cycle: 0.25 0.56 0.56 0.02 0.33 0.33 0.24 0.25 0.25 0.03 0.05 0.05
Volume/Cap: 0.75 0.34 0.34 0.34 0.75 0.75 0.52 0.49 0.75 0.75 0.52 0.52
Delay/Veh: 28.0 7.2 7.2 34.6 20.6 20.6 21.2 20.0 28.5 68.9 33.5 33.5
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 28.0 7.2 7.2 34.6 20.6 20.6 21.2 20.0 28.5 68.9 33.5 33.5
LOS by Move: C A A C C C C C C C E C C
HCM2k95thQ: 12 7 7 1 18 18 7 7 11 5 3 3

Note: Queue reported is the number of cars per lane.

AM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

2000 HCM Operations Method (Base Volume Alternative)
Intersection #2 El Camino Real/San Rafael Rd
Level Of Service Computation Report
Cycle (sec): 100 Critical Vol./Cap.(X): 0.436
Loss Time (sec): 8 Average Delay (sec/veh): 11.5
Optimal Cycle: 28 Level Of Service: B

Street Name: El Camino Real San Rafael Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R
Control: Protected Protected Protected Permitted Permitted
Rights: Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 1 1 0 1 0 1 1 0 0 0 1 1 0 0 1 0 0 1 0

Volume Module:
Base Vol: 12 528 137 289 324 17 14 0 21 22 0 44
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 12 528 137 289 324 17 14 0 21 22 0 44
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 12 528 137 289 324 17 14 0 21 22 0 44
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 12 528 137 289 324 17 14 0 21 22 0 44
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Final Volume: 12 528 137 289 324 17 14 0 21 22 0 44

Saturation Flow Module:
Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.92 0.92 0.95 0.94 0.94 0.77 1.00 0.77 1.00 1.00 0.85
Lanes: 1.00 1.59 0.41 1.00 1.90 0.10 0.40 0.00 0.60 1.00 0.00 1.00
Final Sat.: 1805 2777 721 1805 3406 379 589 0 883 1900 0 1615

Capacity Analysis Module:
Vol/Sat: 0.01 0.19 0.19 0.16 0.10 0.10 0.02 0.00 0.02 0.01 0.00 0.03
Crit Moves: ****
Green/Cycle: 0.05 0.44 0.44 0.37 0.75 0.75 0.06 0.00 0.06 0.06 0.00 0.06
Volume/Cap: 0.13 0.44 0.44 0.44 0.13 0.13 0.38 0.00 0.38 0.16 0.00 0.44
Delay/Veh: 27.7 12.0 12.0 14.7 2.1 2.1 29.6 0.0 29.6 27.4 0.0 30.1
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 27.7 12.0 12.0 14.7 2.1 2.1 29.6 0.0 29.6 27.4 0.0 30.1
LOS by Move: C B B B A A A C A C A A C
HCM2k95thQ: 0 9 9 8 2 2 0 0 2 1 0 3

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

2000 HCM Operations Method (Base Volume Alternative)
Intersection #2 El Camino Real/San Rafael Rd
Level Of Service Computation Report
Cycle (sec): 100 Critical Vol./Cap.(X): 0.418
Loss Time (sec): 8 Average Delay (sec/veh): 12.2
Optimal Cycle: 27 Level Of Service: B

Street Name: El Camino Real San Rafael Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R
Control: Protected Protected Protected Permitted Permitted
Rights: Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 1 1 0 1 0 1 1 0 0 1 0 0 1 0

Volume Module:
Base Vol: 59 506 20 22 664 40 15 3 13 155 0 215
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 59 506 20 22 664 40 15 3 13 155 0 215
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 59 506 20 22 664 40 15 3 13 155 0 215
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 59 506 20 22 664 40 15 3 13 155 0 215
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Final Volume: 59 506 20 22 664 40 15 3 13 155 0 215

Saturation Flow Module:
Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.94 0.94 0.93 0.94 0.94 0.82 0.82 0.82 0.75 1.00 0.85
Lanes: 1.00 1.92 0.08 1.00 1.69 0.11 0.48 0.10 0.42 1.00 0.00 1.00
Final Sat.: 1805 3452 156 1805 3374 203 757 151 656 1423 0 1615

Capacity Analysis Module:
Vol/Sat: 0.03 0.15 0.15 0.01 0.20 0.20 0.02 0.02 0.02 0.11 0.00 0.13
Crit Moves: ****
Green/Cycle: 0.08 0.51 0.51 0.04 0.47 0.47 0.32 0.32 0.32 0.32 0.00 0.32
Volume/Cap: 0.42 0.29 0.29 0.29 0.42 0.42 0.06 0.06 0.06 0.34 0.00 0.42
Delay/Veh: 28.4 8.7 8.7 30.0 10.6 10.6 14.3 14.3 14.3 16.1 0.0 16.6
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 28.4 8.7 8.7 30.0 10.6 10.6 14.3 14.3 14.3 16.1 0.0 16.6
LOS by Move: C A A C B B B B B B A B A B
HCM2k95thQ: 2 6 6 1 8 8 1 1 1 5 0 7

Note: Queue reported is the number of cars per lane.

AM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level Of Service Computation Report
2000 HCM Operations Method (Base Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd

Cycle (sec): 100 Critical Vol./Cap. (X): 0.350
Loss Time (sec): 8 Average Delay (sec/veh): 15.9
Optimal Cycle: 25 Level Of Service: B

Street Name: El Camino Real Santa Barbara Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L-T-R L-T-R L-T-R L-T-R

Control: Protected Protected Protected Permitted Permitted
Rights: Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 0 1 0 1 0 1 0 1 0 0 1 0

Volume Module:
Base Vol: 148 99 5 15 74 208 47 112 96 10 159 14
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 148 99 5 15 74 208 47 112 96 10 159 14
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 148 99 5 15 74 208 47 112 96 10 159 14
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Final Volume: 148 99 5 15 74 208 47 112 96 10 159 14

Saturation Flow Module:
Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.99 0.99 0.95 1.00 0.85 0.56 1.00 0.85 0.67 0.99 0.99
Lanes: 1.00 0.95 0.05 1.00 1.00 1.00 1.00 1.00 1.00 1.00 0.92 0.08
Final Sat.: 1805 1796 91 1805 1900 1615 1062 1900 1615 1273 1725 152

Capacity Analysis Module:
Vol/Sat: 0.08 0.06 0.06 0.01 0.04 0.13 0.04 0.06 0.06 0.01 0.09 0.09
Crit Moves: ****
Green/Cycle: 0.23 0.52 0.52 0.08 0.37 0.37 0.26 0.26 0.26 0.26 0.26 0.26
Volume/Cap: 0.35 0.11 0.11 0.11 0.11 0.35 0.17 0.22 0.23 0.03 0.35 0.35
Delay/Veh: 19.6 7.2 7.2 26.0 12.5 14.1 17.3 17.5 17.6 16.4 18.3 18.3
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 19.6 7.2 7.2 26.0 12.5 14.1 17.3 17.5 17.6 16.4 18.3 18.3
LOS by Move: B A A C B B B B B B B B B B
HCM2k95thQ: 5 2 2 1 2 5 1 3 3 0 6 6

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level Of Service Computation Report
2000 HCM Operations Method (Base Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd

Cycle (sec): 100 Critical Vol./Cap. (X): 0.275
Loss Time (sec): 8 Average Delay (sec/veh): 15.2
Optimal Cycle: 23 Level Of Service: B

Street Name: El Camino Real Santa Barbara Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L-T-R L-T-R L-T-R L-T-R

Control: Protected Protected Protected Permitted Permitted
Rights: Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 0 1 0 1 0 1 0 1 0 0 1 0

Volume Module:
Base Vol: 114 139 8 22 166 149 111 167 112 7 108 28
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 114 139 8 22 166 149 111 167 112 7 108 28
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 114 139 8 22 166 149 111 167 112 7 108 28
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Final Volume: 114 139 8 22 166 149 111 167 112 7 108 28

Saturation Flow Module:
Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.99 0.99 0.95 1.00 0.85 0.64 1.00 0.85 0.59 0.97 0.97
Lanes: 1.00 0.95 0.05 1.00 1.00 1.00 1.00 1.00 1.00 1.00 0.79 0.21
Final Sat.: 1805 1782 103 1805 1900 1615 1220 1900 1615 1129 1462 379

Capacity Analysis Module:
Vol/Sat: 0.06 0.08 0.08 0.01 0.09 0.09 0.09 0.09 0.07 0.01 0.07 0.07
Crit Moves: ****
Green/Cycle: 0.23 0.47 0.47 0.07 0.32 0.32 0.32 0.32 0.32 0.32 0.32 0.32
Volume/Cap: 0.28 0.16 0.16 0.16 0.28 0.29 0.28 0.28 0.28 0.22 0.23 0.23
Delay/Veh: 19.4 9.1 9.1 26.6 15.6 15.7 15.7 15.5 15.1 14.0 15.2 15.2
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 19.4 9.1 9.1 26.6 15.6 15.7 15.5 15.1 14.0 15.2 15.2 15.2
LOS by Move: B A A C B B B B B B B B B B
HCM2k95thQ: 4 3 3 1 4 4 3 5 3 0 4 4

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria
Average Delay (sec/veh): 0.5 Worst Case Level of Service: B (13.8)
Street Name: El Camino Real Avenida Maria
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Include
Rights: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 0 0 1 1 0 0
Lanes: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 0 0 1 1 0 0

Volume Module:
Base Vol: 0 521 4 2 388 0 0 0 0 0 20 0 10
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 0 521 4 2 388 0 0 0 0 20 0 10
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 0 521 4 2 388 0 0 0 0 20 0 10
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Final Volume: 0 521 4 2 388 0 0 0 0 20 0 10

Critical Gap Module:
Critical Gap:xxxxx xxxx xxxx 4.1 xxxx xxxxx xxxxx xxxx xxxx 6.8 6.5 6.9
FollowUpTim:xxxxx xxxx xxxx 2.2 xxxx xxxxx xxxxx xxxx xxxx 3.5 4.0 3.3

Capacity Module:
Conflict Vol: xxxx xxxx xxxxx 525 xxxx xxxxx xxxx xxxx xxxxx 721 915 263
Potential Cap.: xxxx xxxx xxxxx 1052 xxxx xxxxx xxxx xxxx xxxxx 367 275 742
Move Cap.: xxxx xxxx xxxxx 1052 xxxx xxxxx xxxx xxxx xxxxx 366 274 742
Volume/Cap: xxxx xxxx xxxxx 0.00 xxxx xxxxx xxxx xxxx xxxxx 0.05 0.00 0.01

Level of Service Module:
2Way95thQ: xxxx xxxx xxxxx 0.0 xxxx xxxxx xxxx xxxx xxxxx xxxx xxxx xxxxx
Control Del:xxxxx xxxx xxxxx 8.4 xxxx xxxxx xxxxx xxxx xxxxx xxxxx xxxx xxxxx
LOS by Move: A A A
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx 440 xxxxx
SharedQueue:xxxxx xxxx xxxxx 0.0 xxxx xxxxx xxxxx xxxxx xxxxx 0.2 xxxxx
Shrd ConDel:xxxxx xxxx xxxxx 8.4 xxxx xxxxx xxxxx xxxxx xxxxx 13.8 xxxxx
Shared LOS: A A A
ApproachDel: xxxxxx xxxxxx
ApproachLOS: xxxxxx 13.8 B

Note: Queue reported is the number of cars per lane.

PM Peak Hour - Future Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level of Service Computation Report
2000 HCM Unsignalized Method (Base Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria
Average Delay (sec/veh): 0.2 Worst Case Level of Service: C (17.2)
Street Name: El Camino Real Avenida Maria
Approach: North Bound South Bound East Bound West Bound
Movement: L - T - R L - T - R L - T - R L - T - R

Control: Uncontrolled Uncontrolled Stop Sign Include
Rights: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 0 0 1 1 0 0
Lanes: 0 0 1 1 0 0 1 1 0 0 0 0 0 0 0 0 0 0 1 1 0 0

Volume Module:
Base Vol: 0 567 20 8 788 0 0 0 0 0 9 0 4
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 0 567 20 8 788 0 0 0 0 0 9 0 4
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 0 567 20 8 788 0 0 0 0 0 9 0 4
Reduct Vol: 0 0 0 0 0 0 0 0 0 0 0 0
Final Volume: 0 567 20 8 788 0 0 0 0 0 9 0 4

Critical Gap Module:
Critical Gap:xxxxx xxxx xxxxx 4.1 xxxx xxxxx xxxxx xxxx xxxx 6.8 6.5 6.9
FollowUpTim:xxxxx xxxx xxxx 2.2 xxxx xxxxx xxxxx xxxx xxxx 3.5 4.0 3.3

Capacity Module:
Conflict Vol: xxxx xxxx xxxxx 587 xxxx xxxxx xxxx xxxx xxxxx 987 1381 294
Potential Cap.: xxxx xxxx xxxxx 998 xxxx xxxxx xxxx xxxx xxxxx 248 145 709
Move Cap.: xxxx xxxx xxxxx 998 xxxx xxxxx xxxx xxxx xxxxx 246 144 709
Volume/Cap: xxxx xxxx xxxxx 0.01 xxxx xxxxx xxxx xxxx xxxxx 0.04 0.00 0.01

Level of Service Module:
2Way95thQ: xxxx xxxx xxxxx 0.0 xxxx xxxxx xxxx xxxx xxxxx xxxx xxxx xxxxx
Control Del:xxxxx xxxx xxxxx 8.6 xxxx xxxxx xxxxx xxxx xxxxx xxxxx xxxx xxxxx
LOS by Move: A A A
Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
Shared Cap.: xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx 308 xxxxx
SharedQueue:xxxxx xxxx xxxxx 0.0 xxxx xxxxx xxxxx xxxxx xxxxx 0.1 xxxxx
Shrd ConDel:xxxxx xxxx xxxxx 8.6 xxxx xxxxx xxxxx xxxxx xxxxx 17.2 xxxxx
Shared LOS: A A A
ApproachDel: xxxxxx xxxxxx
ApproachLOS: xxxxxx 17.2 C

Note: Queue reported is the number of cars per lane.

AM Peak Hour - Future plus Project Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level Of Service Computation Report

2000 HCM Operations Method (Future Volume Alternative)

Intersection #1 El Camino Real/Santa Rosa Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.607
Loss Time (sec): 8 Average Delay (sec/veh): 17.6
Optimal Cycle: 36 Level Of Service: B

Street Name: El Camino Real Santa Rosa Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L T R L T R L T R L T R

Control: Protected Protected Protected Protected Protected Protected
Rights: Include Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 1 1 0 1 0 1 1 0 0 1 0 0 1 0 0 1 0 0

Volume Module:

Base Vol: 301 314 7 5 363 184 127 12 300 1 7 5
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 301 314 7 5 363 184 127 12 300 1 7 5
Added Vol: 9 10 0 0 3 0 0 0 0 2 0 0 0 0 0 0 0 0 0 0
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 310 324 7 5 366 184 127 12 302 1 7 5
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 310 324 7 5 366 184 127 12 302 1 7 5
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 310 324 7 5 366 184 127 12 302 1 7 5
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
FinalVolume: 310 324 7 5 366 184 127 12 302 1 7 5

Saturation Flow Module:

Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.95
Lanes: 1.00 1.96 0.04 1.00 1.33 0.67 0.91 0.09 1.00 0.08 0.54 0.38
Final Sat.: 1805 3523 76 1805 2282 1147 1650 157 1615 138 965 690

Capacity Analysis Module:

Vol/Sat: 0.17 0.09 0.09 0.00 0.16 0.16 0.08 0.08 0.19 0.01 0.01 0.01
Crit Moves: ****
Green/Cycle: 0.28 0.53 0.02 0.26 0.26 0.29 0.31 0.31 0.01 0.03 0.03
Volume/Cap: 0.61 0.17 0.17 0.17 0.61 0.61 0.26 0.25 0.61 0.61 0.26 0.26
Delay/Veh: 20.7 7.3 7.3 32.0 20.5 20.5 16.5 15.8 19.8 70.8 31.4 31.4
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 20.7 7.3 7.3 32.0 20.5 20.5 16.5 15.8 19.8 70.8 31.4 31.4
LOS by Move: C A C C C C C C C C C C C C C C C C C C C C
HCM2k95thQ: 10 3 3 1 11 11 4 4 9 2 1 1

PM Peak Hour - Future plus Project Conditions
Traffic Study for Atascadero Family Apartments
City of Atascadero

Level Of Service Computation Report

2000 HCM Operations Method (Future Volume Alternative)

Intersection #1 El Camino Real/Santa Rosa Rd

Cycle (sec): 100 Critical Vol./Cap.(X): 0.765
Loss Time (sec): 8 Average Delay (sec/veh): 19.7
Optimal Cycle: 51 Level Of Service: B

Street Name: El Camino Real Santa Rosa Rd
Approach: North Bound South Bound East Bound West Bound
Movement: L T R L T R L T R L T R

Control: Protected Protected Protected Protected Protected Protected
Rights: Include Include Include Include Include Include
Min. Green: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Y+R: 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0 4.0
Lanes: 1 0 1 1 0 1 0 1 1 0 0 1 0 0 1 0 0 1 0 0

Volume Module:

Base Vol: 335 680 6 12 618 251 218 6 305 5 21 20
Growth Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
Initial Bse: 335 680 6 12 618 251 218 6 305 5 21 20
Added Vol: 4 5 0 0 11 0 0 0 0 9 0 0 0 0 0 0 0 0 0 0
PasserByVol: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Initial Fut: 339 685 6 12 629 251 218 6 314 5 21 20
User Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
PHF Volume: 339 685 6 12 629 251 218 6 314 5 21 20
Reduced Vol: 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Reduced Vol: 339 685 6 12 629 251 218 6 314 5 21 20
PCE Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
MLF Adj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
FinalVolume: 339 685 6 12 629 251 218 6 314 5 21 20

Saturation Flow Module:

Sat/Lane: 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900 1900
Adjustment: 0.95 0.95 0.95 0.95 0.91 0.91 0.91 0.95 0.95 0.85 0.94 0.94 0.94
Lanes: 1.00 1.98 0.02 1.00 1.43 0.57 0.97 0.03 1.00 0.11 0.46 0.43
Final Sat.: 1805 3575 31 1805 2469 985 1764 49 1615 193 812 773

Capacity Analysis Module:

Vol/Sat: 0.19 0.19 0.19 0.02 0.25 0.25 0.12 0.12 0.19 0.03 0.03 0.03
Crit Moves: ****
Green/Cycle: 0.25 0.56 0.56 0.02 0.33 0.33 0.24 0.25 0.25 0.03 0.05 0.05
Volume/Cap: 0.76 0.34 0.34 0.34 0.76 0.76 0.52 0.49 0.76 0.76 0.52 0.52
Delay/Veh: 28.8 7.3 7.3 34.8 21.0 21.0 21.0 19.6 29.0 72.2 33.1 33.1
User DelAdj: 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00
AdjDel/Veh: 28.8 7.3 7.3 34.8 21.0 21.0 21.0 19.6 29.0 72.2 33.1 33.1
LOS by Move: C A A A C C C C C C C C C C C C C C C C
HCM2k95thQ: 12 7 7 1 18 18 7 6 10 5 3 3

AM Peak Hour - Future plus Project Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Level of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #2 El Camino Real/San Rafael Rd
 Cycle (sec): 100 Critical Vol./Cap.(X): 0.442
 Loss Time (sec): 8 Average Delay (sec/veh): 11.5
 Optimal Cycle: 28 Level of Service: B

Street Name:	North Bound			South Bound			East Bound			West Bound		
	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Protected Include			Protected Include			Protected Include			Permitted Include		
Rights:	0 0 0			0 0 0			0 0 0			0 0 0		
Min. Green:	4.0 4.0 4.0			4.0 4.0 4.0			4.0 4.0 4.0			4.0 4.0 4.0		
Y+R:	1 0 1			1 0 1			1 0 1			1 0 1		
Lanes:	1 0 1			1 0 1			1 0 1			1 0 1		

Volume Module:	North Bound			South Bound			East Bound			West Bound		
	L	T	R	L	T	R	L	T	R	L	T	R
Base Vol:	12	528	137	289	324	17	14	0	21	22	0	44
Growth Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Initial Base:	12	528	137	289	324	17	14	0	21	22	0	44
Added Vol:	0	19	0	0	5	0	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	12	547	137	289	329	17	14	0	21	22	0	44
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	12	547	137	289	329	17	14	0	21	22	0	44
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	12	547	137	289	329	17	14	0	21	22	0	44
PCE Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	12	547	137	289	329	17	14	0	21	22	0	44

Saturation Flow Module:

Sat/Lane:	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Adjustment:	0.95	0.92	0.92	0.95	0.94	0.94	0.77	1.00	0.77	1.00	1.00
Lanes:	1.00	1.60	0.40	1.00	1.90	0.10	0.40	0.00	0.60	1.00	0.00
Final Sat.:	1805	2800	701	1805	3409	176	599	0	883	1900	0

Capacity Analysis Module:

Vol/Sat:	0.01	0.20	0.20	0.16	0.10	0.10	0.02	0.00	0.02	0.01	0.00
Crit Moves:	0.03	0.15	0.15	0.03	0.15	0.15	0.03	0.00	0.03	0.01	0.00
Green/Cycle:	0.05	0.44	0.44	0.36	0.75	0.75	0.06	0.00	0.06	0.05	0.00
Volume/Cap:	0.13	0.44	0.44	0.44	0.13	0.13	0.39	0.00	0.39	0.18	0.00
Delay/Veh:	27.8	11.8	11.8	15.0	2.0	2.0	29.8	0.0	29.8	27.5	0.0
User DelAdj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
AdjDel/Veh:	27.8	11.8	11.8	15.0	2.0	2.0	29.8	0.0	29.8	27.5	0.0
LOS by Move:	C	B	B	B	A	A	C	A	C	A	A
HCM2k95thQ:	0	9	9	8	2	2	2	0	2	1	0

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PM Peak Hour - Future plus Project Conditions
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Level of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #2 El Camino Real/San Rafael Rd
 Cycle (sec): 100 Critical Vol./Cap.(X): 0.424
 Loss Time (sec): 8 Average Delay (sec/veh): 12.1
 Optimal Cycle: 27 Level of Service: B

Street Name:	North Bound			South Bound			East Bound			West Bound		
	L	T	R	L	T	R	L	T	R	L	T	R
Control:	Protected Include			Protected Include			Protected Include			Permitted Include		
Rights:	0 0 0			0 0 0			0 0 0			0 0 0		
Min. Green:	4.0 4.0 4.0			4.0 4.0 4.0			4.0 4.0 4.0			4.0 4.0 4.0		
Y+R:	1 0 1			1 0 1			1 0 1			1 0 1		
Lanes:	1 0 1			1 0 1			1 0 1			1 0 1		

