



CITY OF ATASCADERO CITY COUNCIL AGENDA

MEETING INFORMATION:

The City Council meeting will be held in the City Council Chambers and in-person attendance will be available at that location.

HOW TO OBSERVE THE MEETING REMOTELY:

To observe remotely, residents can livestream the meeting on [Zoom](#), SLO-SPAN.org, on Spectrum cable Channel 20 in Atascadero, and listen live on KPRL Radio 1230AM and 99.3FM. The video recording of the meeting will repeat daily on Channel 20 at 1:00 am, 9:00 am, and 6:00 pm and will be available through the City's website and on the City's YouTube Channel. To observe remotely using the Zoom platform please visit:

https://us02web.zoom.us/webinar/register/WN_ZwJ7a031S3KXauEym9ehaA

HOW TO SUBMIT PUBLIC COMMENT:

Public comment may be provided in-person.

Written public comments are accepted at cityclerk@atascadero.org. **Comments should identify the Agenda Item Number in the subject line of the email.** Such comments will be forwarded to the City Council and made a part of the administrative record. **To ensure distribution to the City Council before consideration of an item, please submit comments not later than 12:00 p.m. the day of the meeting.** All correspondence will be distributed to the City Council, posted on the City's website, and be made part of the official public record of the meeting. **Please note, comments will not be read into the record.** Please be aware that communications sent to the City Council are public records and are subject to disclosure pursuant to the California Public Records Act and Brown Act unless exempt from disclosure under applicable law. Communications will not be edited for redactions and will be printed/posted as submitted.

AMERICANS WITH DISABILITIES ACT ACCOMMODATIONS:

Any member of the public who needs accommodations should contact the City Clerk's Office at cityclerk@atascadero.org or by calling 805-470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS:

Pursuant to Government Code § 84308, City Council Members are disqualified and not able to participate in any agenda item involving contracts (other than competitively bid, labor, or personal employment contracts), franchises, discretionary land use permits and other entitlements if the City Council Member received more than \$250 in campaign contributions from the applicant or contractor, an agent of the applicant or contractor, or any financially interested participant who actively supports or opposes the City's decision on the agenda item since January 1, 2023. Members of the City Council who have received, and applicants, contractors or their agents who have made, campaign contributions totaling more than \$250 to a City Council Member since January 1, 2023, are required to disclose that fact for the official record of the subject proceedings. Disclosures must include the amount of the campaign contribution and identify the recipient City Council Member and may be made either in writing to the City Clerk before the agenda item or by verbal disclosure during consideration.

City Council agendas and minutes may be viewed on the City's website:

www.atascadero.org/agendas

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the office of the City Clerk and are available for public inspection on our website, www.atascadero.org. Contracts, Resolutions and Ordinances will be allocated a number once they are approved by the City Council. The Minutes of this meeting will reflect these numbers. All documents submitted by the public during Council meetings that are made a part of the record or referred to in their statement will be noted in the Minutes and available for review by contacting the City Clerk's office. All documents will be available for public inspection by appointment during City Hall business hours.



CITY OF ATASCADERO CITY COUNCIL

AGENDA

Tuesday, November 12, 2024

City Hall Council Chambers, Fourth Floor
6500 Palma Avenue, Atascadero, California

City Council Regular Session:

6:00 P.M.

REGULAR SESSION – CALL TO ORDER: 6:00 P.M.

PLEDGE OF ALLEGIANCE: Mayor Pro Tem Funk

ROLL CALL:
Mayor Moreno
Mayor Pro Tem Funk
Council Member Bourbeau
Council Member Dariz
Council Member Newsom

PRESENTATION:

1. Introduction to Central Coast Community Energy (3CE)

A. CONSENT CALENDAR: (All items on the consent calendar are considered routine and non-controversial by City staff and will be acted upon by a single action of the City Council unless otherwise requested by an individual Council Member for separate consideration. Public comment on Consent Calendar items will be invited prior to action on the Calendar.)

1. City Council Draft Minutes – October 22, 2024, Regular Meeting

- Recommendation: Council approve the October 22, 2024, City Council Regular Meeting Minutes. [City Clerk]

UPDATES FROM THE CITY MANAGER: (The City Manager will give an oral report on any current issues of concern to the City Council.)

COMMUNITY FORUM: (This portion of the meeting is reserved for persons wanting to address the Council on any matter not on this agenda and over which the Council has jurisdiction. Speakers are limited to three minutes. Please state your name for the record before making your presentation. Comments made during Community Forum will not be a subject of discussion. A maximum of 30 minutes will be allowed for Community Forum, unless changed by the Council. Any members of the public who have questions or need

information may contact the City Clerk's Office, between the hours of 8:30 a.m. and 5:00 p.m. at (805) 470-3400, or cityclerk@atascadero.org.)

B. PUBLIC HEARINGS:

1. Emergency Shelter Overlay Zone Amendment (ECHO Expansion Project)

- Fiscal Impact: None
- Recommendation: Planning Commission recommends Council:
 1. Introduce for first reading, by title only, a Draft Ordinance amending Atascadero Municipal Code Title 9 Chapter 3 Article 23 ES (Emergency Shelter) Overlay Zone text;
 2. Adopt a Draft Resolution approving amendments to the Conditional Use Permit (PLN 2014-1492) and the Operations and Management Plan for the El Camino Homeless Organization (ECHO) to allow for an expansion of an existing shelter and programs located at 6370 Atascadero Avenue. [Community Development]

2. CEQA Thresholds Ordinance (ZCH23-0061)

- Fiscal Impact: It is intended that the proposed code amendments will reduce staff time, resulting in nominal cost savings to both staff and applicants within the development review process.
- Recommendation: Planning Commission recommends Council:
 1. Introduce for first reading, by title only, Draft Ordinance A to amend Title 9 (Planning and Zoning Code) to adopt discretionary review thresholds and standards for hillsides, historic and archaeological resources, and watercourse adjacent areas; and
 2. Introduce for first reading, by title only, Draft Ordinance B to approve a Zoning Map Amendment to remove the Historic Site (HS) Overlay Zone from certain properties containing colony homes and apply the Historical Site (HS) Overlay Zone to State and Federally registered historic resources; and
 3. Adopt Draft Resolution adopting a generalized local historic resources list. [Community Development]

3. 2025 Community Development Block Grant Draft Recommendations

- Fiscal Impact: Approval of Atascadero's total 2025 CDBG allocation would result in the estimated revenue and expenditure of \$146,534 of CDBG funds.
- Recommendation: Council develop and adopt draft recommendations for the 2025 Community Development Block Grant (CDBG) funds. [Public Works]

C. MANAGEMENT REPORTS:

1. General Plan Update – Policy Discussion

- Fiscal Impact: None
- Recommendation: Council receive an update on the General Plan Update project, provide direction to staff on policy questions, and inform the Council and Community of next steps. [Community Development]

- D. COUNCIL ANNOUNCEMENTS AND COMMITTEE REPORTS:** (On their own initiative, Council Members may make a brief announcement or a brief report on their own activities. The following represent standing committees. Informative status reports will be given, as felt necessary):

Mayor Moreno

1. City Selection Committee
2. County Mayors Round Table
3. Regional Economic Action Coalition (REACH)
4. SLO Council of Governments (SLOCOG)
5. SLO Regional Transit Authority (RTA)

Mayor Pro Tem Funk

1. Atascadero Basin Ground Water Sustainability Agency (GSA)
2. Design Review Committee
3. Homeless Services Oversight Council

Council Member Bourbeau

1. City of Atascadero Finance Committee
2. City / Schools Committee
3. Integrated Waste Management Authority (IWMA)
4. SLO County Water Resources Advisory Committee (WRAC)

Council Member Dariz

1. Air Pollution Control District
2. California Joint Powers Insurance Authority (CJPIA) Board
3. Community Action Partnership of San Luis Obispo (CAPSLO)
4. Design Review Committee
5. Visit SLO CAL Advisory Committee

Council Member Newsom

1. City of Atascadero Finance Committee
2. City / Schools Committee
3. League of California Cities – Council Liaison

- E. INDIVIDUAL DETERMINATION AND / OR ACTION:** (Council Members may ask a question for clarification, make a referral to staff or take action to have staff place a matter of business on a future agenda. The Council may take action on items listed on the Agenda.)

1. City Council
2. City Clerk
3. City Treasurer
4. City Attorney
5. City Manager

ADJOURNMENT



CITY OF ATASCADERO CITY COUNCIL

DRAFT MINUTES

Tuesday, October 22, 2024

City Hall Council Chambers, Fourth Floor
6500 Palma Avenue, Atascadero, California

City Council Regular Session:

6:00 P.M.

REGULAR SESSION — CALL TO ORDER: 6:00 P.M.

Mayor Moreno called the meeting to order at 6:01 P.M. and led the Pledge of Allegiance.