Volume Module:	North Bound			South Bound			East Bound			West Bound		
	L	T	R	L	T	R	L	T	R	L	T	R
Base Vol:	59	506	20	22	664	40	15	3	13	155	0	215
Growth Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Initial Base:	59	506	20	22	664	40	15	3	13	155	0	215
Added Vol:	0	9	0	0	19	0	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	59	515	20	22	683	40	15	3	13	155	0	215
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	59	515	20	22	683	40	15	3	13	155	0	215
Reduct Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	59	515	20	22	683	40	15	3	13	155	0	215
PCE Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
FinalVolume:	59	515	20	22	683	40	15	3	13	155	0	215

Saturation Flow Module:

Sat/Lane:	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Adjustment:	0.95	0.92	0.92	0.95	0.94	0.94	0.77	1.00	0.77	1.00	1.00
Lanes:	1.00	1.60	0.40	1.00	1.90	0.10	0.40	0.00	0.60	1.00	0.00
Final Sat.:	1805	2800	701	1805	3409	176	599	0	883	1900	0

Capacity Analysis Module:

Vol/Sat:	0.03	0.15	0.15	0.03	0.15	0.15	0.03	0.00	0.03	0.01	0.00
Crit Moves:	0.03	0.15	0.15	0.03	0.15	0.15	0.03	0.00	0.03	0.01	0.00
Green/Cycle:	0.08	0.51	0.51	0.04	0.48	0.48	0.31	0.31	0.31	0.31	0.00
Volume/Cap:	0.42	0.29	0.29	0.23	0.42	0.42	0.06	0.06	0.06	0.35	0.00
Delay/Veh:	28.5	8.5	8.5	30.0	10.5	10.5	14.5	14.5	14.5	16.3	0.0
User DelAdj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
AdjDel/Veh:	28.5	8.5	8.5	30.0	10.5	10.5	14.5	14.5	14.5	16.3	0.0
LOS by Move:	C	B	B	C	B	B	B	B	B	B	A
HCM2k95thQ:	2	6	6	1	9	9	1	1	1	5	0

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Level of Service Computation Report
 2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #3 El Camino Real/San Diego Wy-US 101 Off Ramp
 Average Delay (sec/veh): 1.2 Worst Case Level of Service: B [13.0]
 Street Name: El Camino Real San Diego Wy-US 101 Off Ramp
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Uncontrolled	Uncontrolled	Uncontrolled	Stop Sign	Stop Sign
Rights:	Include	Include	Include	Include	Include
Lanes:	1	0	1	0	0
Volume Module:					
Base Vol:	1	416	0	0	383
Growth Adj:	1.00	1.00	1.00	1.00	1.00
Initial Bse:	1	416	0	0	383
Added Vol:	0	4	0	0	15
PasserByVol:	0	0	0	0	0
Initial Fut:	1	420	0	0	398
User Adj:	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00
PHF Volume:	3	420	0	0	398
Reduct Vol:	0	0	0	0	0
Final Volume:	1	420	0	0	398

Critical Gap Module:
 Critical Gp: 4.1
 FollowUpTim: 2.2

Capacity Module:
 Conflict Vol: 407
 Potent Cap.: 1163
 Move Cap.: 1163
 Total Cap: xxxxxx
 Volume/Cap: 0.00

Level of Service Module:
 2Way95thQ: 0.0
 Control Del: 8.1
 LOS by Move: A
 Movement: LT - LTR - RT
 Shared Cap.: xxxxxx
 SharedQueue: xxxxxx
 Shrd ConDel: xxxxxx
 Shared LOS: xxxxxx
 ApproachDel: xxxxxx
 ApproachLOS: xxxxxx

Note: Queue reported is the number of cars per lane.

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 City of Atascadero

Level of Service Computation Report
 2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #3 El Camino Real/San Diego Wy-US 101 Off Ramp
 Average Delay (sec/veh): 1.1 Worst Case Level of Service: C [15.8]
 Street Name: El Camino Real San Diego Wy-US 101 Off Ramp
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Uncontrolled	Uncontrolled	Uncontrolled	Stop Sign	Stop Sign
Rights:	Include	Include	Include	Include	Include
Lanes:	1	0	1	0	0
Volume Module:					
Base Vol:	0	538	0	0	635
Growth Adj:	1.00	1.00	1.00	1.00	1.00
Initial Bse:	0	538	0	0	635
Added Vol:	0	16	0	0	8
PasserByVol:	0	0	0	0	0
Initial Fut:	0	554	0	0	643
User Adj:	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00
PHF Volume:	0	554	0	0	643
Reduct Vol:	0	0	0	0	0
Final Volume:	0	554	0	0	643

Critical Gap Module:
 Critical Gp: xxxxxx
 FollowUpTim: xxxxxx

Capacity Module:
 Conflict Vol: xxxxxx
 Potent Cap.: xxxxxx
 Move Cap.: xxxxxx
 Total Cap: xxxxxx
 Volume/Cap: xxxxxx

Level of Service Module:
 2Way95thQ: xxxxxx
 Control Del: xxxxxx
 LOS by Move: xxxxxx
 Movement: LT - LTR - RT
 Shared Cap.: xxxxxx
 SharedQueue: xxxxxx
 Shrd ConDel: xxxxxx
 Shared LOS: xxxxxx
 ApproachDel: xxxxxx
 ApproachLOS: xxxxxx

Note: Queue reported is the number of cars per lane.

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Level of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd

Cycle (sec): 100 Critical Vol./Cap. (X): 0.278
 Loss Time (sec): 8 Average Delay (sec/veh): 15.2
 Optimal Cycle: 23 Level of Service: B

Street Name: El Camino Real Santa Barbara Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L T R L T R L T R L T R

Control:	Protected				Permitted				Permitted
	Include	Exclude	Include	Exclude	Include	Exclude	Include	Exclude	
Rights:	0	0	0	0	0	0	0	0	0
Min. Green:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Y+R:	1	0	1	0	1	0	1	0	1
Lanes:	1	0	1	0	1	0	1	0	1

Volume Module:

Base Vol:	114	139	8	22	166	149	111	167	112	7	108	28
Growth Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Initial Bse:	114	139	8	22	166	149	111	167	112	7	108	28
Added Vol:	0	11	0	0	0	0	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	114	150	8	22	171	152	116	167	112	7	108	28
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	114	150	8	22	171	152	116	167	112	7	108	28
Reduced Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	114	150	8	22	171	152	116	167	112	7	108	28
PCF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Final Volume:	114	150	8	22	171	152	116	167	112	7	108	28

Saturation Flow Module:

Sat/Lane:	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Adjustment:	0.95	0.99	0.99	0.95	1.00	0.85	0.65	1.00	0.85	0.60	0.97	0.97
Lanes:	1.00	0.95	0.05	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.79	0.21
Final Sat.:	1805	1789	95	1805	1900	1615	1226	1900	1615	1138	1462	379

Capacity Analysis Module:

Vol/Sat:	0.06	0.08	0.08	0.01	0.09	0.09	0.09	0.09	0.07	0.01	0.07	0.07
Crit Moves:	0.23	0.48	0.48	0.07	0.32	0.32	0.32	0.32	0.32	0.32	0.32	0.32
Green/Cycle:	0.28	0.17	0.17	0.28	0.29	0.30	0.28	0.22	0.22	0.02	0.23	0.23
Volume/Cap:	19.5	8.9	8.9	26.9	15.3	15.5	15.9	15.6	15.3	14.1	15.4	15.4
Delay/Veh:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
User DelAdj:	19.5	8.9	8.9	26.9	15.3	15.5	15.9	15.6	15.3	14.1	15.4	15.4
AdjDel/Veh:	5	2	2	1	2	6	1	3	3	0	6	6
LOS by Move:	B	A	A	C	B	B	B	B	B	B	B	B
HCM2k95thQ:	5	2	2	1	2	6	1	3	3	0	6	6

AM Peak Hour - Future plus Project Conditions
 Traffic Study for Atascadero Family Apartments
 City of Atascadero

Level of Service Computation Report
 2000 HCM Operations Method (Future Volume Alternative)

Intersection #4 El Camino Real/Santa Barbara Rd

Cycle (sec): 100 Critical Vol./Cap. (X): 0.353
 Loss Time (sec): 8 Average Delay (sec/veh): 15.9
 Optimal Cycle: 25 Level of Service: B

Street Name: El Camino Real Santa Barbara Rd
 Approach: North Bound South Bound East Bound West Bound
 Movement: L T R L T R L T R L T R

Control:	Protected				Permitted				Permitted
	Include	Exclude	Include	Exclude	Include	Exclude	Include	Exclude	
Rights:	0	0	0	0	0	0	0	0	0
Min. Green:	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Y+R:	1	0	1	0	1	0	1	0	1
Lanes:	1	0	1	0	1	0	1	0	1

Volume Module:

Base Vol:	148	99	5	15	74	208	47	112	96	10	159	14
Growth Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Initial Bse:	148	99	5	15	74	208	47	112	96	10	159	14
Added Vol:	0	3	0	0	10	5	0	0	0	0	0	0
PasserByVol:	0	0	0	0	0	0	0	0	0	0	0	0
Initial Fut:	148	102	5	15	84	213	48	112	96	10	159	14
User Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
PHF Volume:	148	102	5	15	84	213	48	112	96	10	159	14
Reduced Vol:	0	0	0	0	0	0	0	0	0	0	0	0
Reduced Vol:	148	102	5	15	84	213	48	112	96	10	159	14
PCF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
MLF Adj:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Final Volume:	148	102	5	15	84	213	48	112	96	10	159	14

Saturation Flow Module:

Sat/Lane:	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Adjustment:	0.95	0.99	0.99	0.95	1.00	0.85	0.67	0.99	0.99	0.67	0.99	0.99
Lanes:	1.00	0.95	0.05	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.92	0.08
Final Sat.:	1805	1799	88	1805	1900	1615	1058	1900	1615	1271	1775	152

Capacity Analysis Module:

Vol/Sat:	0.08	0.06	0.06	0.01	0.04	0.13	0.05	0.06	0.06	0.01	0.09	0.09
Crit Moves:	0.23	0.53	0.53	0.08	0.37	0.37	0.26	0.26	0.26	0.26	0.26	0.26
Green/Cycle:	0.35	0.11	0.11	0.35	0.35	0.35	0.35	0.35	0.35	0.35	0.35	0.35
Volume/Cap:	19.8	7.1	7.1	26.1	12.4	13.9	17.5	17.6	17.7	16.6	18.5	18.5
Delay/Veh:	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
User DelAdj:	19.8	7.1	7.1	26.1	12.4	13.9	17.5	17.6	17.7	16.6	18.5	18.5
AdjDel/Veh:	5	2	2	1	2	6	1	3	3	0	6	6
LOS by Move:	B	A	A	C	B	B	B	B	B	B	B	B
HCM2k95thQ:	5	2	2	1	2	6	1	3	3	0	6	6

Level of Service Computation Report
 2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria
 Average Delay (sec/veh): 1.0 Worst Case Level of Service: B [13.9]
 Street Name: El Camino Real Avenida Maria
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Uncontrolled	Uncontrolled	Stop Sign	Stop Sign
Rights:	Include	Include	Include	Include
Lanes:	0 0 1 1 0	0 1 1 0 0	0 0 0 0 0	0 0 1 0 0
Volume Module:				
Base Vol:	0 521	4 2 388	0 0 0 0	20 0 10
Growth Adj:	1.00 1.00	1.00 1.00	1.00 1.00	1.00 1.00
Initial Bse:	0 521	4 2 388	0 0 0 0	20 0 10
Added Vol:	0 0	4 5 0	0 0 0 0	15 0 19
PasserByVol:	0 0	0 0 0	0 0 0 0	0 0 0
Initial Fut:	0 521	8 7 388	0 0 0 0	35 0 29
User Adj:	1.00 1.00	1.00 1.00	1.00 1.00	1.00 1.00
PHF Adj:	1.00 1.00	1.00 1.00	1.00 1.00	1.00 1.00
PHF Volume:	0 521	8 7 388	0 0 0 0	35 0 29
Reduct Vol:	0 0	0 0 0	0 0 0 0	0 0 0
FinalVolume:	0 521	8 7 388	0 0 0 0	35 0 29

Critical Gap Module:
 Critical Gap:xxxxx 4.1 xxxx xxxxx xxxx xxxxx 6.8 5.5 6.9
 FollowUpTim:xxxxx 2.2 xxxx xxxxx xxxx xxxxx 3.5 4.0 3.3

Capacity Module:
 Conflict Vol: xxxx xxxx xxxxx 529 xxxx xxxxx xxxx xxxxx 733 927 265
 Potent Cap.: xxxx xxxx xxxxx 1048 xxxx xxxxx xxxx xxxxx 360 270 740
 Move Cap.: xxxx xxxx xxxxx 1048 xxxx xxxxx xxxx xxxxx 358 269 740
 Volume/Cap: xxxx xxxx xxxxx 0.01 xxxx xxxxx xxxx xxxxx 0.10 0.00 0.04

Level of Service Module:
 2Way95thQ: xxxx xxxx xxxxx 0.0 xxxx xxxxx xxxx xxxxx xxxxx xxxxx xxxxx
 Control Del:xxxxx xxxx xxxxx 8.5 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx
 LOS by Move: A
 Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
 Shared Cap.: xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx 468 xxxxx
 SharedQueue:xxxxx xxxx xxxxx 0.0 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx 0.5 xxxxx
 Shrd ConDel:xxxxx xxxx xxxxx 8.5 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx 13.9 xxxxx
 Shared LOS: A
 ApproachDel: xxxxxx xxxxxx 13.9 B
 ApproachLOS: B

Note: Queue reported is the number of cars per lane.

Level of Service Computation Report
 2000 HCM Unsignalized Method (Future Volume Alternative)

Intersection #5 El Camino Real/Avenida Maria
 Average Delay (sec/veh): 0.5 Worst Case Level of Service: C [17.4]
 Street Name: El Camino Real Avenida Maria
 Approach: North Bound South Bound East Bound West Bound
 Movement: L - T - R L - T - R L - T - R L - T - R

Control:	Uncontrolled	Uncontrolled	Stop Sign	Stop Sign
Rights:	Include	Include	Include	Include
Lanes:	0 0 1 1 0	0 1 1 0 0	0 0 0 0 0	0 0 1 0 0
Volume Module:				
Base Vol:	0 567	20 8 788	0 0 0 0	9 0 4
Growth Adj:	1.00 1.00	1.00 1.00	1.00 1.00	1.00 1.00
Initial Bse:	0 567	20 8 788	0 0 0 0	9 0 4
Added Vol:	0 0	16 19 0	0 0 0 0	8 0 9
PasserByVol:	0 0	0 0 0	0 0 0 0	0 0 0
Initial Fut:	0 567	36 27 788	0 0 0 0	17 0 13
User Adj:	1.00 1.00	1.00 1.00	1.00 1.00	1.00 1.00
PHF Adj:	1.00 1.00	1.00 1.00	1.00 1.00	1.00 1.00
PHF Volume:	0 567	36 27 788	0 0 0 0	17 0 13
Reduct Vol:	0 0	0 0 0	0 0 0 0	0 0 0
FinalVolume:	0 567	36 27 788	0 0 0 0	17 0 13

Critical Gap Module:
 Critical Gap:xxxxx xxxx xxxxx 4.1 xxxx xxxxx xxxxx xxxxx 6.8 5.5 6.9
 FollowUpTim:xxxxx xxxx xxxxx 2.2 xxxx xxxxx xxxxx xxxxx 3.5 4.0 3.3

Capacity Module:
 Conflict Vol: xxxx xxxx xxxxx 503 xxxx xxxxx xxxx xxxxx 1033 1427 302
 Potent Cap.: xxxx xxxx xxxxx 984 xxxx xxxxx xxxx xxxxx 232 136 701
 Move Cap.: xxxx xxxx xxxxx 984 xxxx xxxxx xxxx xxxxx 227 133 701
 Volume/Cap: xxxx xxxx xxxxx 0.03 xxxx xxxxx xxxx xxxxx 0.07 0.00 0.02

Level of Service Module:
 2Way95thQ: xxxx xxxx xxxxx 0.1 xxxx xxxxx xxxx xxxxx xxxxx xxxxx xxxxx
 Control Del:xxxxx xxxx xxxxx 8.6 xxxx xxxxx xxxxx xxxxx xxxxx xxxxx xxxxx
 LOS by Move: A
 Movement: LT - LTR - RT LT - LTR - RT LT - LTR - RT LT - LTR - RT
 Shared Cap.: xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx xxxx xxxxx xxxx 321 xxxxx
 SharedQueue:xxxxx xxxx xxxxx 0.1 xxxx xxxxx xxxxx xxxxx xxxxx 0.3 xxxxx
 Shrd ConDel:xxxxx xxxx xxxxx 8.6 xxxx xxxxx xxxxx xxxxx xxxxx 17.4 xxxxx
 Shared LOS: A
 ApproachDel: xxxxxx xxxxxx 17.4 C
 ApproachLOS: C

Note: Queue reported is the number of cars per lane.

Appendix C

Interchange Area Queuing Calculations

Queuing and Blocking Report
 PM Peak Hour Existing Conditions
 4/13/2015

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB	WB	SB
Directions Served	LTR	LTR	LTR
Maximum Queue (ft)	106	218	245
Average Queue (ft)	65	133	169
95th Queue (ft)	113	240	275
Link Distance (ft)	335	255	1026
Upstream Blk. Time (%)			2
Queuing Penalty (veh)			9
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB	WB	NB
Directions Served	LTR	LT	R
Maximum Queue (ft)	233	136	163
Average Queue (ft)	169	88	84
95th Queue (ft)	286	153	175
Link Distance (ft)	255		333
Upstream Blk. Time (%)	3		
Queuing Penalty (veh)	19		
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB	WB	SB
Directions Served	TR	LT	LTR
Maximum Queue (ft)	38	58	84
Average Queue (ft)	23	40	55
95th Queue (ft)	47	62	90
Link Distance (ft)	323	285	405
Upstream Blk. Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Queuing and Blocking Report
 AM Peak Hour Existing Conditions
 4/13/2015

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB	WB	SB
Directions Served	LTR	LTR	LTR
Maximum Queue (ft)	125	211	163
Average Queue (ft)	77	133	118
95th Queue (ft)	135	228	179
Link Distance (ft)	355	255	1026
Upstream Blk. Time (%)			0
Queuing Penalty (veh)			0
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB	WB	NB
Directions Served	LTR	LT	R
Maximum Queue (ft)	234	98	88
Average Queue (ft)	159	59	41
95th Queue (ft)	255	114	104
Link Distance (ft)	255		333
Upstream Blk. Time (%)	1		
Queuing Penalty (veh)	9		
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB	WB	SB
Directions Served	TR	LT	LTR
Maximum Queue (ft)	42	70	64
Average Queue (ft)	27	54	46
95th Queue (ft)	52	78	69
Link Distance (ft)	323	285	405
Upstream Blk. Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Queuing and Blocking Report
AM Peak Hour Existing Conditions

4/13/2015

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB	NS	LT	LTR
Directions Served	24	36		
Maximum Queue (ft)	13	24		
Average Queue (ft)	37	45		
95th Queue (ft)	285	406		
Link Distance (ft)				
Upstream Blk Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)				
Storage Blk Time (%)				
Queuing Penalty (veh)				

Zone Summary

Zone wide Queuing Penalty: 10

Queuing and Blocking Report
PM Peak Hour Existing Conditions

4/13/2015

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB	NS	LT	LTR
Directions Served	54	84		
Maximum Queue (ft)	18	53		
Average Queue (ft)	57	100		
95th Queue (ft)	285	406		
Link Distance (ft)				
Upstream Blk Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)				
Storage Blk Time (%)				
Queuing Penalty (veh)				

Zone Summary

Zone wide Queuing Penalty: 42

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB		WB		SB	
	LTR	LT	LTR	LT	LTR	LT
Directions Served	100	222	222	228		
Maximum Queue (ft)	60	125	151	151		
Average Queue (ft)	112	254	240			
95th Queue (ft)	355	255	1026			
Link Distance (ft)						
Upstream Blk. Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)						
Storage Blk. Time (%)						
Queuing Penalty (veh)						

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB		WB		NB	
	LTR	LT	LTR	LT	LTR	LT
Directions Served	256	140	173	216		
Maximum Queue (ft)	182	80	83	153		
Average Queue (ft)	281	154	190	279		
95th Queue (ft)	255		333	710		
Link Distance (ft)						
Upstream Blk. Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)						
Storage Blk. Time (%)						
Queuing Penalty (veh)						

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB		WB		SB	
	TR	LT	TR	LT	TR	LT
Directions Served	34	58	70			
Maximum Queue (ft)	20	36	51			
Average Queue (ft)	45	60	82			
95th Queue (ft)	323	285	405			
Link Distance (ft)						
Upstream Blk. Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)						
Storage Blk. Time (%)						
Queuing Penalty (veh)						

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB		WB		SB	
	LTR	LT	LTR	LT	LTR	LT
Directions Served	129	211	189			
Maximum Queue (ft)	83	131	126			
Average Queue (ft)	151	241	212			
95th Queue (ft)	355	255	1026			
Link Distance (ft)						
Upstream Blk. Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)						
Storage Blk. Time (%)						
Queuing Penalty (veh)						

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB		WB		NB	
	LTR	LT	LTR	LT	LTR	LT
Directions Served	222	115	84	175		
Maximum Queue (ft)	155	60	39	121		
Average Queue (ft)	245	123	76	196		
95th Queue (ft)	255		333	710		
Link Distance (ft)						
Upstream Blk. Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)						
Storage Blk. Time (%)						
Queuing Penalty (veh)						

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB		WB		SB	
	TR	LT	TR	LT	TR	LT
Directions Served	48	67	53			
Maximum Queue (ft)	29	48	37			
Average Queue (ft)	55	73	57			
95th Queue (ft)	323	285	405			
Link Distance (ft)						
Upstream Blk. Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)						
Storage Blk. Time (%)						
Queuing Penalty (veh)						

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB	NB
Directions Served	LT	LTR
Maximum Queue (ft)	36	86
Average Queue (ft)	9	59
95th Queue (ft)	40	95
Link Distance (ft)	285	406
Upstream Blk. Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk. Time (%)		
Queuing Penalty (veh)		