ROLL CALL:

Present: Council Members Bourbeau, Dariz, Newson, Mayor Pro Tem Funk, and Mayor Moreno

Absent: None

Others Present: None

Staff Present: City Manager Jim Lewis, Administrative Services Director Jeri Rangel, City Attorney Dave Fleishman, Police Chief Dan Suttles, Public Works Director Nick DeBar, Community Development Director Phil Dunsmore, Deputy City Manager – IT Luke Knight, Deputy Director of Economic & Community Development Loreli Cappel, Senior Planner Xzandrea Fowler and Website & Social Media Technician Amanda Muther

A. CONSENT CALENDAR:

1. **City Council Draft Minutes – October 8, 2024, Regular Meeting**

- Recommendation: Council approve the October 8, 2024, City Council Regular Meeting Minutes. [City Clerk]

2. **September 2024 Accounts Payable and Payroll**

- Fiscal Impact: \$4,891,901.00.
- Recommendation: Council approve certified City accounts payable, payroll and payroll vendor checks for September 2024. [Administrative Services]

3. **Amendment of the Investment Policy**

- Fiscal Impact: None.
- Recommendation: Council adopt Draft Resolution amending the City of Atascadero Investment Policy as recommended by the Finance Committee. [Administrative Services]

4. Community Development Staffing Adjustment and Side Letter Agreements for SEIU and APA

- Fiscal Impact: None.
- Recommendations: Council:
 1. Authorize the City Manager to add the title *Plans Examiner/Building Inspector*.
 2. Authorize the City Manager to delete the position title *Police Lead Records Technician*.
 3. Amend the fiscal years 2024-2025, 2025-2026 and 2026-2027 monthly salary schedules to add new position as follows:

| CLASSIFICATION | RANGE | STEP A | STEP B | STEP C | STEP D | STEP E |
|-----------------------------------|-------|----------|----------|----------|----------|----------|
| Plans Examiner/Building Inspector | 31 | 6,586.28 | 6,915.59 | 7,261.37 | 7,624.44 | 8,005.66 |

4. Amend the fiscal years 2024-2025, 2025-2026 and 2026-2027 monthly salary schedules to delete position as follows:

| CLASSIFICATION | RANGE | STEP A | STEP B | STEP C | STEP D | STEP E |
|--------------------------------|-------|----------|----------|----------|----------|----------|
| Police Lead Records Technician | ss26 | 5,774.32 | 6,063.04 | 6,366.19 | 6,684.50 | 7,018.73 |

5. Approve Side Letter Agreement for Local 620 Service Employees International Union (SEIU), Effective October 23, 2024- June 30, 2027.
6. Approve Side Letter Agreement for Atascadero Police Association, Effective October 23, 2024- June 30, 2027. [Community Development]

PUBLIC COMMENT:

Mayor Moreno opened the Public Comment period.

The following persons spoke on this item: Geoff Auslen

Mayor Moreno closed the Public Comment period.

MOTION BY: Bourbeau

SECOND BY: Funk

1. Approve the Consent Calendar (#A-3: Resolution No. 2024-061) (#A-4: Contract Nos. 2021-018 [A6] & 2024-007 [A2]).

AYES (5): Bourbeau, Dariz, Newsom, Funk, and Moreno

Passed 5-0

UPDATES FROM THE CITY MANAGER:

City Manager Lewis gave an update on projects and events within the City.

COMMUNITY FORUM:

The following persons spoke during Community Forum: Geoff Auslen, Josh Cross

B. PUBLIC HEARINGS: None.

C. MANAGEMENT REPORTS:

1. **Short-Term Rental Ordinance Framework**

- Fiscal Impact: None.
- Recommendation: Council consider the proposed short-term rental ordinance framework and provide policy direction on whether an ordinance or other policies are desired. [Community Development]

Community Development Director Dunsmore gave the presentation and answered questions from the City Council. Senior Planner Fowler also answered questions from the Council.

PUBLIC COMMENT:

Mayor Moreno opened the Public Comment period.

The following persons spoke on this item: Geoff Auslen

Mayor Moreno closed the Public Comment period.

Staff received feedback from the Council and will bring revised information back to Council at a later date.

2. Amendment of the Purchasing Policy

- Fiscal Impact: None.
- Recommendation: Council adopt Draft Resolution amending the City of Atascadero Purchasing Policy as recommended by the Finance Committee. [Administrative Services]

Administrative Services Director Rangel gave the presentation and answered questions from the City Council. City Attorney Fleishman and City Manager Lewis also answered questions from the Council.

PUBLIC COMMENT:

Mayor Moreno opened the Public Comment period.

The following persons spoke on this item: None.

Mayor Moreno closed the Public Comment period.

MOTION BY: Newsom

SECOND BY: Dariz

1. Adopt Resolution No. 2024-062 amending the City of Atascadero Purchasing Policy as recommended by the Finance Committee.

AYES (5): Bourbeau, Dariz, Newsom, Funk, and Moreno

Passed 5-0

3. Atascadero Chamber of Commerce Contract Fiscal Years 2025-2027

- Fiscal Impact: \$138,962.00 in budgeted funds for FY 2024-2025. This cost will be adjusted every year in accordance with the agreed upon CPI.
- Recommendation: Council authorize the City Manager to execute a new contract with the Atascadero Chamber of Commerce Contract for fiscal years 2025-2027. [City Manager's Office]

City Manager Lewis and Deputy Director of Economic & Community Development Cappel gave the presentation and answered questions from the City Council.

PUBLIC COMMENT:

Mayor Moreno opened the Public Comment period.

The following persons spoke on this item: Seth Peek, Josh Cross and Geoff Auslen

Mayor Moreno closed the Public Comment period.

MOTION BY: Bourbeau
SECOND BY: Dariz

1. Authorize the City Manager to execute a new contract with the Atascadero Chamber of Commerce Contract for fiscal years 2025-2027 (Contract No. 2024-016).

AYES (5): Bourbeau, Dariz, Newsom, Funk, and Moreno

Passed 5-0

D. COUNCIL ANNOUNCEMENTS AND COMMITTEE REPORTS:

The following Council Members gave brief update reports on their committees since their last Council meeting:

Mayor Moreno

Mayor Moreno noted attending the League of California Cities Annual Conference October 16 – 18 2024, in Long Beach where Council Member Newsom received a Torch Award.

Mayor Pro Tem Funk

1. Homeless Services Oversight Council

Council Member Bourbeau

1. City / Schools Committee
2. Integrated Waste Management Authority (IWMA)

Council Member Newsom

1. League of California Cities – Council Liaison

E. INDIVIDUAL DETERMINATION AND / OR ACTION: None.

ADJOURNMENT:

Mayor Moreno adjourned the meeting at 8:16 P.M.

MINUTES PREPARED BY:

Amanda Muther
Website & Social Media Technician

APPROVED:



CITY OF ATASCADERO

CITY COUNCIL STAFF REPORT

Item B1

Department: Community Development
Date: 11/12/2024
Placement: Public Hearing

TO: JAMES R. LEWIS, CITY MANAGER
FROM: PHIL DUNSMORE, COMMUNITY DEVELOPMENT DIRECTOR
PREPARED BY: XZANDREA FOWLER, SENIOR PLANNER
SUBJECT: Emergency Shelter Overlay Zone Amendment (ECHO Expansion Project)

RECOMMENDATION:

Planning Commission recommends Council:

1. Introduce for first reading, by title only, a Draft Ordinance amending Atascadero Municipal Code Title 9 Chapter 3 Article 23 ES (Emergency Shelter) Overlay Zone text;
2. Adopt a Draft Resolution approving amendments to the Conditional Use Permit (PLN 2014-1492) and the Operations and Management Plan for the El Camino Homeless Organization (ECHO) to allow for an expansion of an existing shelter and programs located at 6370 Atascadero Avenue.

REPORT IN BRIEF:

ECHO currently operates a variety of emergency housing shelter activities at 6370 Atascadero Avenue. They are seeking amendments to the zoning text including an amendment to their Conditional Use Permit and Operations and Management Plan to increase their capacity. The amendments would allow for:

1. An increase in the number of overnight beds from 60 to 90;
2. Increase the number of meal program participants from 80 to 100;
3. Increase the shower program operation hours; and

The amendments would help facilitate the future construction of a new 7,600 square-foot 2-story building at the front of the site.

DISCUSSION:

BACKGROUND/HISTORY

In September 2013, the City Council adopted an Emergency Shelter Ordinance for consistency with State Law (SB-2) and the City's adopted Housing Element. As a part of that approval, the City

Council designated a site-specific parcel (APN 030-341-013) as the location for an overnight emergency shelter and zoned the site with an ES (Emergency Shelter) Overlay Zone. With the adoption of the ES overlay zone, the ECHO site became a permanent homeless shelter within the City.

In May 2014, the City Council approved a resolution for an on-site Operations Management Plan as required by the ES overlay zone (AMC 9-3.504). The Management Plan allows the City to review rules and regulations for the emergency shelter and provides some flexibility in changing these rules if the operations need to be adjusted to address any unforeseen issues without the need for amending the ordinance.

In June 2014, a Conditional Use Permit (CUP) to establish a meal program on-site. The CUP allows up to 80 meal program participants to be served daily and sets forth standards for screening, staffing, and time limits for meal activities and participant use of the facility. The CUP also provides enforcement mechanisms should the operator of the facility fail to comply with any conditions of approval.

On September 10, 2019, the City Council approved amendments to ES Overlay Zone to increase the number of shelter clients, update hours of operation, alter allowed activities, and decrease the number of required neighborhood meetings per year.

In 2023 and 2024, ECHO began conversations with the City to amend its allowances to maximize the use of the existing site to better meet the needs of Atascadero's homeless population. Currently, the ECHO shelter is at capacity most nights and has a waiting list of people needing overnight shelter. In addition, some of ECHO's existing clients are families with young children with different service-level needs. ECHO is proposing the expansion of its facility to accommodate 30 additional beds, additional restrooms, bathing facilities, a laundry room, a multi-purpose room, small lounge rooms, and additional space for employees. Additionally, they are requesting to increase the meal program service from 80 up to 100 persons. The expanded operations trigger amendments to the ES overlay zone, the use permit and the management plan. Future development plans include construction of a new 7,600 square-foot 2-story building at the front of the site to accommodate the increased uses.

PLANNING COMMISSION REVIEW

On October 1, 2024, the Planning Commission reviewed the proposed project and adopted PC Resolution 2024-0016 recommending that the City Council approve the proposed amendments. While not included in the recommendation, the Commission encouraged the applicant to continue meeting with the adjacent property owners to discuss and address concerns related to neighborhood impacts before the City Council hearing on the item.

PROPOSED AMENDMENTS

The following is a synopsis of the proposed amendments to the ES Overlay Zone text (Attachment 1a), the CUP (Attachment 2a), and the current ECHO Operations and Management Plan (Attachment 2b).

ES (Emergency Shelter) Overlay Zone (Section 9-3.504 Operating Standards)

This section includes the standards by which the shelter would operate. Requested changes include:

- Increasing the number of overnight beds from 60 to 90 to accommodate existing and future demand.
- Increasing the number of participants in the meal program from 80 to 100 to accommodate additional overnight clients.

Conditional Use Permit (PLN 2014-1492)

The previously approved use permit limits the number of meal program participants. Requested changes include:

- Increasing the maximum number of meal program participants from 80 to 100 to accommodate the additional clients.

Operations and Management Plan

The on-site management plan is required by the ES overlay zone for the operation of an Emergency Shelter. Requested changes include:

- Increasing the number of overnight beds from 60 to 90 to be consistent with the ES Overlay Zone text amendment
- Increasing operational hours for the shower program for non-shelter clients to 15 hours per week and removing the specific number of days and time frames to allow for greater flexibility throughout the year, especially to address operational challenges related to bi-annual time changes.

BUILDING EXPANSION

While State law (AB 2339) allows for the ministerial approval of expanded shelter facilities, the City retains the authority to regulate the maximum number of beds. The proposed amendments to the overlay zone and operations agreement will allow for additional beds and services. The emergency shelter expansion will be a 7,600 square-foot 2-story structure that utilizes modular building components with an enclosed walkway connection to the existing 2-story building. The building will appear as normal “stick-built” construction from the exterior perspective, however the construction is proposed to utilize modular building components built off-site and installed to



appear as standard construction. The new building is 26 feet in height to match the existing facility.

The proposed site improvements will include new flatwork to connect the new building to the existing sidewalk along the Atascadero Avenue. The existing parking lot may require restriping to ensure the configuration complies with ADA requirements. The conceptual landscaping includes a variety of trees, shrubs, grasses, etc., consistent and complimentary to the existing mix of landscaping materials and design.

The first floor of the building will accommodate additional overnight clients while the second floor will be dedicated to ECHO staff and site operations. The complete expansion design package is included as Attachment 3 for reference.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) (Section 15061(3)(b)) exempts activities that are covered by the general rule that CEQA applies only to projects that have the potential to cause a significant effect on the environment. The proposed amendments will not have any significant adverse environmental impacts. Additionally, CEQA (Section 15301(c)(2)) exempts additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet when the project is in an area where all public services and facilities are available.

CONCLUSION:

The proposed amendments will facilitate the expansion of the shelter and on-site programs to allow ECHO to accommodate additional clients and cater services to families at their established site. The proposed amendments are consistent with the current operations and use of the site and will not result in significant programming changes. The Planning Commission recommends the City Council approve the requested amendments.

ALTERNATIVES TO THE STAFF RECOMMENDATION:

1. The City Council may make modifications to the amendments. Any proposed modifications should be re-stated in a vote on the attached resolution.
2. The City Council may determine that more information is needed and may refer staff to provide additional information. The Council should clearly state the type of information that is required. A motion, and approval of that motion, are required to continue the item to a future date.
3. The City Council may deny the proposed amendments. The Council must specify the reason for the denial of the proposed text amendments, and provide a brief oral statement, based on the Staff Report, oral testimony, site visit, correspondence, or any other rationale introduced and deliberated by the Council.


FISCAL IMPACT:

No significant fiscal impacts are expected.

REVIEWED BY OTHERS:

The Administrative Services Director and the Community Development Director reviewed this item.

REVIEWED AND APPROVED FOR COUNCIL AGENDA



James R. Lewis, City Manager

ATTACHMENT(S):

1. Draft Ordinance: ES Overlay Zone Text
2. Draft Resolution: Use permit and Operations Management Plan
3. Conceptual Design Package
4. Public Comment

DRAFT ORDINANCE

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ATASCADERO, CALIFORNIA, AMENDING THE ATASCADERO MUNICIPAL CODE TITLE 9, CHAPTER 3, ARTICLE 23 (EMERGENCY SHELTER) OVERLAY ZONE AND DETERMINING THIS ORDINANCE IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

EMERGENCY SHELTER OVERLAY ZONE AMENDMENTS EL CAMINO HOMELESS ORGANIZATION (AMND24-0060 & ZCH24-0061)

WHEREAS, an application was received from the El Camino Homeless Organization, PO Box 2077, Atascadero, CA 93423, (Owner/Applicant) for amendments to the ES (Emergency Shelter) Overlay Zone, Conditional Use Permit (PLN 2014-1492), and the El Camino Homeless Organization (ECHO) Operations and Management Plan to allow for an expansion of an existing shelter and programs located at 6370 Atascadero Avenue; and

WHEREAS, the Planning Commission has determined that it is in the best interest of the City to amend the Zoning Code Text to protect the health, safety, and welfare of its citizens by applying orderly development and expanding emergency shelter opportunities within the City; and

WHEREAS, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA), have been adhered to; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Amendment application was held on October 1, 2024, by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said amendments to the Emergency Shelter Overlay Zone; and

WHEREAS, The Planning Commission of the City of Atascadero, resolved to recommend approval of said amendments to the Emergency Shelter Overlay Zone text subject to findings; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Amendment to the Emergency Shelter Overlay Zone text application was held on November 12, 2024, by the City Council of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said amendment; and

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF ATASCADERO HEREBY ORDAINS AS FOLLOWS:

SECTION 1. Recitals: The above recitals are true and correct.

SECTION 2. Public Hearing. The City Council of the City of Atascadero, in a regular session assembled on November 12, 2024, resolved to introduce for first reading, by title only, an Ordinance that would amend the Atascadero Municipal Code Title 9 Chapter 2 Article 23 ES (Emergency Shelter) Overlay Zone Text as shown in Exhibit A, attached hereto and incorporated herein by this reference.

SECTION 3. CEQA. The City Council makes the following environmental determinations:

1. The proposed amendments to the ES Overlay zoning text, to the conditions of approval for Conditional Use Permit (PLN 2014-1492), and the ECHO Operations and Management Plan are exempt from the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq., because it can be seen with certainty that there is no possibility that the enactment of proposed amendments will have any significant adverse environmental impacts.
2. Additionally, CEQA (Section 15301(c)(2)) exempts additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet when the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. While the expansion of the facility is ministerial under State law, the proposed amendments to the ES Overlay Zone and operation plan will result in allowances for facility expansion. The proposed expansion of the existing shelter and program activities would result in an addition that is less than 10,000 square feet in an area where all public services and facilities are available to support the expansion of the existing shelter and on a site that has been previously developed and is not designated as an environmentally sensitive area.

SECTION 4. Findings and Facts. The City Council makes the following findings, determinations, and approvals with respect to the following:

Findings for Approval of a Zone Text Amendment:

1. **FINDING:** The ES (Emergency Shelter) Overlay Zone text amendment is consistent with General Plan policies and all other applicable ordinances and policies of the City.

FACT: The proposed zone text amendments align the code requirements with the vision, intent, and policies of the adopted General Plan.

2. **FINDING:** The Amendment of the Zoning Ordinance will provide for the orderly and efficient use of lands where such development standards are applicable.

FACT: The proposed text amendment provides for orderly development within the ES Overlay Zone in accordance with the adopted General Plan for the compatible use of the property based on neighborhood characteristics.

3. **FINDING:** The text change will not, in itself, result in significant environmental impacts.

FACT: The proposed text changes are minor and do not trigger any environmental impacts.

SECTION 5. Approval. Atascadero Municipal Code Title 9 Planning & Zoning is amended, modifying the Emergency Shelter Overlay Zone, as detailed in Exhibit A, attached hereto and incorporated herein by this reference.