Zone Summary

Zone wide Queuing Penalty: 32

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB	NB
Directions Served	LT	LTR
Maximum Queue (ft)	53	28
Average Queue (ft)	15	23
95th Queue (ft)	59	38
Link Distance (ft)	285	406
Upstream Blk. Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk. Time (%)		
Queuing Penalty (veh)		

Zone Summary

Zone wide Queuing Penalty: 14

Queuing and Blocking Report
AM, Peak Hour Future Conditions

2/18/2015

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB	WB	SB
Directions Served	LTR	LTR	LTR
Maximum Queue (ft)	192	180	244
Average Queue (ft)	124	128	174
95th Queue (ft)	258	224	292
Link Distance (ft)	355	255	1028
Upstream Blk. Time (%)	0	3	
Queuing Penalty (veh)	0	13	
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB	WB	WB	WB	WB	WB
Directions Served	LTR	LT	R	LTR		
Maximum Queue (ft)	248	94	68	174		
Average Queue (ft)	189	53	39	106		
95th Queue (ft)	289	114	73	193		
Link Distance (ft)	255		333	710		
Upstream Blk. Time (%)	3					
Queuing Penalty (veh)	22					
Storage Bay Dist (ft)		120				
Storage Blk. Time (%)		2				
Queuing Penalty (veh)		4				

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB	WB	SB
Directions Served	TR	LT	LTR
Maximum Queue (ft)	38	60	62
Average Queue (ft)	28	47	43
95th Queue (ft)	45	68	67
Link Distance (ft)	323	285	405
Upstream Blk. Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Queuing and Blocking Report
PM, Peak Hour Future Conditions

2/18/2015

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB	WB	SB
Directions Served	LTR	LTR	LTR
Maximum Queue (ft)	150	176	331
Average Queue (ft)	92	126	220
95th Queue (ft)	176	184	388
Link Distance (ft)	355	255	1028
Upstream Blk. Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB	WB	WB	WB	WB	WB
Directions Served	LTR	LT	R	LTR		
Maximum Queue (ft)	272	137	134	310		
Average Queue (ft)	210	89	70	240		
95th Queue (ft)	331	153	137	453		
Link Distance (ft)	255		333	710		
Upstream Blk. Time (%)	12					
Queuing Penalty (veh)	78					
Storage Bay Dist (ft)		120				
Storage Blk. Time (%)		3				
Queuing Penalty (veh)		9				

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB	WB	SB
Directions Served	TR	LT	LTR
Maximum Queue (ft)	44	54	81
Average Queue (ft)	31	42	58
95th Queue (ft)	52	61	90
Link Distance (ft)	323	285	405
Upstream Blk. Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB	NB
Directions Served	LT	LTR
Maximum Queue (ft)	40	84
Average Queue (ft)	8	51
95th Queue (ft)	42	94
Link Distance (ft)	285	406
Upstream Blk. Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk. Time (%)		
Queuing Penalty (veh)		

Zone Summary

Zone wide Queuing Penalty: 87

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB	NB
Directions Served	LT	LTR
Maximum Queue (ft)	27	28
Average Queue (ft)	5	17
95th Queue (ft)	27	37
Link Distance (ft)	285	406
Upstream Blk. Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk. Time (%)		
Queuing Penalty (veh)		

Zone Summary

Zone wide Queuing Penalty: 39

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB	WB	SB
Directions Served	LTR	LTR	LTR
Maximum Queue (ft)	180	193	484
Average Queue (ft)	106	142	314
95th Queue (ft)	227	252	573
Link Distance (ft)	355	255	1026
Upstream Blk. Time (%)	3		
Queuing Penalty (veh)	17		
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB	WB	WB	NB
Directions Served	LTR	LT	R	LTR
Maximum Queue (ft)	266	142	181	265
Average Queue (ft)	222	95	85	194
95th Queue (ft)	338	162	184	306
Link Distance (ft)	255		333	710
Upstream Blk. Time (%)	16			
Queuing Penalty (veh)	104			
Storage Bay Dist (ft)		120		
Storage Blk. Time (%)		7		
Queuing Penalty (veh)		22		

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB	WB	SB
Directions Served	TR	LT	LTR
Maximum Queue (ft)	34	57	69
Average Queue (ft)	24	45	54
95th Queue (ft)	48	65	78
Link Distance (ft)	323	285	405
Upstream Blk. Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 6: US101 Southbound Ramp/West Front Road & Santa Rosa Road

Movement	EB	WB	SB
Directions Served	LTR	LTR	LTR
Maximum Queue (ft)	137	211	181
Average Queue (ft)	89	123	149
95th Queue (ft)	188	233	219
Link Distance (ft)	355	255	1026
Upstream Blk. Time (%)	1		
Queuing Penalty (veh)	3		
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Intersection: 7: East Front Road/US 101 Northbound Ramp & Santa Rosa Road

Movement	EB	WB	WB	NB
Directions Served	LTR	LT	R	LTR
Maximum Queue (ft)	256	103	84	172
Average Queue (ft)	175	63	52	121
95th Queue (ft)	277	123	93	191
Link Distance (ft)	255		333	710
Upstream Blk. Time (%)	1			
Queuing Penalty (veh)	7			
Storage Bay Dist (ft)		120		
Storage Blk. Time (%)		0		
Queuing Penalty (veh)		1		

Intersection: 8: US 101 Southbound Ramps & Santa Barbara Road

Movement	EB	WB	SB
Directions Served	TR	LT	LTR
Maximum Queue (ft)	42	67	61
Average Queue (ft)	30	51	45
95th Queue (ft)	46	73	76
Link Distance (ft)	323	285	405
Upstream Blk. Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk. Time (%)			
Queuing Penalty (veh)			

Queuing and Blocking Report
 AM Peak Hour Future Conditions plus Project

2/18/2015

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB		NB	
	LT	LTR	LT	LTR
Directions Served	34	37	34	79
Maximum Queue (ft)	8	25	13	58
Average Queue (ft)	32	48	51	91
95th Queue (ft)	285	406	285	406
Link Distance (ft)				
Upstream Blk. Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)				
Storage Blk. Time (%)				
Queuing Penalty (veh)				

Zone Summary

Zone wide Queuing Penalty: 12

Queuing and Blocking Report
 PM Peak Hour Future Conditions plus Project

2/18/2015

Intersection: 9: US 101 Northbound Ramps & Santa Barbara Road

Movement	EB		NB	
	LT	LTR	LT	LTR
Directions Served	34	79	34	79
Maximum Queue (ft)	13	58	13	58
Average Queue (ft)	51	91	51	91
95th Queue (ft)	285	406	285	406
Link Distance (ft)				
Upstream Blk. Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)				
Storage Blk. Time (%)				
Queuing Penalty (veh)				

Zone Summary

Zone wide Queuing Penalty: 144

Appendix D

Signal Warrant Analysis

Signal Warrant Analysis

Warrant 3: Peak-Hour Volumes and Delay

City of Atascadero
El Camino Real & Avenida Maria

	<u>Major Street</u>	<u>Minor Street</u>
Street Name	El Camino Real	Avenida Maria
Direction	N-S	E-W
Number of Lanes	2	1
Approach Speed	45	25

Population less than 10,000? No
Date of Count: February 5, 2015
Scenario: Future plus Project

Warrant 3; Met when either Condition A or B is met		Not Met
Condition A: Met when conditions A1, A2, and A3 are met		Not Met
Condition A1 The total delay experienced by traffic on one minor street approach (one direction only) controlled by a STOP sign equals or exceeds four vehicle-hours for a one lane approach, or five vehicle-hours for a two-lane approach		Not Met
Condition A2 The volume on the same minor street approach (one direction only) equals or exceeds 100 vph for one moving lane of traffic or 150 vph for two moving lanes		Not Met
Condition A3 The total entering volume serviced during the hour equals or exceeds 800 vph for intersections with four or more approaches or 650 vph for intersections with three approaches		Met
Condition B The plotted point falls above the curve		Not Met

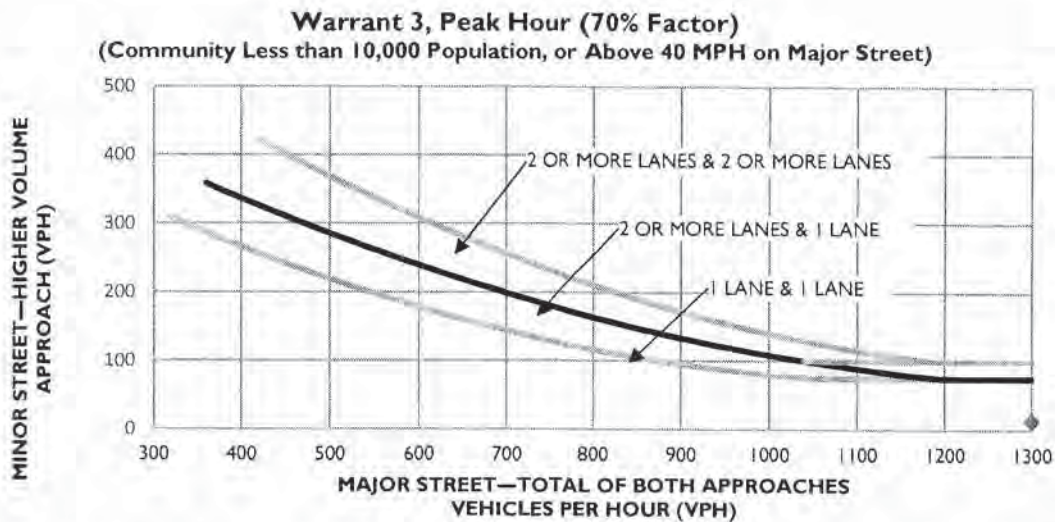




Exhibit A Mitigation Monitoring Program PLN 2014-1522 / CUP 2015-0288 Atascadero Family Apartments	Timing FM: Final Map GP: Grading Permit BP: Building Permit TO: Temporary Occupancy FI: Final Inspection FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney AMWC: Water Comp.	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
<p><u>Mitigation Measure 1.d.1:</u> All lighting shall be designed to eliminate any off site glare. All exterior site lights shall utilize full cut-off, “hooded” lighting fixtures to prevent offsite light spillage and glare. Any luminaire pole height shall not exceed 20-feet in height, limit intensity to 2.0 foot candles at ingress /egress, and otherwise 0.6 foot candle minimum to 1.0 maximum in parking areas. No light shall be permitted to spill off-site. Fixtures shall be shield cut-off type.</p>	<p>BP</p>	<p>BS/PS</p>	<p>LOC</p>
<p><u>Mitigation Measure 1.d.2:</u> At the time of building permit submittal of the proposed project, applicant must submit a photometric plan showing locations of proposed on-site lighting. Prior to final occupancy, City Staff and the applicant shall meet on-site and review lights at dusk condition to ensure off-site light spillage and glare</p>	<p>BP</p>	<p>BS/PS</p>	<p>LOC</p>
<p><u>Mitigation Measure 3.b.1:</u> The project shall be conditioned to comply with all applicable District regulations pertaining to the control of fugitive dust (PM-10) as contained in Section 2 “Assessing and Mitigating Construction Impacts.”</p> <p><u>2.4 Fugitive Dust Mitigation Measures: Standard List</u></p> <ul style="list-style-type: none"> a. Reduce the amount of the disturbed area where possible; b. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible; c. All dirt stock-pile areas should be sprayed daily as needed; d. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible, and building pads should be laid as soon as possible after grading unless seeding or soil binders are used; e. All of these fugitive dust mitigation measures shall be shown on grading and building plans; and f. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. 	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>
<p><u>Mitigation Measure 3.b.2:</u> The project shall be conditioned to comply with all applicable APCD regulations pertaining to Naturally Occurring Asbestos (NOA). Prior to any grading activities a geologic evaluation should be conducted to determine if NOA is present within the area that</p>	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>



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<p>will be disturbed. If NOA is not present, and exemptions request must be filed with the District. If NOA is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety program for approval by the APCD. Technical Appendix 4.4 of the SLO County APCD CEQA Air Quality Handbook includes a map of zones throughout San Luis Obispo County where NOA has been found and geological evaluation is required prior to any grading.</p>			
<p><u>Mitigation Measure 4.d.1:</u> The Atascadero Biological Report recommends a follow-up nesting raptor survey be conducted during the raptor nesting season (March – August) by a qualified wildlife biologist prior to construction activities. Nesting birds, including nesting raptors (hawks, eagles, owls) and bats, are known to occur within ten miles of the proposed project. If active raptor nests are found onsite or within 500 feet of the property, an appropriate avoidance plan should be designed to include no onsite disturbances until the chicks have fledged.</p>	BP	BS/PS	FED/CAL
<p><u>Mitigation Measure 4.e.1:</u> Grading and excavation and grading work shall be consistent with the City of Atascadero Tree Ordinance. Special precautions when working around native trees include:</p> <ol style="list-style-type: none"> 1. All existing trees outside of the limits of work shall remain. 2. Earthwork shall not exceed the limits of the project area. 3. Low branches in danger of being torn from trees shall be pruned prior to any heavy equipment work being done. 4. Vehicles and stockpiled material shall be stored outside the drip line of all trees. 5. All trees within twenty feet of construction work shall be fenced for protection with 4-foot chain link, snow or safety fencing placed per the approved tree protection plan. Tree protection fencing shall be in place prior to any site excavation or grading. Fencing shall remain in place until completion of all construction activities. 6. Any roots that are encountered during excavation shall be clean cut by hand and sealed with an approved tree seal. 7. Utilities such as water, gas, power, cable, storm drainage, and sewer should be redirected from under the canopy of any trees that are to remain. 8. Where a building is placed within the canopy of a tree the foundation should be redesigned so that it bridges across any root systems. 9. Any foundation or other structure that encroaches within the drip line of trees to be saved shall be dug by hand. 10. At no time shall tree roots be ripped with construction equipment. 	BP	BS/PS	LOC
<p><u>Mitigation Measure 4.e.2:</u> Tree protection fencing shall be installed at the locations called out in the Tree Protection Plan. An inspection of the tree fencing shall be done by City staff prior to issuance of building permits.</p>	BP	BS/PS	LOC



Exhibit A Mitigation Monitoring Program PLN 2014-1522 / CUP 2015-0288 Atascadero Family Apartments	Timing FM: Final Map GP: Grading Permit BP: Building Permit TO: Temporary Occupancy FI: Final Inspection FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney AMWC: Water Comp.	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
<u>Mitigation Measure 4.e.3:</u> Upon project completion and prior to final occupancy a final status report shall be prepared by the project arborist certifying that the tree protection plan was implemented, the trees designated for protection were protected during construction, and the construction-related tree protection measures are no longer required for tree protection.	BP	PS	LOC
<u>Mitigation Measure 4.e.4:</u> All utilities shall remain outside the driplines of native trees, to the extent feasible.	BP	PS	LOC
<u>Mitigation 5.d.1:</u> In the event that human remains are discovered on the property, all work on the project shall stop and the Atascadero Police Department and the County Coroner shall be contacted. The Atascadero Community Development Department shall be notified. If the human remains are identified as being Native American, the California Native American Heritage Commission (NAHC) shall be contacted at (916) 653-4082 within 24 hours. A representative from both the Chumash Tribe and the Salinan Tribe shall be notified and present during the excavation of any remains.	Ongoing	PS	CAL
<u>Mitigation Measure 6.b.1:</u> The grading permit application plans shall include erosion control measures to prevent soil, dirt, and debris from entering the storm drain system during and after construction. A separate plan shall be submitted for this purpose and shall be subject to review and approval of the City Engineer at the time of Building Permit application.	BP	BS/PS	CAL
<u>Mitigation Measure 6.b.2:</u> All cut and fill slopes shall be hydro seeded with an appropriate erosion control method (erosion control blanket, hydro-mulch, or straw mulch appropriately anchored) immediately after completion of earthwork. All disturbed slopes shall have appropriate erosion control methods in place. The contractor will be responsible for the clean-up of any mud or debris that is tracked onto public streets by construction vehicles.	BP	BS/PS	CAL
<u>Mitigation Measure 6.b.3:</u> The contractor will be responsible for the clean-up of any mud or debris that is tracked onto public streets by construction vehicles. An approved device must be placed prior to commencement of grading activities. This device shall be approved by the City Engineer.	BP	BS/PS	CAL
<u>Mitigation Measure 8.h.1:</u> Construction will comply with section the California Building and Fire Codes. New residences in the City are required to install fire sprinklers. Fire protection measures shall include the use of non-combustible exterior construction and roofs and fire-resistant building materials deemed appropriate by the fire marshal and chief building official.	BP	BS/PS	CAL
<u>Mitigation Measure 9.d.e.f.1:</u> The developer is responsible for ensuring that all contractors are aware of all storm water quality measures and	BP	BS/PS	CAL



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<p>that such measures are implemented. Failure to comply with the approved construction Best Management Practices will result in the issuance of correction notices, citations, or stop orders.</p>			
<p><u>Mitigation Measure 12.d.1:</u> All construction activities shall comply with the City of Atascadero Noise Ordinance for hours of operation of equipment (between 7 am and 9pm).</p>	<p>BP</p>	<p>BS/PS</p>	<p>LOC</p>
<p><u>Mitigation Measure 16.a.b.3:</u> Payment of Circulation System Fee (TIF) shall be made prior to the issuance of building permits for all residential and non-residential uses that contribute to the deficiencies to the US 101 / Santa Rosa Road interchange and US 101 / Santa Barbara Road interchange. Those traffic impact fees shall be collected as follows: \$3,684 per residential unit (high density / current fee) or development impact fee that is adopted at the time of building permit submittal.</p>	<p>BP</p>	<p>CE/PS</p>	<p>CAL</p>
<p><u>Mitigation Measure 16.f.1:</u> At the discretion of City Staff, the applicant may be required to install a crosswalk on the south leg of El Camino Real / Patria Circle and utilize the existing median to provide a pedestrian refuge area.</p>	<p>BP</p>	<p>PS</p>	<p>CAL / LOC</p>
<p><u>Mitigation Measure 16.f.2:</u> Bicycle rack to be provided on-site.</p>	<p>BP</p>	<p>PS</p>	<p>CAL</p>
<p><u>Mitigation Measure 17.d.1:</u> Landscaping plans shall be submitted to the Community Development Department for review and approval. Landscaping must consist of drought tolerant species and utilize drip irrigation. Turf shall not be permitted as a part of the approved landscaping plan.</p>	<p>BP</p>	<p>PS</p>	<p>17.d.1</p>



ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|------------------------------------------------------------|-----------------------------------------------------------|-------------------------------------------------------------|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forest Resources | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality |
| <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Noise |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input checked="" type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

I find that the proposed project MAY have a "potentially significant effect" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project.

Alfredo R. Castillo, AICP
Planner

Date



EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
 - a) the significance criteria or threshold, if any, used to evaluate each question; and
 - b) the mitigation measure identified, if any, to reduce the impact to less than significance.



Initial Study 2015-0002 PLN 2014-1522 / CUP 2015-0288 Atascadero Family Apartments 10785 El Camino Real / 9355 Avenida Maria	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact

1. AESTHETICS -- Would the project:

a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project Description; Native Tree Report, Greeley; Planning Staff Site Visit; Architectural Plans; Atascadero General Plan 2025, Caltrans Scenic Vista list; Atascadero Municipal Code.

DISCUSSION:

1.a. The proposed project consists of three (3) corridor style buildings. Two (2) of the buildings will be 2-stories in height (24-feet) with two (2) 32-foot tall mechanical / staircase shafts with decorative architectural features and the third will be 3-stories in height (37-feet, 4-inches) with two (2) 43-foot tall mechanical / staircase shafts with decorative architectural features. Although the three-story building and the mechanical / staircase shafts on the two-story buildings exceed the City's height limit requirements per AMC Section 9-4.113, the applicant has requested a height waiver exception. The proposed three-story building is necessary for the development to be economically feasible as it allows for more energy efficiency, is cost effective, and creates the density required in the RMF zone. To mitigate height differences the applicant utilizes the varying topography on-site to reduce the visual appearance of the 3-story building, as this building is set back from El Camino Real approximately 300 feet at a lower portion of the site compared to higher elevations along El Camino Real and near the rear of the proposed project. The building massing will blend in with the surrounding neighborhood and will not obscure an adopted scenic vista from the City of Atascadero, therefore having no significant impact.

1.b. According to the Native Tree Report, the project site contains 68 blue oak trees, of which 21 are proposed for removal. A landscaping plan has been proposed to include the addition of native shrubs, groundcover and trees both internally in the project, along Avenida Maria, and El Camino Real. By placing buildings on the western portion of the site, the project will be preserving a significant blue oak woodland area located on the eastern portion of the site. The project site is not located within a state scenic highway. The proposed project is located on a section of El Camino Real that is primarily commercial development and will not substantially damage scenic resources. Therefore the project is determined to have a less than significant impact.

1.c. The proposed architecture is a mix of stucco and California Craftsman elements and includes architectural elements and variations such as pop-outs, roofline variations, use of shutters, awnings, and other architectural features throughout the three (3) buildings. The architecture and massing of the proposed development is consistent with surrounding structures and the proposed development is within the character of the surrounding area. The residences will not substantially degrade the quality of surrounding properties. Therefore the impact is considered less than significant.

1.d. All proposed lighting within the development area will be residential in nature. The Atascadero Municipal Code (AMC) contains language under section 9-4.137, exterior lighting, stating that "no light glare shall be transmitted or reflected in such concentration or intensity as to be detrimental or harmful to persons or to interfere with the use of surrounding properties or streets.", Implementation of Mitigation Measure 1.d.1 would help to ensure that the residences do not create a substantial light source that adversely affects nighttime views, reducing this impact to less than



Initial Study 2015-0002 PLN 2014-1522 / CUP 2015-0288 Atascadero Family Apartments 10785 El Camino Real / 9355 Avenida Maria	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact

significant thresholds.

Proposed Mitigation Measures – Aesthetics

Mitigation Measure 1.d.1: All lighting shall be designed to eliminate any off site glare. All exterior site lights shall utilize full cut-off, “hooded” lighting fixtures to prevent offsite light spillage and glare. Any luminaire pole height shall not exceed 20-feet in height, limit intensity to 2.0 foot candles at ingress /egress, and otherwise 0.6 foot candle minimum to 1.0 maximum in parking areas. No light shall be permitted to spill off-site. Fixtures shall be shield cut-off type.

Mitigation Measure 1.d.2: At the time of building permit submittal of the proposed project, applicant must submit a photometric plan showing locations of proposed on-site lighting. Prior to final occupancy, City Staff and the applicant shall meet on-site and review lights at dusk condition to ensure off-site light spillage and glare

2. AGRICULTURAL AND FOREST RESOURCES -- In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and the forest carbon measurement methodology provided in the Forest Protocols adopted by the California Air Resources Board. Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined in Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))??	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Atascadero General Plan Land Use Element EIR; Site Plan; San Luis Obispo County Ag Mapping.