EXHIBIT A: Emergency Shelter Overlay Zone Text

SECTION 6. Interpretation. This Ordinance must be broadly construed in order to achieve the purposes stated in this Ordinance. It is the City Council’s intent that the provisions of this Ordinance be interpreted or implemented by the City and others in a manner that facilitates the purposes set forth in this Ordinance.

SECTION 7. Preservation. Repealing of any provision of the Atascadero Municipal Code or of any previous Code Sections, does not affect any penalty, forfeiture, or liability incurred before, or preclude prosecution and imposition of penalties for any violation occurring before this Ordinance’s effective date. Any such repealed part will remain in full force and effect for sustaining action or prosecuting violations occurring before the effective date of this Ordinance.

SECTION 8. Effect of Invalidation. If this entire Ordinance or its application is deemed invalid by a court of competent jurisdiction, any repeal or amendment of the Atascadero Municipal Code or other City Ordinance by this Ordinance will be rendered void and cause such previous Atascadero Municipal Code provision or other City Ordinance to remain in full force and effect for all purposes.

SECTION 9. Severability. If any part of this Ordinance or its application is deemed invalid by a court of competent jurisdiction, the City Council intends that such invalidity will not affect the effectiveness of the remaining provisions or applications and, to this end, the provisions of this Ordinance are severable.

SECTION 10. Notice. The City Clerk is directed to certify the passage and adoption of this Ordinance, cause it to be entered into the City of Atascadero’s book of original ordinances, make a note of the passage and adoption in the records of this meeting, and within fifteen (15) days after the passage and adoption of this Ordinance, cause it to be published or posted in accordance with California law.

SECTION 11. Effective Date. This Ordinance will take effect on the 30th day following its final passage and adoption.

INTRODUCED at a regular meeting of the City Council held on November 12, 2024, and **PASSED, APPROVED, and ADOPTED** by the City Council of the City of Atascadero, State of California, on _____.

CITY OF ATASCADERO

Heather Moreno, Mayor

ATTEST:

Lara K. Christensen, City Clerk

APPROVED AS TO FORM:

Dave Fleishman, City Attorney

Article 23. ES (Emergency Shelter) Overlay Zone

9-3.504 Operating standards.

The following operating standards apply to emergency shelters:

(a) Emergency Shelter Operator. Each shelter shall be operated by an agency or organization with experience in managing or providing social services.

(b) Maximum Number of Beds. An emergency shelter shall have a maximum number of beds for overnight clients served by the facility. This limitation on client beds does not include accommodations for management, employees, or volunteers. The following is the maximum number of client beds for approved shelter(s):

(1) Assessor Parcel Number (APN) 030-341-013: ~~sixty (60)~~ ninety (90) beds.

(c) On-Site Management and Supervision.

(1) Assessor Parcel Number (APN) 030-341-013. There shall be a minimum of one (1) on duty supervisor for every thirty (30) overnight shelter clients during the operating hours.

(d) Operating Hours.

(1) Assessor Parcel Number (APN) 030-341-013. Shelter hours of operation are limited to between 4:00 p.m. and 9:00 a.m. daily. Shelter clients and the general public are not permitted on the premises outside these hours unless otherwise permitted by the approval of a conditional use permit per section (h).

Exceptions:

(i) Temporary shelter clients are permitted on the premises during hours of operation.

(ii) Operator staff, board members, and contractors are not subject to any time restrictions.

(iii) Special Activities. Up to one special function per month is allowed for Non-Shelter Clients by appointment and under the supervision of ECHO Staff. ECHO may hold additional special functions (in excess of one per month) with City staff approval in writing. These functions may include but are not limited to:

a. Fundraisers (not involving shelter clients);

b. Neighborhood open houses (not involving shelter clients);

c. Neighborhood meetings (not involving shelter clients);

d. Holiday events for shelter clients; and

e. Official government enumeration surveys involving shelter clients.

(e) On-site Management Plan Contents. The operator must prepare and follow an on-site management plan that must include the following:

(1) Rules. A list of rules and regulations for overnight clients.

(2) Logs. Provide a methodology for tracking the number of overnight clients.

(3) Security and safety plan that will address security and safety of occupants, loitering control and management of outdoor areas.

(4) Types and descriptions of programs offered on-site.

(5) Required On-Site Signage:

- (i) No loitering signs
- (ii) No trespassing sign
- (iii) No camping signs
- (6) Identify a neighborhood liaison and provide the contact information for the liaison.
- (7) Hold at least one (1) neighborhood meeting each calendar year.
- (8) A dispute resolution process for any neighborhood issues that may arise.
- (9) Mechanisms for enforcement.
- (f) Management Plan Submittal—Approval and Review.

(1) The initial management plan must be submitted within sixty (60) days of approval of the overlay zone change and thereafter must be submitted for review by the City annually on February 1st of every year.

(2) The initial management plan must be approved by the City Council.

(3) Annual Review. The management plan will be reviewed annually by staff. Updates to the Operation Management Plan will be forwarded to the City Council for review at a public hearing.

(g) Meal Program CUP Requirement and Operating Standards (Assessor Parcel Number (APN) 030-341-013). Any on-site meal program that is open to the general public (Open Meal Program) is an ancillary use subject to the approval of a conditional use permit under Section 9-2.110 of this code. Any such approved Open Meal Program shall abide by the following operating standards:

(1) Hours of Operation. Open Meal Program service operating hours shall be between 4:00 p.m. and 6:00 p.m., daily. Non-Shelter Client participants shall vacate the site no later than 6:15 p.m.

(2) The operator shall take reasonable steps to prevent meal recipients from congregating in and around the site at all times to minimize adverse impacts on adjacent properties.

(3) Employees and Volunteers. In addition to the required staffing listed in 9-3.504(c)(1), the Open Meal Program shall operate with a staffing ratio of one (1) employee or trained volunteer for every ten (10) meal program participants. The operator shall provide training to all volunteers and employees.

(4) Outdoor Monitors. From 4:00 p.m. to 6:15 p.m. daily, the Open Meal Program shall include a minimum of one (1) outdoor monitor to supervise participants in the rear of the property and one (1) outdoor monitor to supervise participants in the front of the property. Outdoor monitors shall be considered employees or volunteers for the staffing ratio purposes listed in 9-3.504(h)(3).

(5) Number of Participants Served. The maximum number of participants in the meal program shall not exceed ~~eighty (80)~~ one hundred (100) persons served in one (1) day. This includes both temporary overnight shelter clients, and non-shelter client participants (general public).

(6) Participant Screening. All Open Meal Program participants must be screened by the operator prior to admission for meal service.

(7) Log of Participants. A log of Open Meal Program participants is required to be kept daily. The operator must make reasonable efforts to collect the following information:

- (i) Legal name
- (ii) Date of birth
- (iii) Housing status

(8) Review of Open Meal Program Participants. The operator must make available a log of Open Meal Program participants for periodic review by the City.

(9) Neighborhood Dispute Resolution Process. If the operator fails to follow these operating standards or any other conditions of approval, disputes regarding such alleged violations or other impacts on the neighborhood will be addressed as set forth in this subsection.

- (i) Any complaints shall first be reported to the neighborhood liaison.
- (ii) If a resolution does not occur, any complaint may be submitted as a code violation complaint to the City.

(iii) Repeated violations to these operating standards or the conditions of approval may result in a review of the operation of the shelter or the Open Meal Program by the City Council. Following such review, the City Council may amend these provisions to further regulate the shelter and Open Meal Program, including the possible suspension or revocation of the Open Meal Program.

(h) Optional Conditional Use Permit (CUP). The shelter operator may apply for a CUP to provide additional services or programs, including daytime service programs beyond those described in subsection (d)(1).

DRAFT RESOLUTION A

**RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF ATASCADERO, CALIFORNIA,
AMENDING CONDITIONAL USE PERMIT (PLN 2014-1492) AND THE
EL CAMINO HOMELESS ORGANIZATION (ECHO) OPERATIONS AND
MANAGEMENT PLAN FOR THE EXPANSION OF AN EXISTING
SHELTER AND PROGRAM WITHIN THE ES (EMERGENCY SHELTER)
OVERLAY ZONE (APN: 030-341-013)**

**6370 ATASCADERO AVENUE
EI CAMINO HOMELESS ORGANIZATION
(AMND24-0060)**

WHEREAS, an application was received from the El Camino Homeless Organization, PO Box 2077, Atascadero, CA 93423, (Owner/Applicant) for amendments to the ES (Emergency Shelter) Overlay Zone, Conditional Use Permit (PLN 2014-1492), and the El Camino Homeless Organization (ECHO) Operations and Management Plan to allow for an expansion of an existing shelter and programs located at 6370 Atascadero Avenue; and

WHEREAS, the ES (Emergency Shelter) Overlay Zone site has a General Plan Designation of High Density Residential (HDR) and is in conformance with the Land Use Element of the General Plan and all other applicable General Plan policies; and

WHEREAS, the site is located in the Residential Multi-Family Zone (RMF-24) zoning district and is located within an ES overlay zone, as established by the Atascadero Municipal Code section 9-3.502(a); and

WHEREAS, a Conditional Use Permit is required for any additional services or programs, including daytime service programs beyond those described in the Atascadero Municipal Code Section 9-3.504(d)(1); and