DISCUSSION:

2.a. The property is not shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency as prime farmland. Therefore, no impact.

2.b. The property is not in an agricultural zone and is not under a Williamson Act contract based on review of Atascadero GIS / San Luis Obispo Agriculture mapping information. Therefore, no impact.



Initial Study 2015-0002

PLN 2014-1522 / CUP 2015-0288

Atascadero Family Apartments

10785 El Camino Real / 9355 Avenida Maria

Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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2.c. The project does not involve rezoning of forest land or timberland. A new multi-family development on this property is consistent with the existing zoning designations. Therefore, no impact.

2.d.e. The project will not result in a loss of forest land and will not result in a conversion of forest land to non-forest use or farmland to non-agricultural uses. Therefore, no impact.

3. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions that exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SOURCES: Air Pollution Control District (APCD) CEQA Air Quality Handbook, 2012; Project Description, Site Plan

DISCUSSION:

3. a.c. Three (3) residential buildings containing 86 units are proposed for development. This will include 22 one-bedroom apartments, 26 two-bedroom apartments, 24 three-bedroom apartments, and 14 four-bedroom apartments.

According to the Operational Screening Criteria for Project Air Quality Analysis (Table 1-1, SLOAPCD, 2012), Mid Rise Apartments would have to be at or over 94-113 dwelling units in order to be expected to exceed the APCD Annual GHG Bright Line Threshold, as well as the APCD Daily Ozone Precursor Significance Threshold. The proposed residential units will not exceed air quality and emissions thresholds set by the Operational Screening Criteria for Project Air Quality Analysis (Table 1-1, SLOAPCD, 2012), therefore the impact is determined to be less than significant.

3.b. Construction activities, including site grading, have the potential to produce small quantities of air pollution that include dust and equipment exhaust. Air quality impacts from construction will be temporary and short term. The project shall be conditioned to comply with all applicable APCD regulations pertaining to the control of fugitive dust (PM-10) as showed in Section 2 "Assessing and Mitigating Construction Impacts" of the April 2012 CEQA Air Quality Handbook to reduce air quality impacts. With the implementation of these mitigation measures, the impact is considered less than significant.

3.d.e. The construction of the project will not concentrate pollutants or create objectionable odors based on proposed uses and screening criteria established by the San Luis Obispo Air Pollution Control District. Therefore the impact is considered less than significant.

Proposed Mitigation Measures – Air Quality



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Mitigation Measure 3.b.1: The project shall be conditioned to comply with all applicable District regulations pertaining to the control of fugitive dust (PM-10) as contained in Section 2 "Assessing and Mitigating Construction Impacts."

2.4 Fugitive Dust Mitigation Measures: Standard List

- a. Reduce the amount of the disturbed area where possible;
- b. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible;
- c. All dirt stock-pile areas should be sprayed daily as needed;
- d. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible, and building pads should be laid as soon as possible after grading unless seeding or soil binders are used;
- e. All of these fugitive dust mitigation measures shall be shown on grading and building plans; and
- f. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress.

Mitigation Measure 3.b.2: The project shall be conditioned to comply with all applicable APCD regulations pertaining to Naturally Occurring Asbestos (NOA). Prior to any grading activities a geologic evaluation should be conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, and exemptions request must be filed with the District. If NOA is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety program for approval by the APCD. Technical Appendix 4.4 of the SLO County APCD CEQA Air Quality Handbook includes a map of zones throughout San Luis Obispo County where NOA has been found and geological evaluation is required prior to any grading.

4. BIOLOGICAL RESOURCES -- Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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<p>d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; Land Use Element EIR; Atascadero Tree Ordinance; Atascadero Biological Report, Marcus H. Bole & Associates; Native Tree Report, Greeley; U.S. Fish & Wildlife Service, National Wetlands Inventory; Environmental Impact Assessment.

DISCUSSION:

4.a. Table 1 of the Biological Report identifies listed and special-status species potentially occurring within or near the property. The report concludes that there is no suitable habitat on site that would lead to their occurrence. Although there is a low potential occurrence for the ferruginous hawk and golden eagle, onsite surveys (including dusk/night bat surveys) conducted in October of 2014 did not reveal the presence of special status wildlife or plant species or their specific micro-habitat. The Atascadero Biological Report concludes that the proposed project will not result in impacts to Federal or State listed plant or wildlife species through habitat modification. Therefore, no impact.

4.b.c. According to the Atascadero Biological Report, except for mature, native oak trees, project implementation will not result in alterations or removal of natural plant or wildlife communities. The project will not affect the use of native wildlife nursery sites. A wetland determination was conducted in accordance with guidance set forth in the United States Army Corps of Engineer's *1978 Wetlands Delineation Manual*. The Report determined no federal jurisdictional wetland habitats within the project boundaries. Therefore, no impact.

4.d. The Biological Report indicates that nesting birds, including nesting raptors (hawks, eagles, owls) and bats, are known to occur within ten miles of the proposed project. The onsite native and non-native trees large enough to support nesting activity were surveyed and did not reveal the presence of nests. Onsite buildings were inspected with no sign of past or present roosting bats. Any construction activity during the migratory bird and raptor nesting period (March to August) could disturb nesting birds and would require period pre-construction nest surveys. The Atascadero Biological Report concludes that the project will not interfere with the movement of any native resident or migratory fish or wildlife species, or result in impacts to established native resident or migratory wildlife corridors. Mitigation measures have been included to ensure that the proposed project will not interfere with migratory wildlife corridors. Implementation of this measure renders the impact to a less than significant threshold.

4e.f. The Native Tree Report identifies sixty eight (68) native trees within the project boundaries, all of which are blue oak and grow primarily on the westerly side of the property. One (1) dead native tree was identified. Corporation for Better Housing collaborated with City Staff to design the site layout to avoid disturbance of native trees. As a result, development is emphasized in the previously-disturbed area along the easterly side of the property. Forty six (46) trees will be preserved and twenty one (21) trees are proposed for removal.

Phase 1 of the project will remove generally scattered individual trees on the easterly side of the site, as well as trees that would interfere with the proposed emergency access on the westerly side of the site. Preservation of additional trees would require significant reduction in the number of units.

Phase 2 of the project will remove a cluster of trees north of the center portion of the site. Preservation of additional



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trees would require exclusion of proposed recreation amenities. Existing trees would likely sustain adverse health impacts due to compaction due to outdoor activities in the event that recreational amenities were removed from the project proposal.

The Native Tree Report provides current native tree conditions, impact of construction, and mitigation proposals for each tree identified on the Native Tree Report. General recommendations for the protection of native trees on site are in accordance with the City of Atascadero Tree Ordinance. With the incorporation of mitigation measures 4.e.1-6, the project will have a less than significant impact.

Proposed Mitigation Measures – Biological Resources

Mitigation Measure 4.d.1: The Atascadero Biological Report recommends a follow-up nesting raptor survey be conducted during the raptor nesting season (March – August) by a qualified wildlife biologist prior to construction activities. Nesting birds, including nesting raptors (hawks, eagles, owls) and bats, are known to occur within ten miles of the proposed project. If active raptor nests are found onsite or within 500 feet of the property, an appropriate avoidance plan should be designed to include no onsite disturbances until the chicks have fledged.

Mitigation Measure 4.e.1: Grading and excavation and grading work shall be consistent with the City of Atascadero Tree Ordinance. Special precautions when working around native trees include:

1. All existing trees outside of the limits of work shall remain.
2. Earthwork shall not exceed the limits of the project area.
3. Low branches in danger of being torn from trees shall be pruned prior to any heavy equipment work being done.
4. Vehicles and stockpiled material shall be stored outside the drip line of all trees.
5. All trees within twenty feet of construction work shall be fenced for protection with 4-foot chain link, snow or safety fencing placed per the approved tree protection plan. Tree protection fencing shall be in place prior to any site excavation or grading. Fencing shall remain in place until completion of all construction activities.
6. Any roots that are encountered during excavation shall be clean cut by hand and sealed with an approved tree seal.
7. Utilities such as water, gas, power, cable, storm drainage, and sewer should be redirected from under the canopy of any trees that are to remain.
8. Where a building is placed within the canopy of a tree the foundation should be redesigned so that it bridges across any root systems.
9. Any foundation or other structure that encroaches within the drip line of trees to be saved shall be dug by hand.
10. At no time shall tree roots be ripped with construction equipment.

Mitigation Measure 4.e.2: Tree protection fencing shall be installed at the locations called out in the Tree Protection Plan. An inspection of the tree fencing shall be done by City staff prior to issuance of building permits.

Mitigation Measure 4.e.3: Upon project completion and prior to final occupancy a final status report shall be prepared by the project arborist certifying that the tree protection plan was implemented, the trees designated for protection were protected during construction, and the construction-related tree protection measures are no longer required for tree protection.

Mitigation Measure 4.e.4: All utilities shall remain outside the driplines of native trees, to the extent feasible.

5. CULTURAL RESOURCES -- Would the project:

a) Cause a substantial adverse change in the significance of



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a historical resource as defined in '15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to '15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project description; Planning Staff Site Visit; Land Use Element EIR; U.S. Secretary of the Interior's Standards; City of Atascadero GIS.

DISCUSSION:

5.a.b.c. Geographical Information systems (GIS) of the City of Atascadero show that there are no known historic or archaeological resources located on or adjacent to the site. Therefore no impact.

5.d. No known human remains have been found or documented in the vicinity of the project. The site may have a potential to have human remains on-site due to no known archeological study completed directly on-site. In addition, know Native American burial sites have been located around the project area. With implementation of mitigation measure 5.d.1, the potential for a significant impact is rendered to less than significant thresholds.

Proposed Mitigation Measures – Cultural Resources

Mitigation 5.d.1: In the event that human remains are discovered on the property, all work on the project shall stop and the Atascadero Police Department and the County Coroner shall be contacted. The Atascadero Community Development Department shall be notified. If the human remains are identified as being Native American, the California Native American Heritage Commission (NAHC) shall be contacted at (916) 653-4082 within 24 hours. A representative from both the Chumash Tribe and the Salinan Tribe shall be notified and present during the excavation of any remains.

6. GEOLOGY AND SOILS -- Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; Land Use Element EIR; City of Atascadero GIS.

DISCUSSION:

6.a.i. As illustrated by Attachment 9, the project is not located on any known earthquake faults. The property contains no unusual geological formations. Therefore, no impact.

6.a.ii. Although there are no known faults within the project area, there are faults located near the City that have been known to create seismic events. The 2003 San Simeon earthquake was the last known large seismic event that affected the proposed project area. The City adopts the California Building Code as its building code and updates this code during each required adoption cycle. This code is continually updated with requirements to make building safer during a seismic event. Incorporation of the latest California Building Code requirements at the time of building permit submittal will reduce the exposure of people and structures to strong ground shaking to a less than significant level.

6.a.iii.iv. Geographical information systems show the project site to be in an area of low risk for both landslides and liquefaction. Therefore, no impact.

6.b. Construction activities on the site will be required to comply with sedimentation and erosion control measures prescribed by the City Engineer. To ensure proper erosion control measures are in place, a mitigation measure has been included to reduce any top soil loss to a less than significant impact.

6.c.d. Geographical Information System's expansion determination indicates that the bearing soils lie in the "Low" and "Moderate" expansion potential ranges. A web soil survey conducted in the Biological Report identified Botella sandy loam and San Andreas-Arujo complex soils. The Report concluded that no special measures with respect to expansive soils are considered necessary. Therefore, impacts are considered less than significant.

6.e. The site will be served by local utility systems and will not require the use of septic tanks or alternative wastewater disposal systems. Therefore no impact.

Proposed Mitigation Measures – Geology and Soils

Mitigation Measure 6.b.1: The grading permit application plans shall include erosion control measures to prevent soil, dirt, and debris from entering the storm drain system during and after construction. A separate plan shall be submitted for this purpose and shall be subject to review and approval of the City Engineer at the time of Building Permit application.

Mitigation Measure 6.b.2: All cut and fill slopes shall be hydro seeded with an appropriate erosion control method (erosion control blanket, hydro-mulch, or straw mulch appropriately anchored) immediately after completion of



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earthwork. All disturbed slopes shall have appropriate erosion control methods in place. The contractor will be responsible for the clean up of any mud or debris that is tracked onto public streets by construction vehicles.

Mitigation Measure 6.b.3: The contractor will be responsible for the clean-up of any mud or debris that is tracked onto public streets by construction vehicles. An approved device must be placed prior to commencement of grading activities. This device shall be approved by the City Engineer.

7. GREENHOUSE GAS EMISSIONS -- Would the project:

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SOURCES: Air Pollution Control District (APCD) CEQA Air Quality Handbook, 2012; Project Description, Site Plan; General Plan; Land Use Element EIR; Atascadero Climate Action Plan.

DISCUSSION:

7.a. According to the Operational Screening Criteria for Project Air Quality Analysis (Table 1-1, SLOAPCD, 2012), a Mid Rise Apartment development would have to be at or over 94-112 dwelling units in order to be expected to exceed the APCD Annual GHG Bright Line Threshold as well as the APCD Daily Ozone Precursor Significance Threshold.

The proposed residential units will not exceed air quality and emissions thresholds set by the Operational Screening Criteria for Project Air Quality Analysis (Table 1-1, SLOAPCD, 2012). Therefore the project's impacts are determined to be less than significant.

7.b. The construction of the project will not concentrate pollutants or create objectionable odors. The project is consistent with the City's Climate Action Plan. There for the impact is determined to be less than significant.

8. HAZARDS AND HAZARDOUS MATERIALS -- Would the project:

- | | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |



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significant hazard to the public or the environment?				
e) For a project located within an airport land use plan area or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people living or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people living or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project description; General Plan Land Use Element; EnviroStor; City of Atascadero GIS.

DISCUSSION

8.a.b.c. The proposed project does not generate or involve the use of significant amounts of hazardous materials. There are no known hazardous materials on the site or nearby. Therefore, no impact.

8.d. The property is not a listed hazardous material site on the EnviroStor database. Therefore, no impact.

8.e.f. The property is not near an airport. Therefore, no impact.

8.g. The site is within the Fire Department’s five minute or less response area. During building permit review, the fire department will verify appropriate fire hydrant locations. Sprinklers are required on all new residential structures. The project will not impair implementation of an adopted emergency response plan or evacuation plan, therefore no impact.

8.h. The proposed project is within the urban core and not located near wildlands. Geographical information systems show the project site to be in a high fire hazard zone. Implementation of Mitigation Measure 8.h.1 will result in a less than significant impact.

Proposed Mitigation Measures – Hazardous and Hazardous Materials

Mitigation Measure 8.h.1: Construction will comply with section the California Building and Fire Codes. New residences in the City are required to install fire sprinklers. Fire protection measures shall include the use of non-combustible exterior construction and roofs and fire-resistant building materials deemed appropriate by the fire marshal and chief building official.



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9. HYDROLOGY AND WATER QUALITY -- Would the project:

a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of previously-existing nearby wells would drop to a level that would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures that would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Environmental Impact Assessment; Preliminary Stormwater Control Plan, BLH Construction Co.; Project description; Planning Staff Site Visit; Project Plans.

DISCUSSION:

9.a. Construction will have a less than significant impact on water quality standards. Erosion, sediment and environmental control measures specified in the project description shall be implemented as necessary to ensure reduced pollutant releases and minimize potential environmental impacts of the project; therefore the project will have a



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	less than significant impact.			

9.b. Water will be provided by Atascadero Mutual Water Company, therefore the project will not deplete ground water supplies or interfere with groundwater recharge. No impact was found.

9.c. The proposed project will not alter the course of a stream, river or identified waters of the United States (US). The existing pre-development drainage pattern of the site will be altered to accommodate development of the proposed project. Post-Stormwater construction standards require drainage patterns to mimic pre-development status, as required by the Regional Water Quality Control Board. The project proposes a series of underground retention and infiltration that meets this standard. Therefore, the impact is considered less than significant.

9.d.e.f. Upon completed construction, the project will have 120,150 square feet of impervious surface area. The project site channels all possible impervious area runoff to vegetated areas before the runoff enters any stormwater conveyance systems. Site open space was also maximized to be approximately 56,807 sf, of which 12,007 sf will be undisturbed soil and natural vegetation.

According to the Preliminary Stormwater Control Plan, storm water will be managed in compliance with the current Regional Water Quality Control Board requirements with the use of a series of interconnected bio-infiltration BMPs to treat runoff. All project site bio-infiltration BMPs were sized to have a maximum storage loading area based on five (5) inches per hour during the 0.2 inch per hour storm event. Every BMP is designed to have a depth of three (3) feet total beneath the finished ground, consisting of two (2) feet of bio-retention soil media (BSM), and one (1) foot of class II permeable aggregate base rock, and six (6) inches of ponding capacity above the finished ground. The BMPs are designed to capture 6,764 cubic feet of runoff. The remaining 12,256 cubic feet will be captured by an underground retention system allowing for filtration.

All stormwater will be captured and infiltrated using an underground retention system. If a storm event fills the entire underground retention system, the project site is designed to convey the system overflow offsite via overland release. Construction activities are subject to review for compliance with City drainage and grading regulations. Drainage will not be permitted to create or intensify any hazards for persons or property in the vicinity, therefore the project will have a less than significant impact.

9.g.h.i.j. Future housing will be outside of the 100-year flood hazard area. The project area is not subject to inundation by a tsunami. Therefore the project will have no impact.

Proposed Mitigation Measures – Hydrology and Water Quality

Mitigation Measure 9.d.e.f.1: The developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Failure to comply with the approved construction Best Management Practices will result in the issuance of correction notices, citations, or stop orders.

10. LAND USE AND PLANNING - Would the project:				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Land Use Element; Project description; Land Use Element EIR; Atascadero Zoning Ordinance.



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DISCUSSION:

10.a. The project will not physically divide an established community. The proposed project is in compliance with the General Plan Policy 2.1 ensuring that new development is compatible with existing and surrounding neighborhoods. A multi-family development is consistent and compatible with the surrounding residential neighborhood. Therefore, no impact.

10.b. The Atascadero Zoning Ordinance indicates that multiple-family dwellings are an appropriate use in the High Density Residential (HDR) General Plan designation as well as Residential Multiple Family (RMF-20) zone. Surrounding properties are zoned Residential Multiple Family (20 units / acre) (RMF-20), Residential Multiple Family (10 units / acre) (RMF-10), and Public Facilities (P). The site's zoning and use is consistent with the General Plan. The property is listed in Table V-21 in the General Plan as a potential site for low-income housing. Therefore, no impact.

10.c. The project is consistent with the open space and conservation policies identified in the General Plan. Therefore, no impact.

11. MINERAL RESOURCES -- Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; Planning staff site visit.

DISCUSSION:

11.a.b. No mining is proposed as a part of this project. No known mineral resources have been identified in the area. Therefore, no impact.

12. NOISE -- Would the project result in:

a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

e) For a project located within an airport land use plan or, _____



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where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people living or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; Noise Element; Noise Ordinance.

DISCUSSION:

12.a.b. The project use is consistent with surrounding residential land uses and standards established in the local general plan or noise ordinance. The project will not result in significant exposure of persons to the generation of noise levels or ground borne vibration and noise levels. Therefore, the project will have a less than significant impact.

12.c. The project will not create a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project, and therefore will have a less than significant impact.

12.d. Construction is expected to involve some heavy machinery and use of impact tools that will temporarily increase the ambient noise levels in the project vicinity above levels existing without the project. Construction activities shall comply with Mitigation Measure 12.d.1 and therefore will have a less than significant impact.

12.e.f. The project is not located within an airport land use plan or private airstrip. The project will not expose people living or working in the project area to excessive noise levels, and therefore will have no impact.

Proposed Mitigation Measures – Noise

Mitigation Measure 12.d.1: All construction activities shall comply with the City of Atascadero Noise Ordinance for hours of operation of equipment (between 7 am and 9pm).

13. POPULATION AND HOUSING -- Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SOURCES: Project description; General Plan Land Use Element; General Plan Housing Element; 2010 US Census.

DISCUSSION:

13.a. The project proposes 86 residential units on two (2) currently vacant parcels. The new development is expected to increase housing opportunities and population in the area in accordance with the City's General Plan. The project will also help the City meet its Regional Housing Needs goal. Based on the 2010 US Census, the City's average household size is 2.51 persons per unit. The total projected population of the project at build out is approximately 216 persons. This represents less than 1% of the City's total population of 28,310, based on the 2010 US Census. Therefore, the



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Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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proposed residences as a part of the proposed project will not have substantial growth inducing effects. The proposed project will have a less than significant impact on growth.

13.b.c. There is one vacant agricultural building on parcel 045-321-020 to be removed. No housing or persons will be displaced. Therefore, no impact.

14. PUBLIC SERVICES -- Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project description; Land Use Element EIR; City Fire Department; City Police Department; City Public Works Department.

DISCUSSION:

Development Impact Fees: Development Impact Fees will be required of any new project for which a building permit is issued. The concept of the impact fee program is to fund and sustain improvements which are needed as a result of new development as stated in the General Plan and other policy documents within the fee program. Development Impact Fees fall into the following categories: Drainage Fees (including the Amapoa Tecorida Drainage Area Fee); Streets, Road, Bridge Fees; Sewer Fees; Public Safety Fees; Park Fees; and Miscellaneous Fees. In addition, school fees are collected by the Atascadero Unified School District. The amount of impact fees to be paid will be determined at the time of issuance of building permit.

Fire and Police: The applicant shall comply with all requirements of the Fire Department. Impact fees were charged in order to pay the cost of providing new Police and Fire Department services to the project site. Both the Police and Fire Departments of the City of Atascadero have indicated that they will be able to adequately service the proposed project. Therefore the project will have a less than significant impact.

Schools: At buildout, the city's population will overburden the existing school system unless additional classroom space is added. The Atascadero Unified School District charges impact fees to fund additional schools as needed. State law restricts mitigation of school impacts to the levying of these fees and other measures adopted by the school district. Provision of adequate facilities for the population is the responsibility of the school district. Fees will be required through construction permits for the residence. With payment of impact fees, the proposed project's impact to school facilities is less than significant.

Parks: The proposed project will not increase demand on existing City parks and recreation facilities. Recreational facilities including a basketball court, BBQ areas and open space are proposed as a part of the project. All maintenance and upkeep of onsite facilities will be the responsibility of the property owner. Therefore, the impact is less than significant.