WHEREAS, all operators of a shelter are required to prepare an on-site management plan per Atascadero Municipal Code section 9-3.504(e); and

WHEREAS, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Amendment application was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Amendment; and

WHEREAS, the Planning Commission of the City of Atascadero, at a Public Hearing held on October 1, 2024, studied and considered the proposed amendments for the expansion of an existing shelter and programs and passed a motion to recommend the City Council approve amendments to the ES (Emergency Shelter) Overlay Zone, Conditional Use Permit (PLN 2014-1492), and the El Camino Homeless Organization (ECHO) Operations and Management Plan to allow for an expansion of an existing shelter and programs located at 6370 Atascadero; and

WHEREAS, the City Council of the City of Atascadero held a duly noticed public hearing to consider the amendments on November 12, 2024, at 6:00 p.m., in accordance with provisions of Atascadero Municipal Code Section 9-1.110, and considered testimony and reports from staff, the applicants, and the public., at a Public Hearing held on October 1, 2024, studied and considered the proposed amendments for the expansion of an existing shelter and programs and passed a motion to recommend the City Council approve amendments to the ES (Emergency Shelter) Overlay Zone, Conditional Use Permit (PLN 2014-1492), and the El Camino Homeless Organization (ECHO) Operations and Management Plan to allow for an expansion of an existing shelter and programs located at 6370 Atascadero; and

NOW, THEREFORE BE IT RESOLVED, by the City Council of the City of Atascadero:

SECTION 1. Recitals. The above recitals are true and correct.

SECTION 2. Public Hearing. The City Council of the City of Atascadero, in a regular meeting assembled on November 12, 2024, resolved to approve amendments to the Conditional Use Permit (PLN 2014-1492), and the El Camino Homeless Organization (ECHO) Operations and Management Plan to allow for an expansion of an existing shelter and programs located at 6370 Atascadero Avenue subject to conditions of approval as shown in Exhibit A and B, attached hereto and incorporated herein by this reference.

SECTION 4. Facts and Findings. The City Council makes the following findings, determinations, and approvals with respect to the Amendments:

1. Findings for Approval of a Conditional Use Permit Amendment:

A. FINDING: The proposed project or use is consistent with the General Plan.

FACT: The proposed use permit amendment is consistent with the vision, intent, and policies of the adopted General Plan.

B. FINDING: The proposed project or use satisfies all applicable provisions of the Title (Zoning Ordinance).

FACT: The proposed use permit amendment is consistent with the provisions of the ES Overlay Zone and the underlying zoning district.

C. FINDING: The establishment and operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use.

FACT: The proposed use permit amendment will increase the operational hours for an existing daytime program at an existing shelter location. The proposed increase in operational hours for the shower program services can be accommodated within the existing facility and conditions of approval and existing ES code text will ensure that the daytime use of the site will not be detrimental to the surrounding neighborhood or

general public.

- D. **FINDING:** That the use will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development.

FACT: The proposed use permit amendment will increase the operational hours for an existing daytime program at an existing shelter location. The proposed increase in operational hours for the shower program services can be accommodated within the existing facility and conditions of approval and existing ES Overlay Zone code text will ensure that the services remain compatible with the surrounding neighborhood.

- E. **FINDING:** That the proposed use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

FACT: The proposed use permit amendment to increase the operational hours of the shower program services will not generate an increase in traffic beyond the safe capacity of surrounding roads.

- F. **FINDING:** That the proposed project is in compliance with any pertinent City policy or criteria adopted by ordinance or resolution of the City Council.

FACT: The proposed use permit amendment to increase the operational hours of the shower program services at an existing shelter is compliant with all applicable City policies.

SECTION 3. CEQA. The City Council makes the following environmental determinations:

1. The proposed amendments to the ES Overlay zoning text, to the conditions of approval for Conditional Use Permit (PLN 2014-1492), and the ECHO Operations and Management Plan are exempt from the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq., because it can be seen with certainty that there is no possibility that the enactment of proposed amendments will have any significant adverse environmental impacts.
2. Additionally, CEQA (Section 15301(c)(2)) exempts additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet when the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. While the expansion of the facility is ministerial under State law, the proposed amendments to the ES Overlay Zone and operation plan will result in allowances for facility expansion. The proposed expansion of the existing shelter and program activities would result in an addition that is less than 10,000 square feet in an area where all public services and facilities are available to support the expansion of the existing shelter and on a site that has been previously developed and is not designated as an environmentally sensitive area.

SECTION 6. Approval. The City Council of the City of Atascadero, in a regular session assembled on November 12, 2024, resolved to approve amendments to the ES (Emergency Shelter) Overlay Zone text, Conditional Use Permit establishing the meal program, and the El Camino Homeless Organization (ECHO) Operations and Management Plan for the existing shelter located at 6370 Atascadero Avenue (AMND24-0060 & ZCH24-0061) subject to the following:

- EXHIBIT A: Conditions of Approval
- EXHIBIT B: ECHO Operations and Management Plan

PASSED AND ADOPTED at a regular meeting of the City Council on the _____ day of November 2024.

On motion by Council Member _____ and seconded by Council Member _____, the foregoing Resolution is hereby adopted in its entirety on the following roll call vote:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

CITY OF ATASCADERO

Heather Moreno, Mayor

ATTEST:

Lara K. Christensen, City Clerk

| Conditions of Approval | Timing | Responsibility /Monitoring |
|--|--|---|
| <p>6370 Atascadero Avenue (APN: 030-341-013)</p> <p>AMND24-0060</p> | <p>BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy</p> | <p>PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney</p> |
| <p>Planning Services Conditions</p> | | |
| <p>1. This approval is for an amendment AMND24-0060 to Condition of Approval (specifically Condition #8) of Conditional Use Permit (PLN 2014-1492), for 6370 Atascadero Avenue (APN: 030-341-013). All other Conditions of Approval remain in effect, except as added or modified below.</p> | <p>Ongoing</p> | <p>PS</p> |
| <p>2. The approval of this entitlement shall become final and effective for issuing building permits fourteen (14) days after the City Council hearing.</p> | <p>BP</p> | <p>PS, BS</p> |
| <p>3. The applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning this Conditional Use Permit.</p> | <p>Ongoing</p> | <p>PS</p> |
| <p>4. All site design, landscaping, fencing, exterior elevations, finish materials, and signage shall be consistent with the Master Plan of Development as adopted or as superseded by State Law.</p> | <p>Ongoing</p> | <p>PS</p> |
| <p>5. All fencing and landscaping shall be maintained in substantial conformity in perpetuity unless otherwise approved by the Community Development Department. All trees planted as part of the project, whether on-site or within the public right of way, shall be maintained in a manner that allows the tree to grow to its full natural height and natural canopy. No growth suppressants shall be permitted that result in stunting or modifying the natural growth pattern of the tree. Should such trees be maintained contrary to this condition, the owner shall be responsible for replacement.</p> | <p>Ongoing</p> | <p>PS</p> |
| <p>6. The maximum number of meal program participants shall be eighty (80) persons one hundred (100) persons. This shall include shelter clients. Maximum shelter clients shall be consistent with the adopted Emergency Shelter Overlay Zone ordinance for APN 030-341-013.</p> | <p>PS</p> | <p>PS</p> |

El Camino Homeless Organization (ECHO) Operations and Management Plan

The El Camino Homeless Organization (ECHO) is a 501(c)3 nonprofit organization that operates a ~~60-bed~~ 90-bed transitional and emergency homeless shelter at 6370 Atascadero Avenue in Atascadero, CA. ECHO currently provides emergency shelter for families and individuals who do not have permanent housing. The following is the updated management plan as required by the City of Atascadero for operation of an Emergency Shelter, consistent with section 9-3.504 (e) of the Atascadero Municipal Code.

1.0 Definitions

For the purposes of this agreement, unless otherwise apparent from the context, certain words and phrases used in the agreement are defined as follows:

- A. Case Managers: Shall mean trained ECHO staff and/or volunteers that work one-on-one with Shelter Clients. They assist with a wide range of issues on a case-by-case basis that includes, but not limited to finding permanent housing, health care, financial assistance, or job training.
- B. Dinner Guests: Dinner Guests shall mean all non-shelter clients participating in the ECHO Meal Program.
- C. Non-Shelter Clients: Non-Shelter clients shall mean those clients that are receiving services outside of the shelter program and shall include dinner guests and shower guests.
- D. Potential Shelter Applicant: Potential Shelter Applicant shall mean a person that has come to ECHO seeking to learn about and potentially apply for the Shelter Program.
- E. Shelter Clients: Shelter Clients shall mean clients that have been accepted into the Shelter Program and are currently residing at ECHO, along with those clients that have graduated in good standing from the ECHO Shelter Program, but are continuing to receive support services from ECHO during the day time hours.
- F. Shelter Program: Transitional and emergency shelter program for accepted and screened clients. Clients participating in the shelter program stay overnight and may participate and be present during day time hours at the ECHO homeless shelter at 6370 Atascadero Avenue.
- G. Shower Guests: Shower Guests shall mean all non-shelter clients participating in the ECHO Shower Program.