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Other public facilities: The construction of the project is not expected to have significant impacts on any other public facilities.

15. RECREATION --

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SOURCES: Project description; Parks and Recreation Element.

DISCUSSION:

15.a. Residents are expected to use existing parks and recreational facilities; however the numbers are not expected to result in substantial physical deterioration of any facilities. Therefore the project will have a less than significant impact.

15.b. The City of Atascadero outdoor recreation development standards requires the proposed project to provide 300 square feet of outdoor recreational open space per unit. The project proposes one common open space area and additional recreational areas consisting of a basketball court and BBQ tables. As illustrated in the Landscape Plan (Attachment 6), open spaces were strategically placed to preserve the existing environment. According to the Preliminary Stormwater Control Plan, the project provides approximately 56,807 square feet of open space, of which 12,007 square feet will be undisturbed soil and natural vegetation. The project will not have an adverse effect on the environment and therefore will have a less than significant impact.

16. TRANSPORTATION/TRAFFIC -- Would the project:

a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature				



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(e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SOURCES: Land Use Element; Circulation Element; Atascadero Bike Plan; Traffic Impact Study, Whitlock & Weinberger Transportation, Inc; Project Description.

DISCUSSION:

16.a.b. The Traffic Impact Study (TIS) concludes the proposed project’s anticipated trip generation includes 562 daily trips on average during a weekday, with 43 trips during the AM peak hour and 52 during the PM peak hour.

Under existing plus the estimated traffic generated by the proposed project scenario, all study intersections would operate acceptably at Level of Service (LOS) A or B. Study intersections are expected to continue operating acceptable at the same levels of service upon the addition of project-generated traffic.

Under future plus project conditions scenario, the study intersections are expected to operate acceptably at LOS A or B overall, with the side streets at LOC C or better. Per the City of Atascadero General Plan Policy 1.3, the minimum operation standard is a LOS C or better at all intersections and on all arterial and collector roads. Upon City Council approval, LOS D is acceptable where residences are not directly impacted and improvements made meet City standards. PM peak hour LOS of the intersection of El Camino Real / San Diego Way, eastbound approach, is expected to drop to LOS C for both the future and future plus project conditions. The El Camino Real / Avenida Maria study intersection, westbound approach, is also expected to drop to LOS C for both future and future plus project conditions. The TIS finds that study intersections will continue operating acceptably with project traffic added, at the same levels of service overall as without it.

US 101 Mainline Operations and Interchange – Santa Rosa Road & Santa Barbara Road

The TIS assessed queuing in the vicinity of the US 101 interchanges at Santa Barbara Road and Santa Rosa Road under future and future plus project conditions to determine whether the proposed project would impact operation at the interchanges. Vehicle queues in the vicinity of the Santa Barbara Road freeway interchange are projected to continue to be met within the provided storage. The proposed project will not contribute to additional traffic in the existing plus project scenario. City Staff compared the proposed project’s TIS with another on-going project that is considered a part of the proposed project’s “cumulative” scenario and considered a part of its CEQA baseline. The Eagle Ranch Specific Plan is to the west of the proposed project, however is expected to create additional impacts to the Santa Barbara Road interchange, if the project is approved and developed. Both projects taken into account will operations at the US 101 / Santa Barbara Road interchange. The City Council adopted this nexus fee study in 2006. The study assumed that the entire \$8.1 million dollar cost to improve the intersection would be generated by the City’s Traffic Impact Fee (TIF). The City’s TIF fee assumes that all new development from 2006 on-forward would pay their “fair-share” to interchange improvements for the Santa Barbara Road interchange, with exception to projects that were required to pay additional fees to mitigated existing plus project traffic impacts. The proposed project will create additional traffic beyond LOS C in the cumulative condition. To mitigate those deficiencies, the City is required to collect TIF funds to put towards an ultimate improvement that would create a LOS of C or better at the interchange. The City collects \$3,684 per unit (high density) in TIF and additional non-residential fees for projects to fund all projects identified in the City’s 2006 Master Facilities study. A mitigation measure has been included to collect the Circulation System TIF, which is included as a part of the overall development impact fee, on each unit within the proposed project to pay for its “fair-share” of improvements to the Santa Barbara Road interchange. Implementation of this mitigation measure creates an impact that is less than significant with mitigation incorporated.



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Vehicle queuing lengths are expected to exceed capacity for the eastbound and westbound through movements on Santa Rosa Road at the US 101 Northbound Ramps. However, the difference in queue length with the project compared to without it is less than ten (10) feet and would not impact operations. The TIS concludes that the proposed project is not expected to impact operations at the evaluated interchanges to the extent that there is not a significant increase in queue lengths.

City Staff compared the proposed project's TIS with another on-going project that is considered a part of the proposed project's "cumulative" scenario and considered a part of its CEQA baseline. The Eagle Ranch Specific Plan is to the west of the proposed project, however is expected to create impacts to the Santa Rosa Road interchange, if the project is approved and developed. The Preliminary Draft Eagle Ranch Specific Plan Traffic Impact Study indicated that the northbound ramps contain an existing deficiency in terms of queuing on Eastbound Santa Rosa Road turning left at the US 101 Northbound on-ramp. The proposed project is on the eastside of the US 101 Freeway, while the Eagle Ranch Specific Plan is on the westside of the US 101 freeway. The proposed project is not expected to add additional delays to Eastbound Santa Rosa Road at the northbound 101 on-ramp, with the exception of additional trips that may be created by parent pick-up activity from Santa Rosa Elementary School, a school located on Santa Rosa Road, west of the proposed project.

The Santa Rosa Road / US 101 interchange is an identified as a project (ST-37) under the City's Master Facilities Plan for improvements. The Study identified that the interchange required an estimated \$8.1 million to construct interchange improvements that includes, but not limited to right-of-way acquisition, signal construction, lane configuration, interchange approach improvements up to 200 yards away from ingress / egress ramps. The City Council adopted this nexus fee study in 2006. The study assumed that the entire \$8.1 million dollar cost to improve the intersection would be generated by the City's Traffic Impact Fee (TIF). The City's TIF fee assumes that all new development from 2006 on-forward would pay their "fair-share" to interchange improvements for the Santa Rosa Road interchange. The proposed project is creating additional deficiencies in the queuing at the northbound ramp of US 101. To mitigate those deficiencies, the City is required to collect TIF funds to put towards an ultimate improvement that would create a LOS of C or better at the interchange. The City collects \$3,684 per unit (high density) in TIF and additional non-residential fees for projects to fund all projects identified in the City's 2006 Master Facilities study. While it is in the City's best interest to update this study, along with an additional study to review improvements for the Santa Rosa Road interchange and enact a specific additional fee to implement those improvements, these studies have not been completed, nor adopted. A mitigation measure has been included to collect the Circulation System TIF, which is included as a part of the overall development impact fee, on each unit within the proposed project to pay for its "fair-share" of improvements to the Santa Rosa Road interchange. Implementation of this mitigation measure creates an impact that is less than significant with mitigation incorporated.

Traffic Signal Warrant Analysis – El Camino Real / Avenida Maria

The TIS performed a signal warrant analysis to determine the potential need for a traffic signal at El Camino Real / Avenida Maria. With the use of future traffic volumes it was determined that a traffic signal is not warranted at this entrance.

With the addition of project-generated traffic, all of the study intersections are expected to continue operating acceptably under all scenarios evaluated. The project is concurrent with the City of Atascadero General Plan Circulation Element. The addition of the proposed project will not cause surrounding local streets to exceed level of service thresholds. Therefore, no impact.

16.c.d. No changes will occur to the air traffic patterns, and the project will not increase hazards due to sharp curves or incompatible uses. Therefore the project will have no impact.

16.e. The Traffic Impact Study finds that adequate site distance is available at the proposed project driveway. In addition to one (1) full access driveway located on the north side of Avenida Maria, the project proposes two (2) additional



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driveways providing emergency access to the site. The Fire department will review plans to determine suitable fire protection measures. The proposed project provides adequate emergency vehicle access, therefore no impact was found.

16.f. No sidewalks are provided along the project frontage on the north side of Avenida Maria. Therefore, the Traffic Impact Study finds that pedestrian facilities serving the project site are deficient. The proposed project identifies the provision of bicycle parking or storage facilities. Transit facilities serving the project site are expected to be adequate. The project is consistent with the area circulation, the Atascadero Bike Plan, and the General Plan. Adequate parking will be provided on-site for the proposed project. With the implementation of Mitigation Measures 16.f.1-2, pedestrian, bicycle and transit facilities are expected to adequately serve the project site. Therefore the project will have a less than significant impact.

Proposed Mitigation Measures – Transportation / Traffic

Mitigation Measure 16.a.b.3: Payment of Circulation System Fee (TIF) shall be made prior to the issuance of building permits for all residential and non-residential uses that contribute to the deficiencies to the US 101 / Santa Rosa Road interchange and US 101 / Santa Barbara Road interchange. Those traffic impact fees shall be collected as follows: \$3,684 per residential unit (high density / current fee) or development impact fee that is adopted at the time of building permit submittal.

Mitigation Measure 16.f.1: At the discretion of City Staff, the applicant may be required to install a crosswalk on the south leg of El Camino Real / Patria Circle and utilize the existing median to provide a pedestrian refuge area.

Mitigation Measure 16.f.2: Bicycle rack to be provided on-site.

17. UTILITIES AND SERVICE SYSTEMS --Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in a determination by the wastewater treatment provider that serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



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g) Comply with federal, state, and local statutes and regulations related to solid waste?

SOURCES: Project description; Land Use Element EIR

DISCUSSION:

17.a.b.e. Both parcels within the proposed project boundary are served by the City's sewer system. The applicant will be required to connect all residential units and non-residential uses to the City's sanitary sewer system. The City's sewer system has capacity to treat all wastewater generated by the proposed project and will not result in the construction or expansion of new or existing wastewater facilities, therefore the impact is less than significant.

17.c. Consistent with the Regional Water Quality Control Board's Post Stormwater Construction standards, all new discharges are contained on-site and mimics pre-construction stormwater flow. Therefore, impact is less than significant.

17.d. The Atascadero Mutual Water Company (AMWC) has indicated that it can provide water to the proposed project. All property within the City limits is entitled to water from the AMWC. The project is not expected to require a significant quantity of water for the proposed use. Water is pumped from several portions of the largest underground basin in the county, the Paso Robles Formation, using a series of shallow and deep wells. The water company anticipates that it will be able to meet the city's needs through build out and beyond:

Water demand at build out is estimated to be at 16,000-20,000 acre-feet per year (AFY). The City is projected to have enough water to meet the demand with the Nacimiento Water Project which has allocated the City an additional 3,000 AFY with a flow rate of 3.48 million gallons per day (mgd). In light of the recent drought, landscaping will be consistent with the City's water efficient landscaping ordinance. Turf will not be permitted to be installed by the developer in any portion of the proposed project for consistency with the City's ordinance. This is included as a mitigation measure creating a less than significant impact with proposed mitigation.

17.f.g. Solid waste will be collected by the City of Atascadero, through contract personnel, and processed to the Chicago Grade landfill. There is sufficient capacity to serve the proposed project. Therefore the impact is less than significant.

Proposed Mitigation Measures - Utilities

Mitigation Measure 17.d.1: Landscaping plans shall be submitted to the Community Development Department for review and approval. Landscaping must consist of drought tolerant species and utilize drip irrigation. Turf shall not be permitted as a part of the approved landscaping plan.

18. MANDATORY FINDINGS OF SIGNIFICANCE --

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a



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project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

d) Does the project have the potential to achieve short-term environmental goals to the disadvantage of long term environmental goals?

DISCUSSION: The project site consists of two (2) residential parcels which are being proposed for a new residential development, consistent with the General Plan and Zoning Ordinance. The proposed project has been analyzed as required by CEQA and the Atascadero Municipal Code. Project-related impacts have been identified and mitigation measures have been included within the proposal to reduce the effect of the proposed project as described herein.

SOURCES:

- General Plan Land Use Element, City of Atascadero, 2002
- Zoning Ordinance, part of Municipal Code, City of Atascadero, as amended through 1999.
- Land Use Element Environmental Impact Report (EIR), Crawford, Multari, & Clark, adopted 2002
- CEQA Handbook, Air Quality Control District, April 2012
- General Plan Safety Element, City of Atascadero, 2002
- General Plan Circulation Element, 2002
- General Plan Noise Element, adopted 2002
- Noise Ordinance, City of Atascadero, 2004
- Flood Insurance Rate Map, community-panel number 06079C0834G

PROJECT SOURCES:

- Project Description
- Site Improvement Plans, Grading Plan,
- Tree Protection Plan
- Architectural Plans
- Traffic Impact Study
- Biological Report

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DATE: 5-19-15

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**Attachment 7: Response to CEQA Comments
Proposed Mitigated Negative Declaration 2015-0002**

From: Mike Zappas [<mailto:mikezappas@gmail.com>]
Sent: Tuesday, May 12, 2015 6:45 AM
To: Mark Dariz; Jan Wolff; Duane Anderson; David Bentz; Charles Bourbeau; Jerel Seay; Dennis Schmidt
Cc: Robert Lewis; [jakelingo@hotmail.com]
Subject: Proposed Affordable Housing on Avenida Maria

Dear Planning Commissioners, Planning Director and Mr. Lingo:

First I want to applaud Mr. Lingo on bringing much needed housing to our community. It takes courage, patience, and stamina to run the gauntlet of planning, financing and construction. The community will be the beneficiary. The experience of the Developer is reassuring. The fact that the Project will be owned and operated by them is just as important. I have always believed good people come from all income levels and we need to provide housing for them.

I have four design concerns that, if adopted, will lead to a much better project. It will require flexibility on the part of the planners and the Applicant but there is nobody that will be more affected by the proposed development than my properties and residents. Additionally, I own the road Avenida Maria, and did the major improvements to that 700 foot road.

Zappas 1

1. The Project should have its main entrance and exit on to El Camino Real. Having an emergency exit on Avenida Maria would be acceptable. To dump 100% of the traffic from 86 proposed units and the trash trucks onto our driveway will overburden it, is unnecessary, and unacceptable. It will slow down emergency access. It will be confusing to have multiple properties accessed off of one driveway. The Oaks, to the north has two entrances onto El Camino real as does Mira Vista apartments. The Bordeaux Apartments also have their two entrances on to Viejo Camino. This would be a safer, more palatable configuration. It will be better for the Project to have it's own entrance and identity.

Zappas 2

2. Trees should not be removed. Taking out one third of these, passive solar, fully acclimated beautiful native trees has not been fully reviewed. At the Design Review Committee it wasn't shown which ones were being removed and why it was necessary. The Applicant can do a better job of planning around them. It will mean a lot to the beauty of the finished project and the livability of the residents. This is especially true since we are considering a three story building. Larger mature trees will help to break up the facades. It will clean our air and cost less to landscape initially and maintain over time. To take them out and replace them with small trees that

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require water in a drought is not what we want to encourage. Between the deer, ground squirrels, and climate it is very challenging to establish new trees in Atascadero. I will not allow the mature blue oak on Avenida Maria to be removed. It is on my property and we did a lot to save it. It will help to break up the long strait buildings.

Zappas 3

Zappas 4

3. The third concern is the three story building. It should have step backs, increased (not reduced) setbacks from the road or something to make it less overwhelming. It could be swapped with the eastern most building. That way it would not be so monolithic and overpowering on Avenida Maria. It is already out of character with the one and two story properties that surround it. I am not opposed to the concept, just how it is situated. Reducing the setbacks adds insult to injury. The southern elevations were not shown at the Design Review Committee. It can look great on paper, but when it is built it will be out of place and too late to correct.

Zappas 5

4. The parking was discussed at the Design Review Committee and left unresolved. I would have no objections with the present configuration as long as there was a plan B for additional parking if it proves to be a problem for the neighboring properties. This may not become apparent until the construction of the second phase is underway and completed.

Thank you for your consideration and look forward to a successful project.

Sincerely,
Mike Zappas



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*CITY OF ATASCADERO
ADDENDUM TO INITIAL STUDY*

RESPONSE TO COMMENTS FOR NEGATIVE DECLARATION #2015-0002
(Atascadero Family Apartments)

Mike Zappas, dated May 12, 2015

Comment:

Zappas-1: The Project should have its main entrance and exit on to El Camino Real. Having an emergency exit on Avenida Maria would be acceptable. To dump 100% of the traffic from 86 proposed units and the trash trucks onto our driveway will overburden it, is unnecessary, and unacceptable. It will slow down emergency access. It will be confusing to have multiple properties accessed off of one driveway.

Response:

While Staff and the applicant has acknowledged that Avenida Maria is a private driveway wholly on the commenter's property as established in PM 49-16, the recorded map includes an easement for the ingress and egress benefit of Lots 1, 2, and 3 of this map (the proposed project is located on legal lots of record 1 and 2, PM 49-16). City Staff has reviewed a traffic impact report that studied Avenida Maria for existing traffic, existing plus project, and cumulative traffic conditions. In all scenarios reviewed by the traffic engineer of record, the intersection and roadway meet level of service (LOS) standards set forth in the City's General Plan Policy CIR 1.3 to maintain a LOS of C and above. All departments including fire and police have reviewed the development plans and see no issue with the proposed access. This comment is noted.

Zappas-2 Trees should not be removed. Taking out one third of these, passive solar, fully acclimated beautiful native trees has not been fully reviewed. At the Design Review Committee it wasn't shown which ones were being removed and why it was necessary.

Response:

Staff has fully reviewed the proposed tree removals. Consistent with the City's Native Tree Ordinance, the applicant met with Staff to discuss previous iterations and site plans. Initial plans contained building placement removing the majority of trees on the site. Based on Staff comments in regards to native tree preservation goals established in General Plan policy LOC 7.1, the applicant substantially re-designed the project to minimize tree removals and creatively site buildings. The applicant is preserving a substantial blue oak tree woodland grove on the western portion of the site. The proposed trees are slated to be removed due to locations with proposed building footprints, driveways, and required fire turn-arounds to protect the health, safety, and

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welfare of future residents. The applicant has met the full intent of the City's Native Tree Ordinance and General Plan policies pertaining to native tree preservation. The City Council will ultimately need to make required findings to approve removal of native trees that are greater than 24-inches in diameter breast height (DBH). Consistent with the City's native tree ordinance, the applicant is required to pay mitigation fees, replant on-site, or perform a combination thereof. With implementation of this mitigation that is contained in the initial study and proposed mitigation monitoring program, the impact remains less than significant.

Zappas-3 I will not allow the mature blue oak on Avenida Maria to be removed. It is on my property and we did a lot to save it. It will help to break up the long strait buildings.

Response:

PM 49-16 provides language that Avenida Maria is a "28-foot ingress, egress, PUE, and private utility easement reserved for the benefit of lots 1,2, and 3 (PM 49-16, recorded January 21, 1992, doc no 3408, San Luis Obispo County)." The native tree in question is obstructing the ingress and egress of lots 1 and 2 as proposed and the improvements cannot be reasonably designed to avoid the tree removal. The City Council will need to make required findings to remove native trees, consistent with the City's native tree ordinance. This comment is noted.

Zappas-4 The third concern is the three story building. It should have step backs, increased (not reduced) setbacks from the road or something to make it less overwhelming. It could be swapped with the eastern most building. That way it would not be so monolithic and overpowering on Avenida Maria. It is already out of character with the one and two story properties that surround it.

Response:

Staff and the DRC has reviewed the proposed architecture of the buildings. The applicant is utilizing techniques consistent with the City's Appearance Review Manual (APR) such as variable setbacks, shutters, hard-plank siding and other architectural elements to avoid monolithic and blank facades. Coupled with additional landscaping and the elevation change of the 3-story building located on the lowest portion of the site, the proposed architecture can be made consistent with the surrounding character.

Zappas-4 The parking was discussed at the Design Review Committee and left unresolved. I would have no objections with the present configuration as long as there was a plan B for additional parking if it proves to be a problem for the neighboring properties. This may not become apparent until the construction of the second phase is underway and completed.

Response:

Parking ratios are consistent with what is required for an affordable housing project as outlined in CGC § 65915(p). The City cannot make findings that deny developer incentives for a reduction of parking. Comment is noted.

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**ATTACHMENT 4: Draft Resolution PC 2015-A
CUP 2015-0288 / TRP 2015-0181
Recommendation to Certify Mitigated Negative Declaration 2015-0002**

DRAFT RESOLUTION PC 2015-A

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ATASCADERO, CALIFORNIA, RECOMMENDING
THAT THE CITY COUNCIL CERTIFY PROPOSED MITIGATED
NEGATIVE DECLARATION 2015-0002 PREPARED FOR,
CONDITIONAL USE PERMIT 2015-0288, AND TREE REMOVAL
PERMIT 2015-0181,
ON APN 045-321-020, 021
(10785 El Camino Real, 9355 Avenida Maria)
(Avenida Maria 9355, LLP / Corporation for a Better Housing**

WHEREAS, an application has been received from Corporation for a Better Housing (5947 Variel Avenue, Woodland Hills, CA 91367), Applicant and 9355 Avenida Maria, LLP (5947 Variel Avenue, Woodland Hills, CA 91367), Property Owner, for approval of a Conditional Use Permit consistent with Atascadero Municipal Code Section 9-2.110(a) and a State Density Bonus request consistent with Atascadero Municipal Code Section 9-3.806 to adoption of a Master Plan of Development on APN 045-321-020, 021 for the construction of 86 apartment units dedicated to very-low and low income households; and,

WHEREAS, an Initial Study and Proposed Mitigated Negative Declaration 2015-0002 were prepared for the project and made available for public review in accordance with the requirements of the California Environmental Quality Act (CEQA); and,

WHEREAS, the Planning Commission of the City of Atascadero held a public hearing on May 19, 2015 following the close of the review period to consider the Initial Study and Proposed Mitigated Negative Declaration; and,

NOW, THEREFORE, the Planning Commission of the City of Atascadero hereby resolves to recommend that the City Council certify Proposed Mitigated Negative Declaration 2014-0005 based on the following Findings as shown in Exhibit A:

1. The Proposed Negative Declaration has been completed in compliance with CEQA guidelines section 15070 through 15075; and,
2. Proposed Negative Declaration 2015-0002 was circulated for a 20-day public review from April 28, 2015 to May 17, 2015, consistent with CEQA Guidelines Section 15105 (b); and

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3. CEQA Section 21091(f) and 15704 require a lead agency to consider a Negative Declaration together with any comments received before approving the projects, one (1) written comments received by the lead agency; and
4. The City of Atascadero Community Development Department is the custodian of Negative Declaration 2015-0002 along with other material that constitutes the record of proceedings upon which this determination is made, which this record is available to the public for viewing at 6500 Palma Avenue, Atascadero, CA 93422; and
5. Based on the Planning Commission recommendation there is no substantial evidence that the project may have a significant effect on the environment; and
6. Based on the entire record, including any comments received, and the Planning Commission determines that there is no substantial evidence that the project may have a significant effect on the environment; and
7. The Negative Declaration prepared for the project reflects the Planning Commission's independent judgment and analysis.

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BE IT FURTHER RESOLVED that a copy of this Resolution be delivered forthwith by the Planning Commission Secretary to the City Council of the City of Atascadero.

On motion by Commissioner _____, and seconded by Commissioner _____, the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ()

NOES: ()

ABSTAIN: ()

ABSENT: ()

ADOPTED:

CITY OF ATASCADERO, CA

Mark Dariz
Planning Commission Chairperson

Attest:

Robert A. Lewis
Planning Commission Secretary

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Exhibit A: Proposed Mitigated Negative Declaration 2015-0002



CITY OF ATASCADERO
COMMUNITY DEVELOPMENT DEPARTMENT

(ENDORSED)
FILED

APR 28 2015

TOMMY GONG, COUNTY CLERK
[Signature]
DEPUTY CLERK

**NOTICE OF INTENT TO ADOPT PROPOSED
MITIGATED NEGATIVE DECLARATION**

NOTICE IS HEREBY GIVEN that the Environmental Coordinator of the City of Atascadero has completed a review of the following project and is proposing the following environmental determination:

Applicant:	Corp for Better Housing, 5947 Variel Ave., Woodland Hills, CA 91367
Property Owner:	9355 Avenida Maria LLC, 5947 Variel Avenue, Woodland Hills, CA 91367-5111
Project Title:	Atascadero Family Apartments – 86 Unit Multi-Family Apartment Complex PLN 2014-1522
Project Location:	10785 El Camino Real, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-020 9355 Avenida Maria, Atascadero CA 93422 (San Luis Obispo County) APN: 045-321-021
Project Description:	<p>The project consists of an application for an 86 unit affordable housing, multi-family development to be built in two phases. The project area is approximately 3.9 acres with a slope of 2.5% in a northwestern direction away from El Camino Real. Currently, the site is partially developed with one vacant single-family residence that will be demolished as a part of the proposed project.</p> <p>The applicant is proposing the following as a part of the proposed project:</p> <ul style="list-style-type: none"> • 86 total apartment units including a mix of 1, 2, 3 and 4 bedroom apartments; • Two corridor style buildings 2-stories in height (24-feet) with two (2) 32-foot tall mechanical / staircase shafts with decorative architectural features; • One (1) corridor style building 3-stories in height (37-feet, 4-inches) with two (2) 43-foot tall mechanical / staircase shafts with decorative architectural features; • A total of 157 parking spaces; 86 spaces covered / 71 uncovered; • Solar panels to be utilized on top of carports to provide alternative energy sources, consistent with the City's Climate Action Plan; • Proposed construction and materials to utilize US Green Building Council methodology to obtain Leadership in Energy & Environmental Design (LEED) certified platinum; • On-site recreational amenities including tot-lot, basketball court, outdoor eating areas; • On-site management is proposed including full-time manager (non-care taker type); • On-site social services programs available for residents only through the use of two (2) recreational rooms; • Proposed landscaping plan including use of drought tolerant native plants • Preservation of 46 on-site native trees, including critical blue oak woodland; • Removal of 21 on-site native trees to allow for proposed improvements including buildings, parking lots, and road improvements. <p>General Plan Designation: HDR Zoning District: RMF-20</p>

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Exhibit A: Proposed Mitigated Negative Declaration 2015-0002

CITY OF ATASCADERO
PROPOSED MITIGATED
NEGATIVE DECLARATION

Environmental Review Dates:	Begins: April 28, 2015 Ends: May 17, 2015
Electronic Public Review	This Document Can be found electronically in PDF format on the City of Atascadero Website: http://www.atascadero.org/environmentaldocs
Proposed Environmental Determination:	Based on the Initial Study prepared for the project, a Mitigated Negative Declaration is proposed. The Mitigated Negative Declaration is available for public review from 4/28/15 through 5/17/15 at 6500 Palma Ave., Community Development Department from 8:30 a.m. to 5:00 p.m. Monday through Thursday.

Any interested person may review the proposed Mitigated Negative Declaration and project files. Questions should be directed to Alfredo R. Castillo, AICP at (805) 470-3436.


Robert A. Lewis, Interim Community Development Director

4/28/2015
Date

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**ATTACHMENT 9: Draft Resolution PC 2014-B
Recommendation to approve CUP 2015-0288 / TRP 0181**

DRAFT RESOLUTION PC 2015-B

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ATASCADERO, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE PLN 2014-1522 / CONDITIONAL USE PERMIT 2015-0288 (MASTER PLAN OF DEVELOPMENT) / TREE REMOVAL PERMIT 2015-0181 ON APN 045-321-020, 021 (10785 El Camino Real, 9355 Avenida Maria) (Avenida Maria 9355, LLP / Corporation for a Better Housing)

WHEREAS, an application has been received from Corporation for a Better Housing (5947 Variel Avenue, Woodland Hills, CA 91367), Applicant and 9355 Avenida Maria, LLP (5947 Variel Avenue, Woodland Hills, CA 91367), Property Owner, for approval of a Conditional Use Permit consistent with Atascadero Municipal Code section 9-2.110(a), a tree removal permit to remove 499-inches DBH of native blue oak trees, and a State Density Bonus request consistent with Atascadero Municipal Code section 9-3.806 to adoption of a Master Plan of Development on APN 045-321-020, 021 for the construction of 86 apartment units dedicated to very-low and low income households; and,

WHEREAS, the site's General Plan Designation is HDR (High Density Residential); and,

WHEREAS, the site's current Zoning District is RMF-20 (Residential Multi-Family-20); and,

WHEREAS, Atascadero Municipal Code section 9-3.173(f) requires a Master Plan of Development to be approved in the form of a Conditional Use Permit to approve a density bonus consistent with California Government Code §6915, et. seq; and,

WHEREAS, the applicant is requesting developer incentives consistent with California Government Code §6915, et. seq and the Atascadero Municipal Code for the reduction of a corner yard setback in the RMF-20, parking reduction consistent with Government Code §6915 (p), and a height waiver to grant a building height in excess of the maximum allowed height in the RMF-20 zone; and,

WHEREAS, Atascadero Municipal Code Section 9-2.110(a) requires a Master Plan of Development to be approved in the form of a Conditional Use Permit to approve multi-family development over 12 units; and,

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WHEREAS, Atascadero Municipal Code Section 9-11.105(d) requires a Planning Commission decision regarding all tree removal application requests involving native trees 24-inches dbh or larger; and,

WHEREAS, an Initial Study and Draft Mitigated Negative Declaration 2015-0002 was prepared for the project and made available for public review in accordance with the requirements of the California Environmental Quality Act (CEQA); and,

WHEREAS, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and,

WHEREAS, a timely and properly noticed Public Hearing upon the subject Conditional Use Permit application was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Master Plan of Development; and,

WHEREAS, the Planning Commission of the City of Atascadero, at a duly noticed Public Hearing held on May 19, 2015, studied and considered Conditional Use Permit 2015-0288 (Master Plan of Development) and Tree Removal Permit 2015-0181, after first studying and considering the Proposed Mitigated Negative Declaration prepared for the project, and

NOW, THEREFORE, the Planning Commission takes the following actions:

SECTION 1. Findings for Waviers and Modifications of Development Standards for Density Bonus. The Planning Commission of the City of Atascadero recommends the City Council finds as follows:

1. The application conforms with the requirements of this section or Government Code Sections 65915 through 65918; and
2. The applicant has demonstrated that the City's development standards physically preclude the utilization of a density bonus on a specific site; and
3. The waiver or reduction does not have a specific, adverse impact, as defined in Government Code Section 65589.5(d)(2), upon health, safety, or the physical environment, and there is feasible methods to satisfactorily mitigate specific adverse impact through implementation of conditions of approval and mitigation monitoring;
4. The waiver or reduction does not have an adverse impact on any real property that is listed in the California Register of Historical Resources; and
5. The waiver or reduction is not contrary to State or Federal law.

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SECTION 2. Developer Incentives Identified. The Planning Commission of the City of Atascadero recommends the City Council finds the following developer incentives be waived or modified for the construction of a minimum of nine (9) deed restricted housing units set aside to households deemed very-low income for a minimum of 55-years :

1. Reduction of the corner yard setback as required in Atascadero Municipal Code section 9-4.107 (a)(1) for Lot 1 as recorded in Parcel Map 49-16, San Luis Obispo County to a minimum of five (5) feet measured from the edge of property line; and
2. Reduction of parking spaces as required in Atascadero Municipal Code 9-4.118 (c)(5) from a required 189 parking spaces to the maximum of 157 as outlined in California Government Code §6915 (p); and
3. A waiver of height restrictions as required in Atascadero Municipal Code Section 9-4.113(a) limiting building height to 30-feet and two-stories in order to construct a three-story building with a height identified in Exhibit F for the provision of affordable housing and not resulting the detrimental effects on the enjoyment and use of adjoining properties and that the modified height will not exceed the lifesaving equipment capabilities of the Fire Department.

SECTION 3. Findings for Approval of Conditional Use Permit. The Planning Commission of the City of Atascadero recommends the City Council finds as follows:

1. The proposed project or use is consistent with the General Plan, as well as the City's Appearance Review Manual and any pertinent City policy or criteria adopted by ordinance or resolution of the City Council; and,
2. The proposed project or use satisfies all applicable provisions of the Title (Zoning Ordinance), with the exception of concession awarded as a part of findings made for the State Density Bonus and developer incentives identified; and,
3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use; and,
4. That the proposed project or use will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development; and,
5. That the proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

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SECTION 4. Findings for Approval of Tree Removal. The Planning Commission recommends the City Council finds as follows:

The trees are obstructing proposed improvements that cannot be reasonably designed to avoid the need for tree removal, as certified by a report from the Site Planner and determined by the Community Development Department based on the following factors:

- Early consultation with the City;
- Consideration of practical design alternatives;
- Provision of cost comparisons (from applicant) for practical design alternatives;
- If saving tree eliminates all reasonable uses of the property; or
- If saving the tree requires the removal of more desirable trees

SECTION 5. Recommendation of Approval. The Planning Commission of the City of Atascadero, in a regular session assembled on May 19, 2015, resolved to recommend that the City Council approve Conditional Use Permit 2015-0288 (Master Plan of Development) and Tree Removal Permit 2015-0181 subject to the following:

1. EXHIBIT A: Conditions of Approval / Mitigation Monitoring Program
2. EXHIBIT B: Master Plan of Development (Site Plan)
3. EXHIBIT C: Proposed Parking Matrix
4. EXHIBIT D: Landscape Plan
5. EXHIBIT E: Grading and Drainage Plan / Utility Plan
6. EXHIBIT F: Floor Plans, Elevations
7. EXHIBIT G: Color and Materials Board
8. EXHIBIT H: Native Tree Mitigation
9. EXHIBIT I: Section Improvements

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BE IT FURTHER RESOLVED that a copy of this Resolution be delivered forthwith by the Planning Commission Secretary to the City Council of the City of Atascadero.

On motion by Commissioner _____, and seconded by Commissioner _____, the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ()

NOES: ()

ABSTAIN: ()

ABSENT: ()

ADOPTED:

CITY OF ATASCADERO, CA

Mark Dariz
Planning Commission Chairperson

Attest:

Robert A. Lewis
Planning Commission Secretary

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**EXHIBIT A: Conditions of Approval / Mitigation Monitoring Program
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

Conditions of Approval / Mitigation Monitoring Program PLN 2014-1522 / CUP 2015-0288 / TRP 2015-0181 Atascadero Family Apartments 10785 El Camino Real / 9355 Avenida Maria APN 045-321-020,021	Timing BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
Planning Department Standard Conditions			
1. This Conditional Use Permit shall be for 10785 El Camino Real and 9355 Avenida Maria described on the attached exhibits and located on Lots 1 and 2 recorded in Parcel Map 49-16, San Luis Obispo County (APN 045-321-020,021) regardless of owner.	Ongoing	PS	LOC
2. The approval of this use permit shall become final and effective for the purposes of issuing building permits following the City Council approval unless prior to the time, an appeal to the decision is filed consistent with established appeals of municipalities as required by the California Civil and / or Government Code.	Ongoing	PS	LOC / CAL
3. The Community Development Department shall have the authority to approve the following minor changes to the project that (1) modify the site plan project by less than 10%, (2) result in a superior site design or appearance, and/or (3) address a construction design issue that is not substantive to the Master Plan of Development. The Planning Commission shall have the final authority to approve any other changes to the Master Plan of Development and any associated Tentative Maps unless appealed to the City Council.	BP / FM	PS, CE	LOC
4. Approval of this Conditional Use Permit shall be valid for twenty-four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless the project has received a building permit or an extension of the permit is granted.	BP / FM	PS	LOC
5. The applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning the subdivision.	Ongoing		LOC
6. All site plan improvements shall be consistent with Exhibit B of the master plan of development.	BP	PS, CE	LOC
7. All landscaping must consist of drought tolerant landscaping consistent with the Atascadero Mutual Water Company's drought tolerant plant list or comparable drought tolerant species. Landscaping shall be installed prior to issuance of final			LOC / CAL

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Conditions of Approval / Mitigation Monitoring Program PLN 2014-1522 / CUP 2015-0288 / TRP 2015-0181 Atascadero Family Apartments 10785 El Camino Real / 9355 Avenida Maria APN 045-321-020,021	Timing BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
permits for each phase of development.			
8. Landscaping plan shall be reviewed by the Atascadero Police Department to ensure neighborhood safety.	BP	PS	LOC
9. Fencing and screen shall be reviewed and approved by the City Staff. External fencing is required along El Camino Real. No internal fencing is permitted along interior lot lines.	BP	PS	LOC
10. All elevations must be consistent with Exhibit F. Maximum building heights shall not exceed 43-feet in height measured from finished grade.	BP	PS	LOC
11. Color and materials board shall be consistent with Exhibit G. Any color deviations or additional colors must be approved by the Community Development director or their designee prior to the issuance of building permits.	BP	PS	LOC
12. Additional architectural elements must be included as a part of the building permit submittal: <ul style="list-style-type: none"> • Decorative end caps for awnings; • Use of hardy plank siding at bases and at gables; • Varying shutter colors to be approved by Staff. 	BP	PS	LOC
13. Solar panels shall be utilized where feasible on carports as shown in Exhibit F.	BP	PS	LOC
14. Consistent with California Government Code Sections 65915 through 65918, three (3) developer incentives will be provided for the construction of a minimum of nine (9) deed restricted, very-low income units (11% of total project units). Those developer incentives include: <ul style="list-style-type: none"> • Reduction of corner yard setback for Lot 1 identified in recorded Parcel Map 49-16, San Luis Obispo County, to a minimum of five (5) feet as measures from the edge of property line. • Reduction of the number of required parking spaces as identified in Exhibit C. • Waiver of maximum 30-foot height requirements and maximum two-stories. 	BP	PS	CAL
15. In exchange for waiver and/or modification of three standards in Title 9 of the Atascadero Municipal Code, the applicant shall be required to deed restrict a minimum of nine (9) units to households whom qualify as very-low income, consistent with	BP	PS	CAL

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Conditions of Approval / Mitigation Monitoring Program PLN 2014-1522 / CUP 2015-0288 / TRP 2015-0181 Atascadero Family Apartments 10785 El Camino Real / 9355 Avenida Maria APN 045-321-020,021	Timing BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
the San Luis Obispo County affordable housing standards.			
16. A deed restriction shall be entered between the City of Atascadero and the applicant deed restricting 86 units for a term of no less than 55 years. This deed restriction shall be recorded prior to the issuance of building permits. The following shall be a breakdown of restricted units: <ul style="list-style-type: none"> • A minimum of 46 units shall be deed restricted for households of very-low income • All remaining units shall be deed restricted for households of low income 	BP	PS	CAL
17. Atascadero Waste Alternatives shall be consulted prior to the issuance of building permits for final location of trash enclosures.	BP	PS	LOC
18. Community Identity monument signage will be provided and shall be limited to a maximum of 50 square feet (sf). Community identity signage shall require a building permit and be consistent with color and materials of the proposed architecture elements.	BP	PS	LOC
19. The applicant is required to enter into the City of Atascadero Police Department Crime Free Multi-Family Housing Program and show proof.	On-Going	PD	LOC
20. A Lot Line Adjustment shall be required to be completed prior to final occupancy of the 1 st building in Phase 1.	BP	PS	CAL
21. Project shall be developed and maintained as one development, regardless of owner(s) and phases.	On-Going	PS	LOC
22. Approval of this permit shall include the removal of 21 Native Oak Trees, totaling 499-inches dbh. The applicant shall be required to pay mitigation fees or provide replantings on-site per the requirements of the Atascadero Native Tree Ordinance. Any additional removals shall be subject to Planning Commission approval.	BP	PS	LOC
Building Division Conditions			
23. All building permit submittals shall be consistent with the adopted California Building Code (CBC) at the time of building permit submittal.	BP	BS	CAL

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Conditions of Approval / Mitigation Monitoring Program PLN 2014-1522 / CUP 2015-0288 / TRP 2015-0181 Atascadero Family Apartments 10785 El Camino Real / 9355 Avenida Maria APN 045-321-020,021	Timing BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	Responsibility /Monitoring PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney	Agency Requirement FED: Federal Government CAL: California Government LOC: Local Government
24. All required fire-turnarounds shall be approved by the Fire Marshall prior to the issuance of permits.	BP	FS	CAL
25. Location of fire hydrants shall be reviewed and approved by the Fire Marshall prior to the issuance of permits.	BP	FS	CAL
26. Painted Red Curbs or installation of no-parking signs shall be determined by the Fire Marshall within the boundary of the proposed project.	BP	FS/CE	CAL
Public Works Project Conditions			
City Engineer Project Conditions			
27. The project shall be designed and constructed in accordance with the State Water Board Resolution No. R3-2013-0032 and City of Atascadero stormwater control regulations. The plan and supporting documentation shall identify site design components addressing performance requirements 1 through 4 including, but not limited to stormwater retention/detention, percolation rates, stormwater run-off treatment measures and a post-construction Operations & Maintenance plan.	GP, BP	CE	CAL
28. Where stormwater run-off is directed to underground basins, percolation testing shall be performed at and below the depth of the bottom of the proposed system. A Percolation Report shall be prepared by a licensed civil or geotechnical engineer and included in the stormwater system calculations	GP, BP	CE	CAL
29. Stormwater discharge from this site onto the adjacent northerly property shall be discharged in a non-erosive sheet-flow, to the satisfaction of the City Engineer.	GP, BP	CE	CAL
30. A public utility easement (6-foot wide) shall be dedicated along both public street frontages. Additional area may be required as determined by the public utility providers to accommodate transformers, switch gear or other facilities pertinent to the dry utilities systems	GP, BP	CE	LOC
31. The existing pedestrian ramp at the northeasterly corner of El Camino Real and Avenida Maria shall be updated in accordance with Caltrans Standard Plan A88A and to the satisfaction of the City Engineer.	GP, BP	CE	LOC
32. The emergency access drive proposed on El Camino Real shall be gated. The gate design and operation shall be to the satisfaction of the Fire Marshall and City Engineer. The gate	GP, BP	CE	LOC

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<p>shall open into the property and shall not encroach into the public right-of-way.</p>			
<p>33. On-site drainage swales exceeding 5% gradient in the direction of flow shall include erosion control measures such as rock slope protection or landscaping, to the satisfaction of the City Engineer.</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>
<p>34. If required by the City Engineer, the developer shall remove on-street parking on the project side of the street and install "No Parking" signs or paint the curb red with stenciled "No Parking - Fire Lane".</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>
<p>35. If street trees are required, trees shall be planted behind the sidewalk. Deep-root barriers shall be used on all trees planted within 10-feet of the public sidewalk or drive approach.</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>
<p>36. The sewer lateral shall connect to the existing sewer main in El Camino Real in accordance with City Standards and Specifications. It shall be at the sole discretion of the City Engineer to allow the sewer lateral to connect directly into an existing manhole. Should a connection to the manhole be allowed, the manhole shall be cored, the lateral connected using a Kor-N-Seal type connection or equal, lateral invert at the point of connection to the manhole shall be 0.10' above the existing flow-line in the manhole channel, and a smooth channel cored and finished from the lateral to the main channel, to the approval and satisfaction of the City Engineer.</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>
<p>37. Typical street sections and improvements shall be consistent with Exhibit I or as approved by the City Engineer.</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>
<p>City Engineer Standard Conditions</p>			
<p>38. The applicant shall acquire title interest in any off-site land that may be required to allow for the construction of the improvements. The applicant shall bear all costs associated with the necessary acquisitions. The applicant shall also gain concurrence from all adjacent property owners whose ingress and egress is affected by these improvements.</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>
<p>39. Slope easements shall be obtained by the applicant as needed to accommodate cut or fill slopes.</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>
<p>40. Drainage easements shall be obtained by the applicant as needed to accommodate both public and private drainage</p>	<p>GP, BP</p>	<p>CE</p>	<p>LOC</p>

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facilities.			
41. Prior to the issuance of building permits the applicant shall submit plans and supporting calculations/reports including street improvements, underground utilities, composite utilities, and grading/drainage plans prepared by a registered civil engineer for review and approval by the City Engineer.	GP, BP	CE	LOC
42. A mechanism for funding and maintenance of the storm drain facilities shall be provided.	GP, BP	CE	LOC
43. Prior to the issuance of building permits the applicant shall show the method of dispersal at all pipe outlets. Include specifications for size & type.	GP, BP	CE	LOC
44. Prior to the issuance of building permits the applicant shall show method of conduct to approved off-site drainage facilities.	GP, BP	CE	LOC
45. Concentrated drainage from off-site areas shall be conveyed across the project site in drainage easements. Acquire drainage easements where needed. Drainage shall cross lot lines only where a drainage easement has been provided. If drainage easement cannot be obtained the storm water release must follow the exact historic path, rate and velocity as prior to the subdivision.	GP, BP	CE	LOC
46. Applicant shall submit erosion control plans and a Storm Water Pollution Prevention Plan (SWPPP). The Regional Water Quality Control Board shall approve the SWPPP.	GP, BP	CE	CAL
47. All public improvements shall be constructed in conformance with the City of Atascadero Engineering Department Standard Specifications and Drawings or as directed by the City Engineer	GP, BP	CE	LOC
48. The on-site residential streets shall be improved consistent with the Exhibit B and E.	GP, BP	CE	LOC
49. Off-site streets shall be improved as required by the City Engineer.	GP, BP	CE	LOC
50. Alignment of frontage improvements shall be approved by the City Engineer.	GP, BP	CE	LOC
51. All utilities shall be undergrounded on project frontage	GP, BP	CE	LOC
52. All onsite sewer mains shall be privately owned and maintained.	FM	CE	LOC