2.0 Programs Offered

- A. Shelter Program: Transitional and emergency shelter for accepted and screened clients. Shelter Clients participating in the Shelter Program may also receive meals and food as a part of the Shelter Program.
- B. Case Management: Shelter Clients that are accepted to the shelter are required to enter case management after a five-day assessment period. Case managers work with clients to create a plan to assist with job training and placement, financial literacy, behavioral health referrals, housing, transportation assistance, educational goals, and other supportive services. Shelter Clients are required to meet with their case managers at least once a week to ensure progress.
- C. Supportive Services and Resources:
1. Children's programs that include but are not limited to tutoring, nutrition education, art and music appreciation, and literacy to foster the well-being and development of the children ECHO serves.
 2. Parent education classes that help parents acquire skills to improve their parenting of and communication with their children in order to reduce the risk of child maltreatment and/or reduce children's disruptive behaviors.
 3. Health and wellness programs assist clients in embracing a healthy lifestyle. Nutrition education classes, and practical instruction with ECHO's garden program. Programs to break the cycle of addiction to tobacco and other substances. Other wellness programs may include emotional, environmental, financial, intellectual, physical, occupational and social wellness support.
- D. Dinner Program: An open meal program that provides an evening meal to Shelter Clients and Dinner Guests. The Open Meal Program is subject to Conditional Use Permit (CUP) approval. Rules and regulations of the meal program are contained in the CUP as conditions of approval. In the event that a CUP is denied or a CUP is revoked, the Open Meal Program will no longer be a program that is offered.
- E. Shower Program: On a scheduled and managed basis, non-shelter clients are allowed to use ECHO's shower facilities to promote good hygiene and the prevention of illness. The shower program, for non-shelter clients, will operate no more than 10_15 hours per week, ~~up to 5 days a week, from 4:00—6:00pm.~~ Rules relating to the shower program are included in the shelter's Policies and Procedures Manual.

3.0 **Operating Standards**

A. Hours of Operation:

1. Shelter Program: Hours of operation for Shelter Clients will be based on the availability of supervision and capacity to offer programs, but may be up to 24 hours per day.
2. Dinner Program: Dinner guests are not permitted on-campus until 4:00 pm daily and must leave the ECHO campus by 6:00 p.m.
3. Shower guests are permitted on campus only during those times outlined in the Shelter Policies and Procedures Manual.
4. Potential Shelter Applicants may only be on the premises for the time needed to obtain necessary information and to complete the intake process (generally expected to be under 2 hours).
5. The general public, volunteers, and maintenance personnel are permitted on the premises under supervision of ECHO staff.
6. Special Functions: Up to two special functions per month is allowed for Non-Shelter Clients by appointment and under supervision of ECHO staff. These functions may include but are not limited to: fund raisers, neighborhood meetings, open houses, holiday gatherings, special client services (e.g., wedding or memorial service) or government sponsored enumeration surveys. ECHO may hold additional special functions (in excess of the one per month) with City staff approval in writing. The request for additional functions should be made to the Community Development Director and should include a description of the function, expected dates and times of the function, and any rules or procedures in place for the function. Additional information may be requested by the Community Development Director, prior to City approval.

B. Number of Beds: The dorm facility has a maximum of ~~sixty (60)~~ ninety (90) beds.

C. Staffing:

1. President/CEO: The President/CEO is the liaison with the Board of Directors and is directly responsible for overseeing and guiding the organization's operations. The President/CEO is directly responsible to ECHO's Board of Directors.
2. Shelter Manager: The President/CEO shall appoint an individual responsible for overseeing and coordinating the activities of shelter

clients, non-shelter clients and volunteers during the hours of shelter operation (Shelter Manager). The Shelter Manager ensures that the facility is ready and safe for shelter operations.

3. **Volunteers:** Volunteers fill positions and perform tasks related to the operation of the shelter. Volunteers shall complete an application and screening process prior to being matched with appropriate roles and responsibilities. Volunteers shall be trained and supervised by ECHO paid staff and senior volunteer team leaders.
4. **Overnight Staffing:** Overnight staffing will include one (1) staff person or trained volunteer per thirty (30) Shelter Clients.
5. **Outdoor Monitors.** At least two (2) outdoor monitors are to be on-site from the hours of 4:00 p.m. to 6:15 p.m. daily.
6. **Executive Council:** The Executive Council includes the Chair, Vice-Chair, Secretary, and CFO of ECHO's Board of Directors.

D. **Admission to shelter:** Prior to admission to ECHO, the following screening methods will be used for clients and or guests:

1. Screening for alcohol and/or drug use.
2. Screened for listing on the State of California Department of Justice designated registered sex offender list (Megan's Law).
3. Review for any outstanding warrants as determined by the Atascadero Police Department.
4. **Drug and Alcohol Testing:** Shelter Clients may be randomly tested for drug and alcohol use at the discretion of ECHO trained staff.
5. **Shelter Clients / Non-Shelter Client Logs:** ECHO shall maintain daily logs of Shelter Clients, dinner guests, and all individuals who have been suspended from services. The logs are available for review to the City of Atascadero upon request and shall remain confidential between the City and ECHO.

4.0 Operational Procedures:

A. The ECHO Board of Directors adopts a set of Policies and Procedures that govern the operations of the programs that are provided by ECHO. These Policies and Procedures are periodically updated by the ECHO Board of Directors to remain current with laws, regulations, grants, and operational efficiency. To ensure compliance with this Agreement, a copy of the most current adopted Policies and Procedures Manual shall be given to City staff. The ECHO Board has the right to adopt those rules, regulations and procedures that they feel are necessary to operate the Shelter, but at a minimum the Policies and Procedures must include the following:

1. The use or storage of drugs, alcohol or tobacco while on the premises is strictly prohibited with the exception of prescribed medications, which shall be reported and a list maintained by ECHO staff.
2. Shelter Clients and Non-Shelter Clients agree to any drug testing or search and comply in a timely manner per staff instructions.
3. Theft or use of other's belongings without their permission, including ECHO property is prohibited.
4. The display of inappropriate sexual behavior including possession of sexually explicit material is prohibited.
5. Shelter Clients and Non-Shelter Clients agree to dress modestly and appropriately at all times, including shirt and footwear.
6. The display of any form of threatening behavior including profanity or violence toward themselves or others is prohibited.
7. Possession of any weapons or other devices that could be used to cause harm to persons or property is prohibited.
8. Shelter Clients and Non-Shelter Clients agree to monitor children's behavior at all times.
9. Failure to stay overnight at the shelter without prior permission of the shelter manager may result in a suspension from ECHO services.
10. Any behavior deemed by Shelter Management to be threatening to the ongoing health, safety or domestic tranquility of the shelter environment may result in the immediate and permanent termination of ECHO services.

B. Minor infractions: The Policies and Procedures Manual shall at a minimum contain disciplinary procedures for minor infractions. Minor infractions could include:

1. Verbal abuse of volunteers, chaperones, staff, visitors or other clients.
2. Smoking or chewing tobacco anywhere on the grounds (including the parking lot).
3. Failing to get prior permission from the shelter manager to arrive late or leave early including leaving the campus after being admitted to the dormitory.
4. Disruptive behavior or creating a negative environment.
5. Wearing inappropriate or suggestive clothing, including no shirt or footwear.
6. Failing to directly supervise children, or allowing children to be overly disruptive.
7. Disturbing others with unnecessary noise between 10:00 p m and 6:00 a m.
8. Changing beds or using an unauthorized sleeping location.
9. Failing to respond reasonably to ECHO staff requests.
10. Failing to complete assigned chores.
11. Returning to a car without an escort, between the hours of 7:00pm and 6:00am, after being admitted to the dorm.
12. Loitering on shelter grounds without ECHO supervision between the hours of 7:00pm and 6:00am.
13. Extended working on or sleeping in vehicle on ECHO property.

The Policies and Procedures Manual adopted by ECHO shall include discipline for all minor infractions up to and including expulsion from the program for continued infraction of the rules.

C. Major Infractions. The Policies and Procedures Manual shall at a minimum contain rules addressing the following. Each of the following are infractions

that could result in immediate expulsion from services. The duration of expulsion will be at the discretion of the ECHO Staff.

1. Lying or failing to disclose complete information.
 2. Testing positive for or possessing alcohol or drugs.
 3. Refusing drug testing or search.
 4. Inappropriate sexual behavior or possessing sexually explicit material.
 5. Willful destruction of shelter property.
 6. Violence or threats of violence to self or others.
 7. Theft of ECHO or client property.
 8. Possessing weapons or other devices capable of harming persons or property.
 9. Staying out of the shelter overnight without permission of the Shelter Manager.
 10. Any behavior deemed by ECHO Staff to threaten the ongoing health, safety or domestic tranquility of the shelter environment.
- D. Each Shelter Client must sign an agreement acknowledging the receipt and understanding of the Rules and Regulations and agreeing to abide by the Rules and Regulations. The agreement must indicate that violation of the Rules and Regulations may be cause for immediate and permanent termination of ECHO services at the discretion of the Shelter Manager.
- E. ECHO staff must enforce and cultivate a culture of compliance with its adopted Rules and Regulations from the Policies and Procedures Manual. The City may periodically inspect ECHO and/or talk to Shelter Clients, Non-Shelter Clients, and volunteers to determine if ECHO's Policies and Procedures are being followed.