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53. Applicant shall pay sewer extension (Annexation), Connection and Reimbursement fees (if applicable) upon issuance of building permit.	BP	CE	LOC
54. Gravity mains within the project shall be eight (8) inches in diameter, or as specified by the City Engineer.	BP	CE	LOC
Mitigation Monitoring Program – Mitigated Negative Declaration 2015-0002			
<u>Mitigation Measure 1.d.1:</u> All lighting shall be designed to eliminate any off site glare. All exterior site lights shall utilize full cut-off, “hooded” lighting fixtures to prevent offsite light spillage and glare. Any luminaire pole height shall not exceed 20-feet in height, limit intensity to 2.0 foot candles at ingress /egress, and otherwise 0.6 foot candle minimum to 1.0 maximum in parking areas. No light shall be permitted to spill off-site. Fixtures shall be shield cut-off type.	BP	BS/PS	LOC
<u>Mitigation Measure 1.d.2:</u> At the time of building permit submittal of the proposed project, applicant must submit a photometric plan showing locations of proposed on-site lighting. Prior to final occupancy, City staff and the applicant shall meet on-site and review lights at dusk condition to ensure off-site light spillage and glare	BP	BS/PS	LOC
<u>Mitigation Measure 3.b.1:</u> The project shall be conditioned to comply with all applicable District regulations pertaining to the control of fugitive dust (PM-10) as contained in Section 2 “Assessing and Mitigating Construction Impacts.” <u>2.4 Fugitive Dust Mitigation Measures: Standard List</u> a. Reduce the amount of the disturbed area where possible; b. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible; c. All dirt stock-pile areas should be sprayed daily as needed; d. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible, and building pads should be laid as soon as possible after grading unless seeding or soil binders are used; e. All of these fugitive dust mitigation measures shall be shown on grading and building plans; and f. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce	BP	BS/PS	CAL

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<p>visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress.</p>			
<p><u>Mitigation Measure 3.b.2:</u> The project shall be conditioned to comply with all applicable APCD regulations pertaining to Naturally Occurring Asbestos (NOA). Prior to any grading activities a geologic evaluation should be conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, and exemptions request must be filed with the District. If NOA is found at the site, the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety program for approval by the APCD. Technical Appendix 4.4 of the SLO County APCD CEQA Air Quality Handbook includes a map of zones throughout San Luis Obispo County where NOA has been found and geological evaluation is required prior to any grading.</p>	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>
<p><u>Mitigation Measure 4.d.1:</u> The Atascadero Biological Report recommends a follow-up nesting raptor survey be conducted during the raptor nesting season (March – August) by a qualified wildlife biologist prior to construction activities. Nesting birds, including nesting raptors (hawks, eagles, owls) and bats, are known to occur within ten miles of the proposed project. If active raptor nests are found onsite or within 500 feet of the property, an appropriate avoidance plan should be designed to include no onsite disturbances until the chicks have fledged.</p>	<p>BP</p>	<p>BS/PS</p>	<p>FED/CAL</p>
<p><u>Mitigation Measure 4.e.1:</u> Grading and excavation and grading work shall be consistent with the City of Atascadero Tree Ordinance. Special precautions when working around native trees include:</p> <ol style="list-style-type: none"> 1. All existing trees outside of the limits of work shall remain. 2. Earthwork shall not exceed the limits of the project area. 3. Low branches in danger of being torn from trees shall be pruned prior to any heavy equipment work being done. 4. Vehicles and stockpiled material shall be stored outside the drip line of all trees. 5. All trees within twenty feet of construction work shall be fenced for protection with 4-foot chain link, snow or safety fencing placed per the approved tree protection plan. Tree protection fencing shall be in place prior to any site excavation or grading. Fencing shall remain in place until completion of all construction activities. 6. Any roots that are encountered during excavation shall be clean cut by hand and sealed with an approved tree seal. 7. Utilities such as water, gas, power, cable, storm drainage, and sewer should be redirected from under the canopy of any trees that are to remain. 8. Where a building is placed within the canopy of a tree the foundation should be redesigned so that it bridges across any root systems. 	<p>BP</p>	<p>BS/PS</p>	<p>LOC</p>

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<p>9. Any foundation or other structure that encroaches within the drip line of trees to be saved shall be dug by hand.</p> <p>10. At no time shall tree roots be ripped with construction equipment.</p>			
<p><u>Mitigation Measure 4.e.2:</u> Tree protection fencing shall be installed at the locations called out in the Tree Protection Plan. An inspection of the tree fencing shall be done by City staff prior to issuance of building permits.</p>	<p>BP</p>	<p>BS/PS</p>	<p>LOC</p>
<p><u>Mitigation Measure 4.e.3:</u> Upon project completion and prior to final occupancy a final status report shall be prepared by the project arborist certifying that the tree protection plan was implemented, the trees designated for protection were protected during construction, and the construction-related tree protection measures are no longer required for tree protection.</p>	<p>BP</p>	<p>PS</p>	<p>LOC</p>
<p><u>Mitigation Measure 4.e.4:</u> All utilities shall remain outside the driplines of native trees, to the extent feasible.</p>	<p>BP</p>	<p>PS</p>	<p>LOC</p>
<p><u>Mitigation 5.d.1:</u> In the event that human remains are discovered on the property, all work on the project shall stop and the Atascadero Police Department and the County Coroner shall be contacted. The Atascadero Community Development Department shall be notified. If the human remains are identified as being Native American, the California Native American Heritage Commission (NAHC) shall be contacted at (916) 653-4082 within 24 hours. A representative from both the Chumash Tribe and the Salinan Tribe shall be notified and present during the excavation of any remains.</p>	<p>Ongoing</p>	<p>PS</p>	<p>CAL</p>
<p><u>Mitigation Measure 6.b.1:</u> The grading permit application plans shall include erosion control measures to prevent soil, dirt, and debris from entering the storm drain system during and after construction. A separate plan shall be submitted for this purpose and shall be subject to review and approval of the City Engineer at the time of Building Permit application.</p>	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>
<p><u>Mitigation Measure 6.b.2:</u> All cut and fill slopes shall be hydro seeded with an appropriate erosion control method (erosion control blanket, hydro-mulch, or straw mulch appropriately anchored) immediately after completion of earthwork. All disturbed slopes shall have appropriate erosion control methods in place. The contractor will be responsible for the clean-up of any mud or debris that is tracked onto public streets by construction vehicles.</p>	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>
<p><u>Mitigation Measure 6.b.3:</u> The contractor will be responsible for the clean-up of any mud or debris that is tracked onto public streets by construction vehicles. An approved device must be placed prior to commencement of grading activities. This device shall be approved by the City Engineer.</p>	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>

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<p>Mitigation Measure 8.h.1: Construction will comply with section the California Building and Fire Codes. New residences in the City are required to install fire sprinklers. Fire protection measures shall include the use of non-combustible exterior construction and roofs and fire-resistant building materials deemed appropriate by the Fire Marshal and Chief Building Official.</p>	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>
<p>Mitigation Measure 9.d.e.f.1: The developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Failure to comply with the approved construction Best Management Practices will result in the issuance of correction notices, citations, or stop orders.</p>	<p>BP</p>	<p>BS/PS</p>	<p>CAL</p>
<p>Mitigation Measure 12.d.1: All construction activities shall comply with the City of Atascadero Noise Ordinance for hours of operation of equipment (between 7 am and 9pm).</p>	<p>BP</p>	<p>BS/PS</p>	<p>LOC</p>
<p>Mitigation Measure 16.a.b.3: Payment of Circulation System Fee (TIF) shall be made prior to the issuance of building permits for all residential and non-residential uses that contribute to the deficiencies to the US 101 / Santa Rosa Road interchange and US 101 / Santa Barbara Road interchange. Those traffic impact fees shall be collected as follows: \$3,684 per residential unit (high density / current fee) or development impact fee that is adopted at the time of building permit submittal.</p>	<p>BP</p>	<p>CE/PS</p>	<p>CAL</p>
<p>Mitigation Measure 16.f.1: At the discretion of City staff, the applicant may be required to install a crosswalk on the south leg of El Camino Real / Patria Circle and utilize the existing median to provide a pedestrian refuge area.</p>	<p>BP</p>	<p>PS</p>	<p>CAL / LOC</p>
<p>Mitigation Measure 16.f.2: Bicycle rack to be provided on-site.</p>	<p>BP</p>	<p>PS</p>	<p>CAL</p>
<p>Mitigation Measure 17.d.1: Landscaping plans shall be submitted to the Community Development Department for review and approval. Landscaping must consist of drought tolerant species and utilize drip irrigation. Turf shall not be permitted as a part of the approved landscaping plan.</p>	<p>BP</p>	<p>PS</p>	<p>LOC</p>

EXHIBIT B: Master Plan of Development (Site Plan)
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)

***Full Sized Site Plan in Project File**

PROJECT INFORMATION:

ATASCADERO FAMILY APARTMENTS:

- BUILDING NO.1 WITH ELEVATOR
- BUILDING NO.2 WITH ELEVATOR AND A RESIDENTIAL COMMUNITY ROOM
- BUILDING NO.3 WITH ELEVATOR AND A RESIDENTIAL COMMUNITY ROOM

86 GRAND TOTAL RESIDENTIAL APARTMENT UNITS

RESIDENTIAL APARTMENT UNIT SUMMARY:

- 1 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
- 2 BEDROOM APARTMENT UNIT = 26 APARTMENT UNITS
- 3 BEDROOM APARTMENT UNIT = 24 APARTMENT UNITS
- 4 BEDROOM APARTMENT UNIT = 14 APARTMENT UNITS
- 86 APARTMENT UNITS

PHASE I:

- 2 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
- 3 BEDROOM APARTMENT UNIT = 24 APARTMENT UNITS
- 4 BEDROOM APARTMENT UNIT = 14 APARTMENT UNITS
- 60 APARTMENT UNITS

BUILDING AREA PHASE I:

- BUILDING NO. 1 - 1ST FLOOR = 21,018 SF
- BUILDING NO. 1 - 2ND FLOOR = 20,542 SF
- TOTAL BUILDING AREA - BUILDING NO. 1 = 41,560 SF

- BUILDING NO. 2 - 1ST FLOOR = 13,471 SF
- BUILDING NO. 2 - 2ND FLOOR = 13,448 SF
- BUILDING NO. 2 - 3RD FLOOR = 13,085 SF
- TOTAL BUILDING AREA - BUILDING NO. 2 = 40,004 SF

TOTAL GROSS BUILDING AREA FOR PHASE 1 = 81,564 SF

PHASE II:

- 1 BEDROOM APARTMENT UNIT = 22 APARTMENT UNITS
- 2 BEDROOM APARTMENT UNIT = 4 APARTMENT UNITS
- 26 APARTMENT UNITS

BUILDING AREA PHASE II:

- BUILDING NO. 3 - 1ST FLOOR = 11,772 SF
- BUILDING NO. 3 - 2ND FLOOR = 11,273 SF
- TOTAL BUILDING AREA - BUILDING NO. 3 = 23,045 SF

TOTAL GROSS BUILDING AREA FOR PHASE 2 = 23,045 SF

DENSITY BONUS PARKING SUMMARY:

- 1.0 PARKING SPACES AT 22 - 1 BEDROOM APARTMENT UNITS = 22 PARKING SPACES
- 2.0 PARKING SPACES AT 26 - 2 BEDROOM APARTMENT UNITS = 52 PARKING SPACES
- 2.0 PARKING SPACES AT 24 - 3 BEDROOM APARTMENT UNITS = 48 PARKING SPACES
- 2.5 PARKING SPACES AT 14 - 4 BEDROOM APARTMENT UNITS = 35 PARKING SPACES
- TOTAL PARKING SPACES REQUIRED = 157 PARKING SPACES
- TOTAL PARKING SPACES PROVIDED = 157 PARKING SPACES

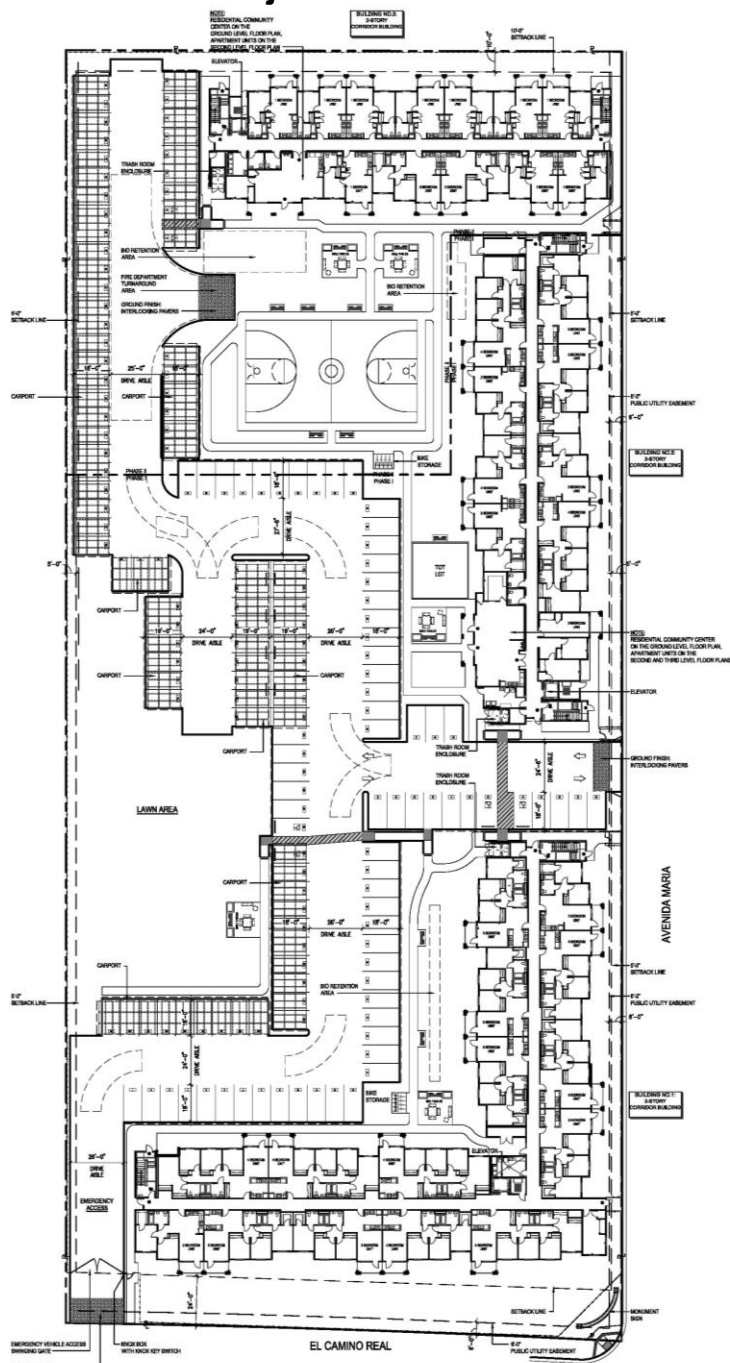
OUT OF 157 PARKING SPACES, 86 PARKING SPACES IS TO BE COVERED PARKING

PER BREAKDOWN BELOW:

- 1 COVERED PARKING SPACE PER APARTMENT UNIT REQUIRED:
- TOTAL COVERED PARKING SPACES REQUIRED = 86 PARKING SPACES
- TOTAL COVERED PARKING SPACES PROVIDED = 87 PARKING SPACES

OPEN AREA REQUIREMENTS - 300 SF / UNIT

- 86 UNITS x 300 SF = 25,800 SF REQUIRED
- OPEN AREA PROVIDED = 39,500 SF



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**EXHIBIT C: Proposed Parking Matrix
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

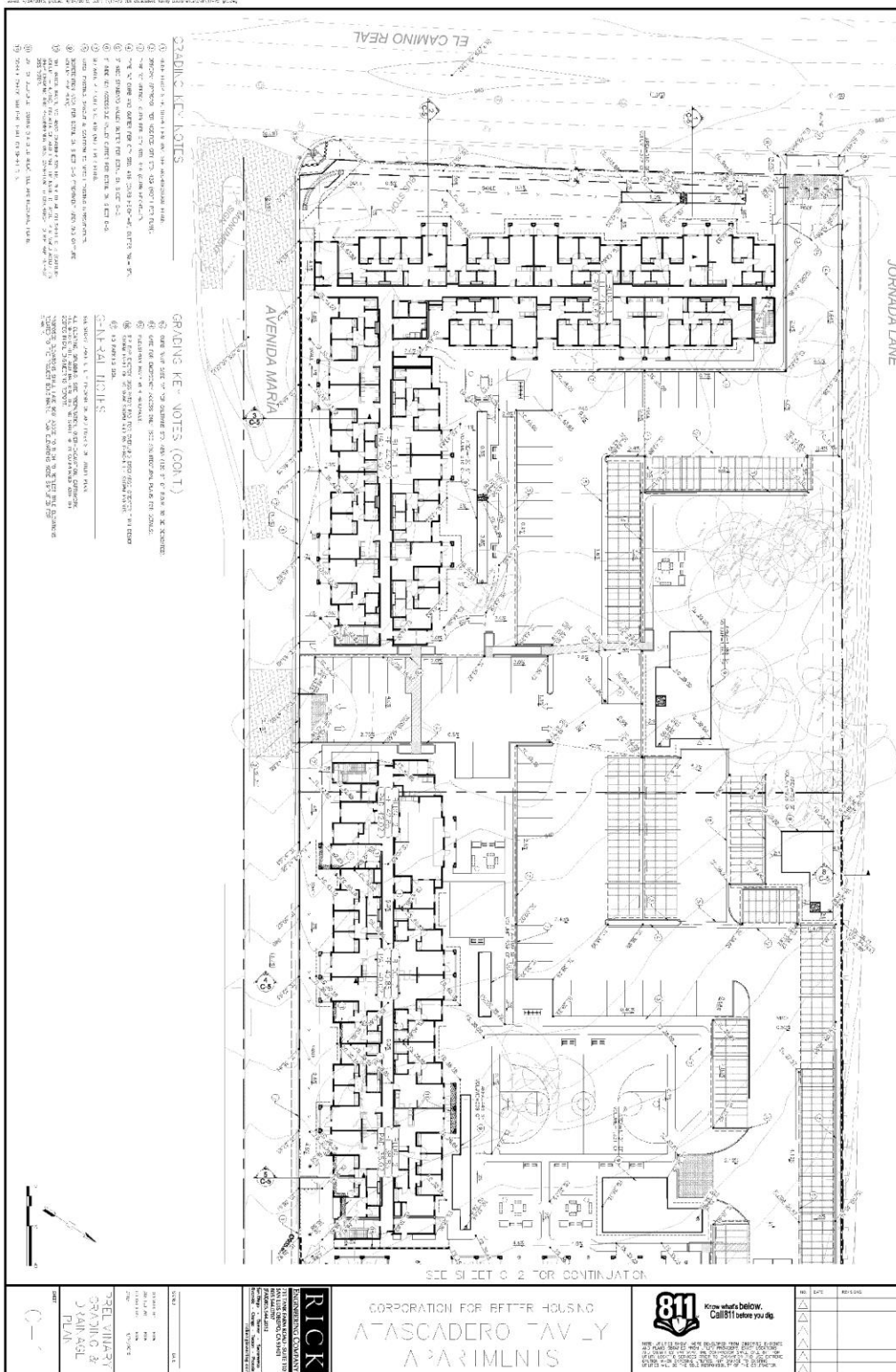
Proposed Parking Calculations – Atascadero Family Apartments					
Unit Types	Number of Units	Typical Parking Requirement - AMC	Parking Spaces Needed- AMC	State Mandated Parking Ratios- CGC 65015.(p)	Provided Spaces
1 bedroom unit	22	1.5 spaces per unit	33 spaces	1 space per unit	22 spaces
2 bedroom unit	26	2 spaces per unit	38 spaces	2 spaces per unit	52 spaces
3 bedroom unit	24	2.5 spaces per unit	65 spaces	2 spaces unit	48 spaces
4 bedroom unit	14	3 spaces per unit	36 spaces	2.5 spaces per unit	35 spaces
Guest Spaces		1 per 5 units	17 spaces	0 space	
Total Number of Parking Spaces Required under AMC			189 spaces		157 spaces provided -32 space concession
Total Parking Spaces Required per California Government Code section 65015.(p)			157 spaces		157 Spaces provided

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**EXHIBIT E: Grading and Drainage Plan / Utility Plan
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