5.0 Security and Safety.

A. Occupant Safety.

1. Evacuation Plan. An evacuation plan to safely exit occupants from the shelter is posted.

2. Monitors. Shelter volunteers are trained to follow emergency protocols in a variety of situations including medical, threats of violence, fire and natural disasters.
3. Children's Play Areas. Children's play areas are to remain fenced for controlled access.

B. Loitering Control

1. Site Signage. "No loitering, no trespassing and no camping" signage will remain in locations as shown in Exhibit A of this agreement. Signage is to be consistent with the California Penal Code.
2. Landscaping and Fencing. Landscaping and fencing will remain in good repair consistent with Site Plan (Exhibit A) of this agreement.
3. Designated Assembly Area. The designated assembly areas will be utilized as shown in Exhibit A.
4. Playground Location. Playground areas are to be managed appropriately to reduce noise impacts on neighboring residents. Exhibit A shows acceptable playground locations. All playground improvements must be consistent with City and State regulations.

C. Outdoor Management and Security

1. Lighting. Exterior lighting must include:
 - i. Parking lot LED lighting consistent with City and State regulations.
 - ii. Building perimeter LED lighting consistent with the California Building Code. City of Atascadero will ensure no light spillage into neighboring properties.
2. Video Surveillance. A video surveillance system will be maintained and monitored by ECHO staff along the building perimeter.
3. Outdoor Monitors. At least two (2) outdoor monitors will patrol the ECHO campus from 4:00 p.m. until 6:15 p.m. to ensure ECHO Policies and Procedures are being followed. Outdoor Monitors are only responsible for monitoring property owned by ECHO.

6.0 Neighborhood Relations

A. Community Liaison.

1. **Community Liaison.** The ECHO President/CEO (or their designee) is the designated community liaison to address any issue or complaint raised by a neighbor or community member that involves a shelter client(s) or shelter operations.
2. **Complaints Received.** All community complaints must be directed to the Community Liaison for proper action. The ECHO President/CEO (or their designee) must respond to the complaint within five (5) working days from the date the complaint was received.
3. **Contact.** The Community Liaison contact information is posted at the shelter and on ECHO's website.

B. Neighborhood Meetings. ECHO will host a minimum of one (1) noticed neighborhood meeting per year. The purpose of the meeting is to maintain open dialog with neighbors, educate the community about ECHO, and address any questions or concerns about shelter operations.

1. **Meeting Notices.** Meeting notices will be mailed directly to ECHO's neighbors, placed in local media and on ECHO's website. ECHO will obtain the latest mailing list from the City of Atascadero. (Mailing Radius provided by City)
2. ECHO does not need to hold an additional neighborhood meeting unless 5 or more neighbors request a meeting in writing. ECHO will try to accommodate meetings requested by neighbors.

C. Neighborhood Dispute Resolution

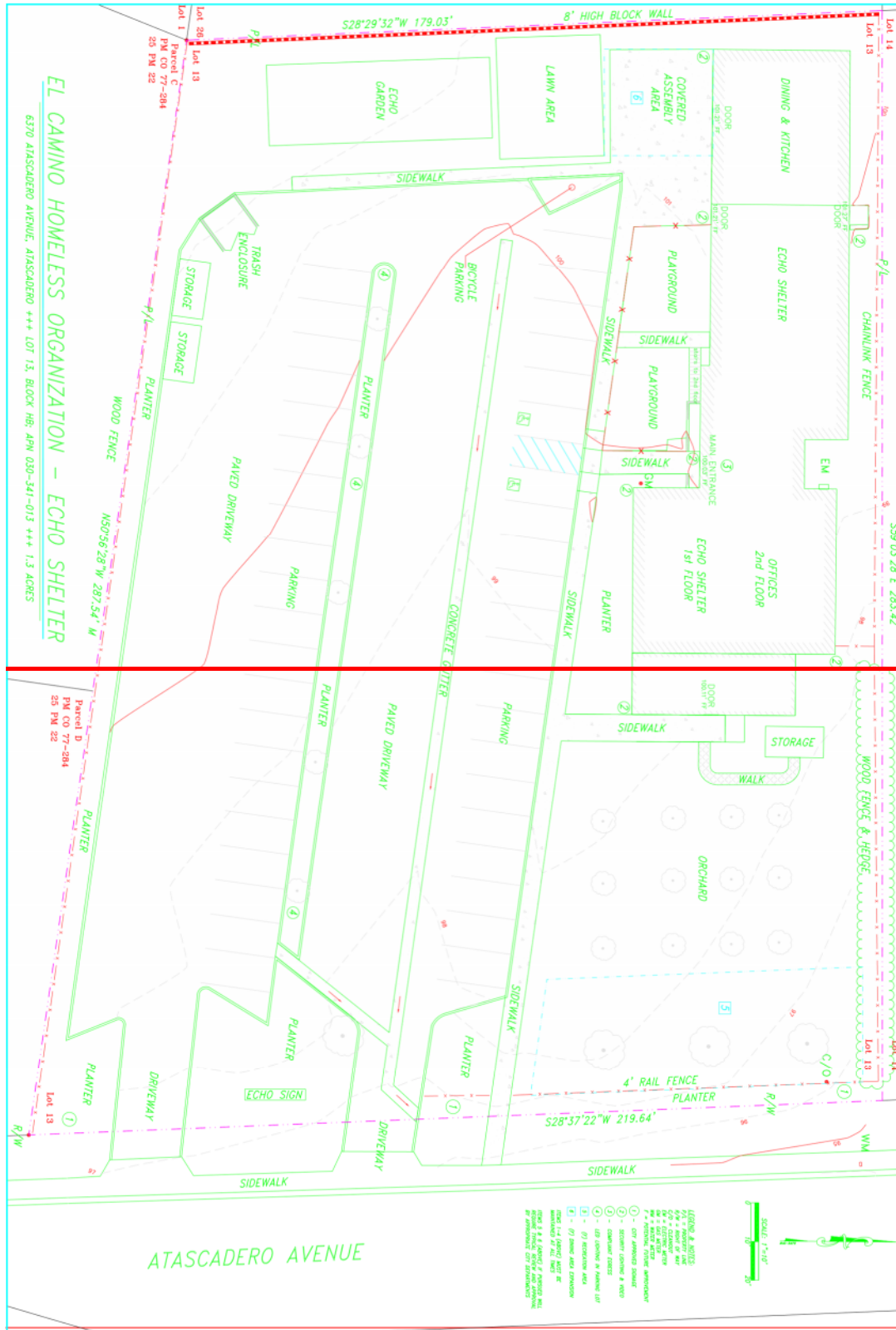
1. **First Action.** Any violation of ECHO Policies and Procedures or other concerns about shelter operations can be reported by contacting the Community Liaison and filing a complaint. The complaint is to be acted upon as described above (Section 6.0.A.2.).
2. **Second Action.** Any issues not resolved by the ECHO CEO/President will be forwarded to the ECHO Board Chair for further action. The Board Chair (or the Executive Council) must act on the complaint within ten (10) working days of the unresolved complaint. If action by the Board Chair or the Executive Council does not resolve the complaint then the complaint can be brought to a Third Action.