*** Full Sized Plan in Project File**

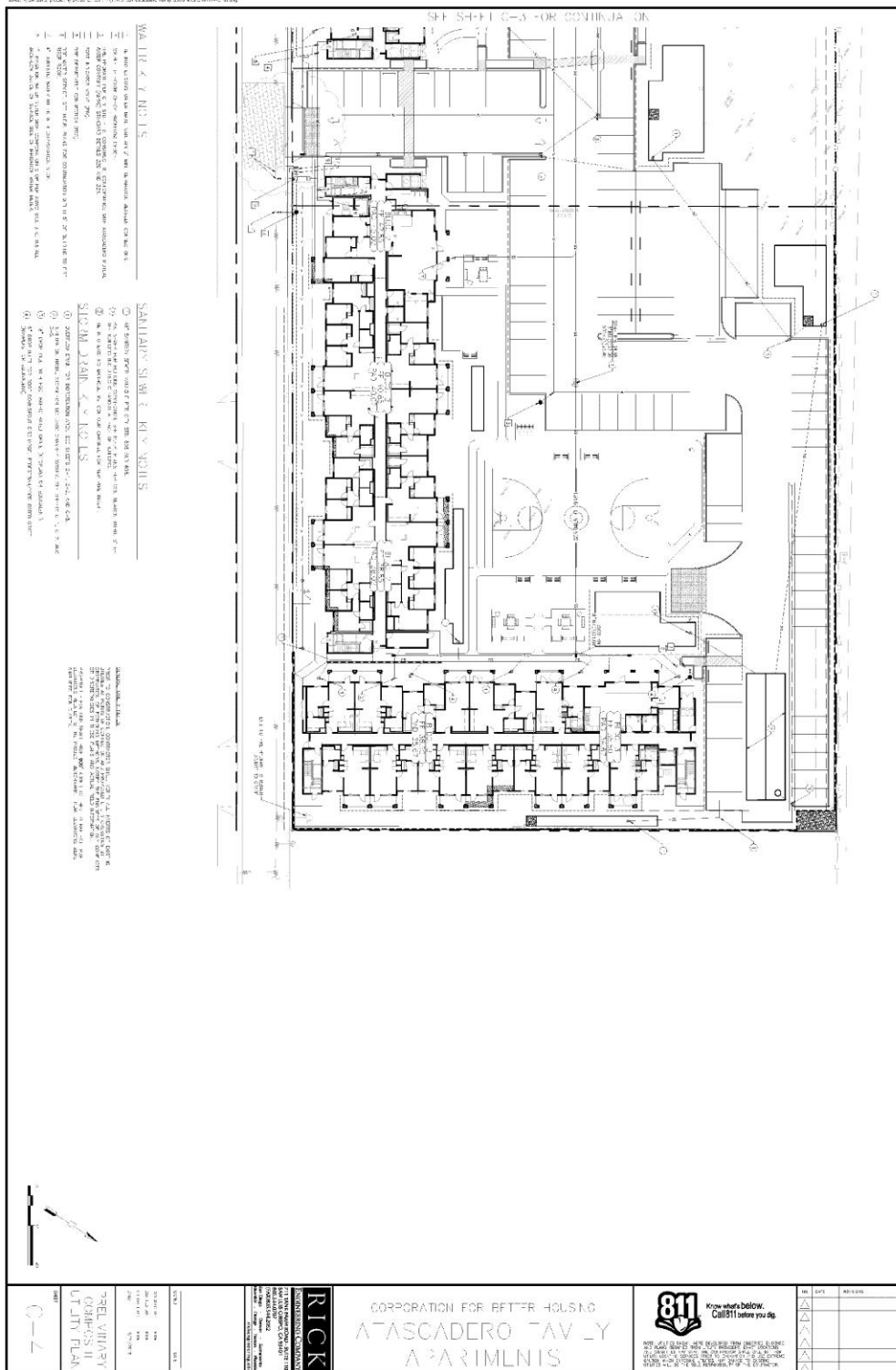


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**EXHIBIT E: Grading and Drainage Plan / Utility Plan
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

*** Full Sized Plan in Project File**



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EXHIBIT F: Floor Plans / Elevations
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)

*** Full Sized Plan in Project File**



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EXHIBIT F: Floor Plans / Elevations
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)

*** Full Sized Plan in Project File**



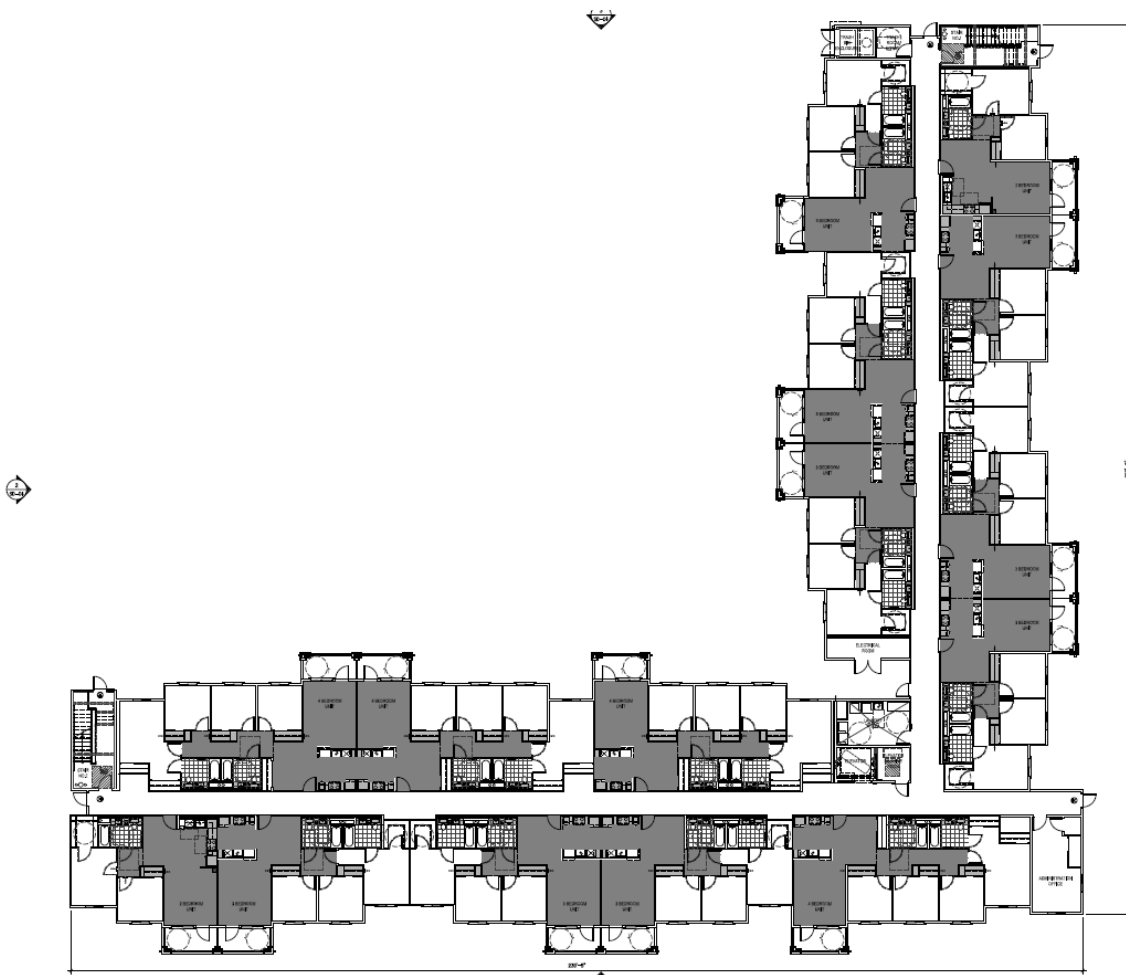
CARPORT SIDE ELEVATION (2)
SCALE: 1/4" = 1'-0"
NOTE:
CARPORT DESIGN AND SOLAR PANEL DESIGN
IS BY OTHERS.
BOTH DESIGNS ARE TO BE
UNDER A DEFERRED SUBMITTAL

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EXHIBIT F: Floor Plans / Elevations
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)

***Full Sized Plan in Project File**



Y&M Architects
110 West 8th St
124 South Spring Street, Suite 204
Los Angeles, CA 90014
Tel: 213.625.2101 Fax: 213.625.2108
www.yandm.com

Atascadero Phase 1 + 2
Project #

Corporation For Better Housing
Developed: 3821 North Avenue
Woodland Hills, CA 91367

ITEM NUMBER: 4

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EXHIBIT F: Floor Plans / Elevations
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)

*** Full Sized Plan in Project File**



S&M Architects
716 Astor Drive
724 South Spring Street, Suite 204
Los Angeles, CA 90015
Tel: 310 822 3127 Fax: 310 822 3128
www.smand.com

Atascadero Phase 1 + 2
Project *

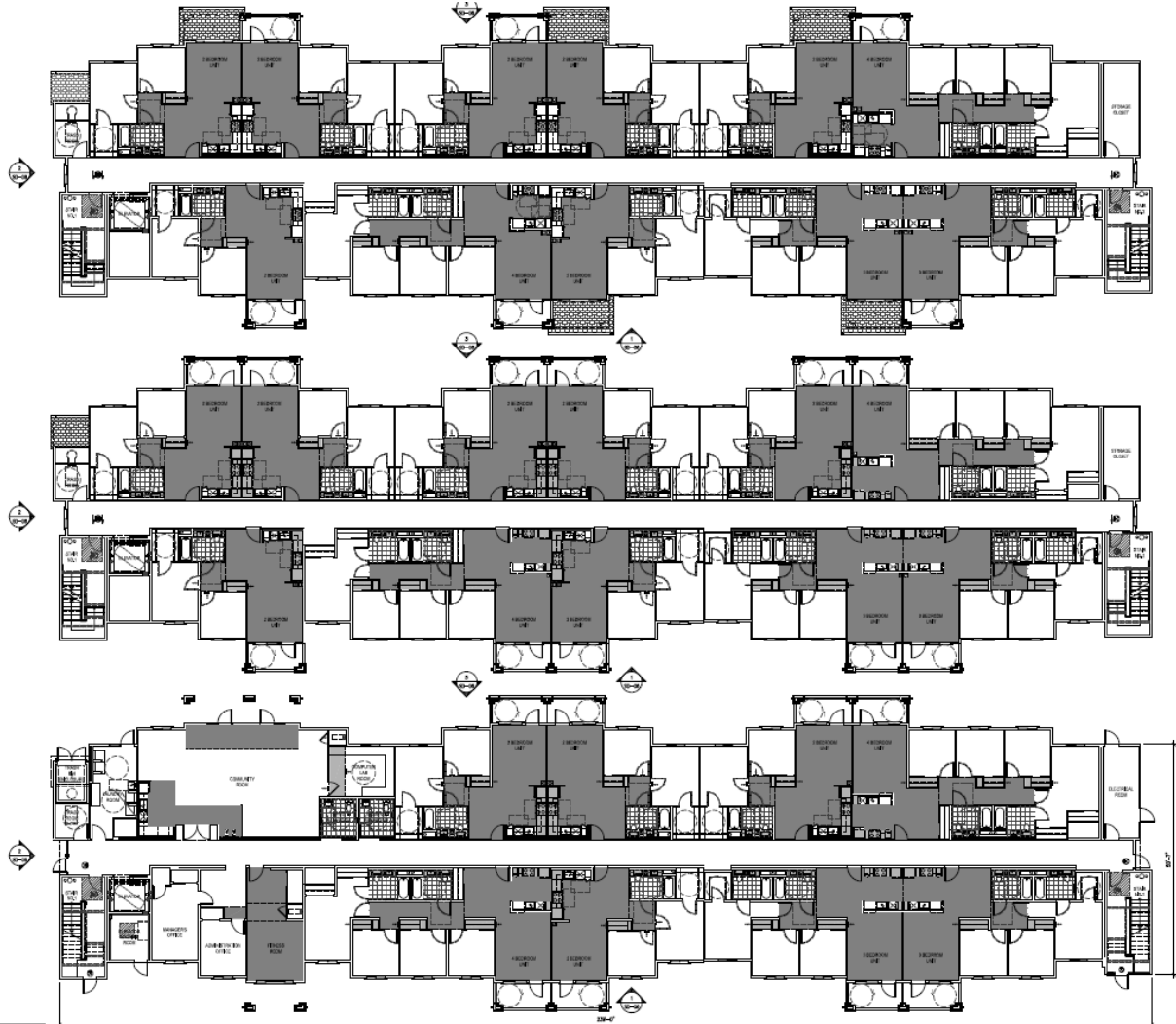
Corporation For Better Housing
Developers: 1927 Yorkland Avenue
Woodland Hills, CA 91367

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EXHIBIT F: Floor Plans / Elevations
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)

***Full Sized Plan in Project File**



Y&M Architects

Y&M ARCHITECTS
726 South Spring Street, Suite 374
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Atascadero Phase 1 + 2

Phase 1

Corporation For Better Housing

Developer: CBT For Better Housing
Woodland Hills, CA 91367

ITEM NUMBER: 4

DATE: 5-19-15

EXHIBIT G: Color and Materials Board
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)

***Additional Colors may be approved by Community Development Director**



STUCCO FINISH
OMEGA #432

1



STUCCO FINISH
OMEGA #429

2



AWNING
SPRUCE DARK GREEN

3



ROOF
BEL AIR #4602 CONCORD

4



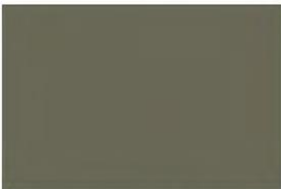
TRIMS / LAP SIDING
SHERWIN WILLIAMS #7005
PURE WHITE

5



STONE VENEER
CULTURED STONE
CARMEL COUNTRY
LEDGESTONE #CSV-2042

6



RAILINGS
SHERWIN WILLIAMS #6166

7



CRYSTAL LIGHTING
MODEL: CLW-18

8

ATASCADERO FAMILY APARTMENTS
COLOR AND MATERIAL PALETTE

**EXHIBIT H: Native Tree Mitigation
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

1	2	3	4	5	6	7	8	9	10	11
Tree #	Tree Species	Trunk dbh (inches)	Tree Condition	Construction Status	Drip-line % Impact	Construction Impact	Mitigation Proposal	Monitoring Required?	Pruning Required?	Field Notes
279	blue oak	10	B	avoided	0%	none	F	no	no	twig dieback; sweep in trunk
280	blue oak	14	B-	avoided	0%	none	F	no	no	twig dieback; sweep in trunk
281	blue oak	16	C	avoided	0%	none	F	no	no	co-dominant scaffolds with included bark; mistletoe
282	blue oak	14	B	avoided	0%	none	F	no	no	minor deadwood
518	blue oak	25, 22, 20, 12	C	removed	100%	removal	none	no	no	in building footprint
519	blue oak	25	C+	removed	11%	grading 4' from trunk	none	no	no	in building footprint
520	blue oak	15	C	removed	100%	removal	none	no	no	in construction footprint
521	blue oak	20	B-	removed	100%	removal	none	no	no	in building footprint
522	blue oak	18	C	removed	100%	removal	none	no	no	in building footprint
523	blue oak	19	C	removed	100%	removal	none	no	no	in driveway
524	blue oak	11	C	removed	100%	removal	none	no	no	in driveway
525	blue oak	13	B	impacted	34%	driveaway construction 4' from trunk	F, M, RP, CP	yes	no	minor deadwood
526	blue oak	17	B-	removed	100%	removal	none	no	no	in driveway
527	blue oak	17	C	impacted	24%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	no	twig dieback; co-dominant scaffolds with included bark
528	blue oak	15	C	avoided	0%	none	F	no	no	twig dieback; severely co-dominant scaffolds with included bark and deadwood
529	blue oak	14	C+	impacted	42%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	no	twig dieback; poor trunk taper; reaction wood forming around dead trunk
530	blue oak	8	C	impacted	0%	walkway adjacent to trunk	F, M, RP, CP	yes	no	twig dieback; poor trunk taper
531	blue oak	20	C	avoided	0%	none	F	no	no	epicormic growth and twig dieback; mistletoe
532	blue oak	8	B-	avoided	0%	none	F	no	no	twig dieback; bow in trunk
533	blue oak	7	B-	avoided	0%	none	F	no	no	twig dieback; moderate deadwood
534	blue oak	10, 8	C	avoided	0%	none	F	no	no	twig dieback; severely co-dominant scaffolds with included bark and deadwood
535	blue oak	19	C+	avoided	0%	none	F	no	no	epicormic growth and twig dieback; severely co-dominant scaffolds with included bark and twig dieback; co-dominant trunks with included bark; deadwood
536	blue oak	10, 9, 8	C+	avoided	0%	none	F	no	no	twig dieback; co-dominant scaffolds with included bark and deadwood
537	blue oak	8	C	avoided	0%	none	F	no	no	twig dieback; co-dominant scaffolds with included bark and deadwood
538	blue oak	8	C	avoided	0%	none	F	no	no	epicormic growth and twig dieback
539	blue oak	22	C	avoided	0%	none	F	no	no	twig dieback; co-dominant scaffolds with included bark and deadwood
540	blue oak	17	C	impacted	55%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	no	twig dieback; co-dominant scaffolds with included bark and deadwood
541	blue oak	15	C+	avoided	0%	none	F	no	no	twig dieback; co-dominant scaffolds with included bark
542	blue oak	13	C	avoided	0%	none	F	no	no	epicormic growth and twig dieback; poor trunk taper
543	blue oak	12	C+	impacted	37%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	no	twig dieback; bow in trunk
544	blue oak	16	C	impacted	26%	walkway and carport adjacent to trunk	F, M, RP, CP	yes	no	epicormic growth and twig dieback; co-dominant scaffolds
545	blue oak	7	C-	avoided	0%	none	F	no	no	epicormic growth and twig dieback; poor trunk taper
546	blue oak	8	D	impacted	4%	petio under dripline	F, M, RP, CP	yes	no	twig dieback; poor trunk taper
547	blue oak	dead	F	dead	0%	none	F	yes	no	monitor during removal
548	blue oak	12, 9	D+	avoided	0%	none	F	no	no	twig dieback; co-dominant trunks
549	blue oak	16, 15	B-	avoided	0%	none	F	no	no	twig dieback
550	blue oak	22	C+	impacted	41%	petio, walkway and carport under dripline	F, M, RP, CP	yes	no	twig dieback; bow in trunk
551	blue oak	16	B	avoided	0%	none	F	no	no	co-dominant scaffolds with included bark
552	blue oak	18	C	avoided	0%	none	F	no	no	epicormic growth and twig dieback; co-dominant scaffolds with included bark
553	blue oak	8	C	avoided	0%	none	F	no	no	bows in trunk and scaffolds
554	blue oak	16	C-	avoided	0%	none	F	no	no	epicormic growth and twig dieback; co-dominant scaffolds
555	blue oak	28	B-	avoided	0%	none	F	no	no	co-dominant scaffolds; mistletoe
556	blue oak	20	C-	avoided	0%	none	F	no	no	epicormic growth and twig dieback; co-dominant scaffolds with included bark
557	blue oak	10	D+	avoided	0%	none	F	no	no	epicormic growth and twig dieback; extremely poor trunk taper
558	blue oak	22	C-	avoided	0%	none	F	no	no	epicormic growth and twig dieback; co-dominant scaffolds with included bark
559	blue oak	20, 7	C-	avoided	0%	none	F	no	no	epicormic growth and twig dieback
560	blue oak	8	C-	avoided	0%	none	F	no	no	epicormic growth and twig dieback; poor trunk taper
561	blue oak	9	C-	avoided	0%	none	F	no	no	epicormic growth and twig dieback; trunk grown into plank
562	blue oak	16	B-	impacted	28%	carport adjacent to trunk	F, M, RP, CP	yes	no	co-dominant scaffolds with included bark; moderate deadwood
563	blue oak	15	C	impacted	11%	carport adjacent to trunk	F, M, RP, CP	yes	no	epicormic growth and twig dieback; co-dominant scaffolds with included bark
564	blue oak	10	D+	avoided	0%	none	F	no	no	epicormic growth and twig dieback; significant deadwood
565	blue oak	20	A-	removed	100%	removal	none	no	no	in basketball court
566	blue oak	18	C-	removed	100%	removal	none	no	no	in basketball court
567	blue oak	11	C-	removed	100%	removal	none	no	no	in basketball court
568	blue oak	16	C-	removed	100%	removal	none	no	no	in basketball court

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**EXHIBIT H: Native Tree Mitigation
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

569	blue oak	19	B-	removed	100%	removal	none	no	none	in basketball court
570	blue oak	17	C-	removed	100%	removal	none	no	none	in basketball court
571	blue oak	37	A	removed	100%	removal	none	no	none	in building footprint
572	blue oak	15	C-	removed	100%	removal	none	no	none	in building footprint
573	blue oak	42	B-	removed	100%	removal	none	no	none	in parking turnaround
574	blue oak	11, 10	C+	removed	49%	curb within 2' of trunk	none	no	none	adjacent to driveway
575	blue oak	10, 8	B-	removed	100%	removal	none	no	none	bioswale area
576	blue oak	13, 10, 9, 8	C+	removed	100%	removal	none	no	none	bioswale area
577	blue oak	10	C-	removed	100%	removal	none	no	none	bioswale area
578	blue oak	13	C+	impacted	4%	patio under dripline	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; poor trunk taper and bow
579	blue oak	12	C-	avoided	0%	none	F	no	crown cleaning	twig dieback; poor trunk taper and bow
580	blue oak	15	B-	impacted	21%	driveway construction 4' from trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; decay in scaffold
581	blue oak	16	C+	impacted	4%	driveway construction 9' from trunk	F, M, RP, CP	yes	crown cleaning and raising	twig dieback; trunk wound
Column #:										
1	Tree # as shown on plan									
2	Tree type (common name)									
3	Trunk diameter measured at 4'-6" (dbh)									
4	Tree condition (A = excellent, B = above average, C = average, D = declining, F = dead)									
5	Construction status (avoided, impacted or removed)									
6	% of dripline impacted by construction									
7	Construction impact description									
8	Mitigation proposal (F = fencing, M = monitoring, RP = root pruning, CP = canopy pruning)									
9	Arborist monitoring required (yes/no)									
10	Recommended pruning description									
11	Field notes									

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**EXHIBIT H: Native Tree Mitigation
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

Native Tree Mitigation Chart

Evergreen Native Trees (inches)			Deciduous Native Trees (inches)			Totals
	dbh	notes		dbh	notes	
1	0-inches		1	90-inches	Multi-trunk #518	
2			2	25-inches	tree 519-building	
3			3	15-inches	tree 520-building	
4			4	20-inches	tree 521 building	
			5	18-inches	tree 522 building	
			6	19-inches	tree 523 driveway	
			7	11-inches	tree 524 driveway	
			8	17-inches	tree 526 driveway	
			9	20-inches	tree 565 rec/fire	
			10	18-inches	tree 566 rec/fire	
			11	11-inches	tree 567 rec/fire	
			12	16-inches	tree 568 rec/fire	
			13	19-inches	tree 569 rec/fire	
			14	17-inches	tree 570 rec/fire	
			15	37-inches	tree 571 building	
			16	15-inches	tree 572 building	
			17	42-inches	tree 573 turnaround	
			18	21-inches	tree 574 multi-trunk	
			19	18-inches	tree 575 multi-trunk	
			20	40-inches	tree 576 multi-trunk	
			21	10-inches	tree 577 bioswale	
Total	0-inches		Total	499-inches		499-inches
Mitigation Requirement						
req'd tree replacements:		0 five gal trees	req'd tree replacements:		333 five gal trees	333 five gal trees
Proposed Replanting		0 five gal trees 0 box trees (24")	Proposed Replanting		0 five gal trees 0 box trees (24")	0 five gal trees 0 box trees (24")
Remaining Mitigation		0 five gal trees	Remaining Mitigation		333 five gal trees	333 five gal trees
Tree Fund Payment:	\$	-	Tree Fund Payment:	\$	16,633.33	\$ 16,633.33

**EXHIBIT I: Section Improvements
Master Plan of Development (CUP 2015-0288 / TRP 2015-0181)**