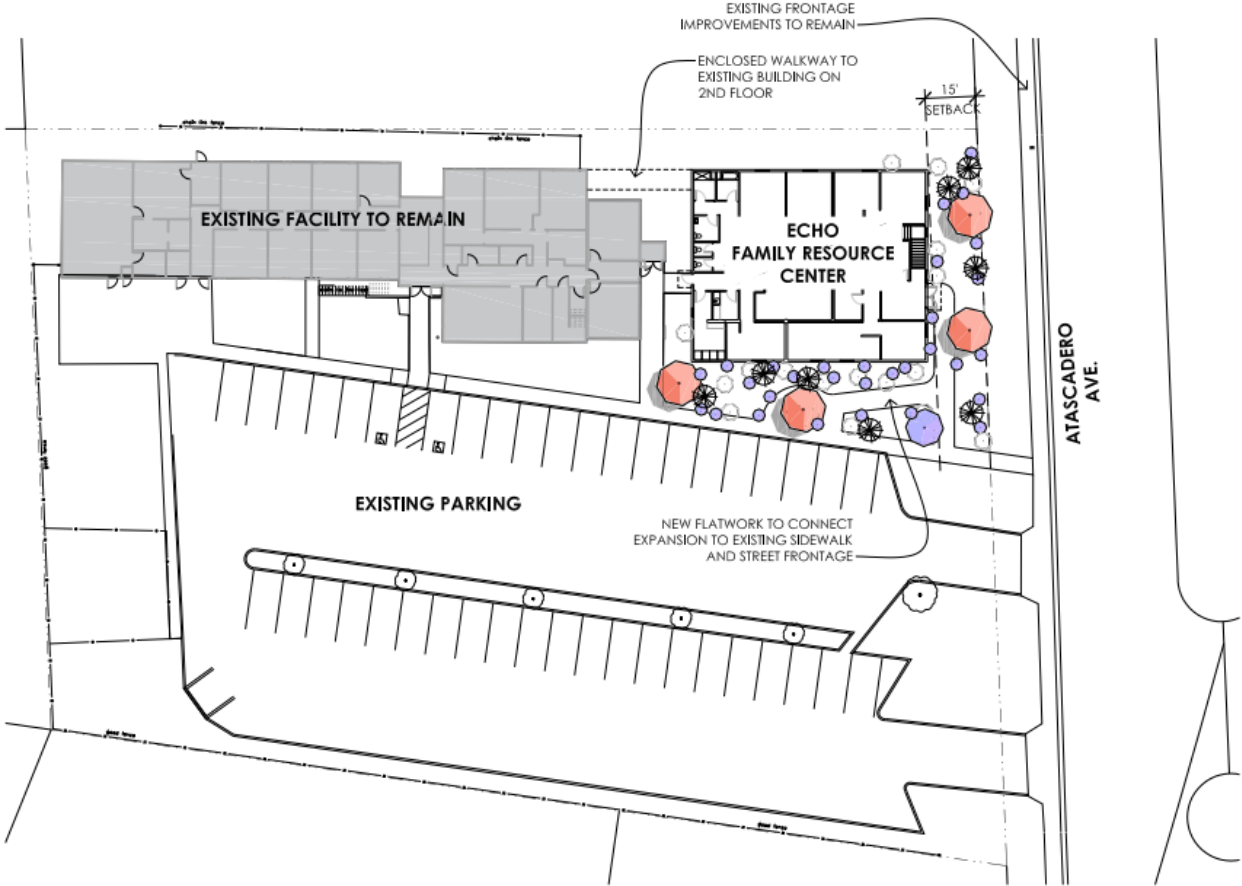
3. Third Action. Issues or complaints not adequately resolved by the ECHO Board Chair or Executive Council may be submitted to the City of Atascadero as a code violation complaint.
4. Code Violation Compliant. A dispute that results in a submitted code violation to the City of Atascadero will be investigated by City Staff based on the adopted municipal code, adopted building code or any other regulation that ECHO operations fall under and that the City has jurisdiction over. This process will be consistent with the City's Code Enforcement process.

7.0 Enforcement Mechanisms

This Agreement is between ECHO and the Atascadero City Council for the operation of the transitional and emergency shelter. Both entities will act in good faith to implement this Operations and Management Plan. Any operational issues that cannot be resolved by ECHO and City staff will be forwarded to the Atascadero Planning Commission for consideration.

ECHO Site Plan – Exhibit A





ECHO FAMILY RESOURCE CENTER 11/12/24 | Item B1 | Attachment 3

6370 ATASCADERO AVE. | ATASCADERO, CA



PROJECT DIRECTORY

OWNERSHIP:



**EL CAMINO HOMELESS ORGANIZATION
(ECHO)**
CONTACT: WENDY LEWIS
WLEWIS@ECHOSHelter.ORG
ATASCAERO, CA 93442

ARCHITECT:



ARRIS STUDIO ARCHITECTS
CONTACT: REBECCA NEWMAN
PH: 805-547-2240
1327 ARCHER STREET, SUITE 220
SAN LUIS OBISPO, CA 93401

SHEET INDEX

| | |
|------|-------------------------------|
| A0.1 | COVER SHEET |
| A2.0 | CONCEPTUAL SITE PLAN |
| A3.1 | PRELIMINARY FIRST FLOOR PLAN |
| A3.2 | PRELIMINARY SECOND FLOOR PLAN |

VICINITY MAP





PROJECT STATISTICS

SITE STATISTICS 11/12/24 | Item B1 | Attachment 3
 APN: 030-341-013
 SITE AREA: 56,902 SF (1.31 ACRES)
 ZONING: RMF-20 (RESIDENTIAL MULTI-FAM)
 ES OVERLAY (EMERGENCY SHELTER)

BUILDING STATISTICS

OCCUPANCY GROUPS:
 EXISTING R-1 & B
 PROPOSED R-1 & B

TYPE OF CONSTRUCTION: V-B

FIRE SPRINKLERS: YES (NFPA 13)

NUMBER OF STORIES:
 EXISTING 2 STORIES
 PROPOSED 2 STORIES

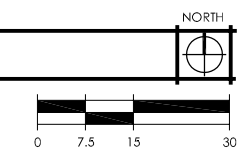
BUILDING HEIGHT:
 EXISTING ~26 FEET
 PROPOSED 26 FEET

BUILDING AREA:
 1ST FLOOR
 EXISTING: 6,735 SF
 PROPOSED: 4,275 SF
11,010 SF

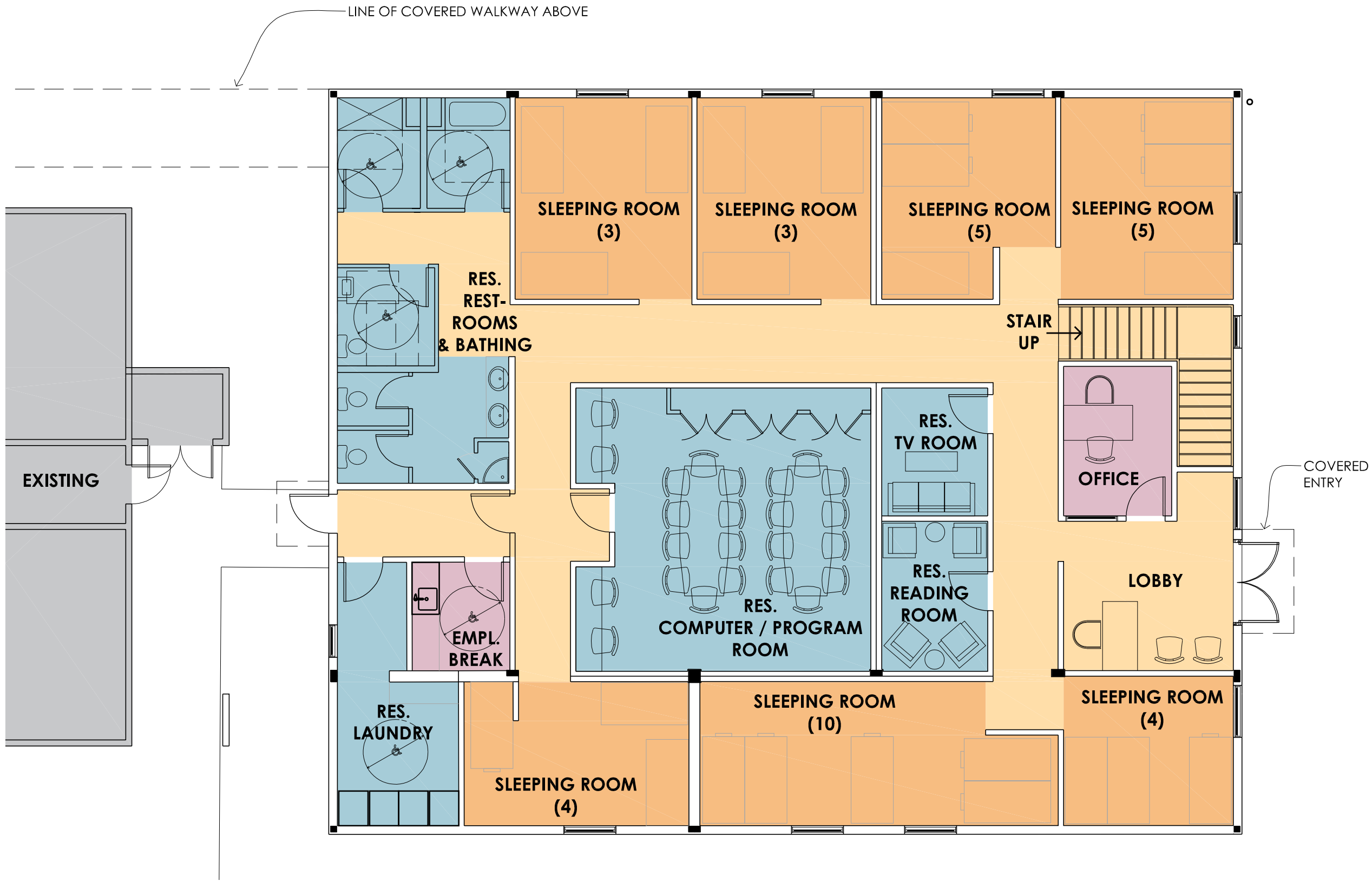
2ND FLOOR
 EXISTING: 2,620 SF
 PROPOSED: 3,407 SF
6,027 SF

TOTAL PROPOSED AREA 17,037 SF

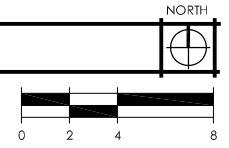
CONCEPTUAL OVERALL SITE PLAN



| | | | | |
|--|---|---|--|---|
|  ECHO Family Resource Organization -EST. 2001- |  ARRIS STUDIO ARCHITECTS | ECHO FAMILY RESOURCE CENTER ATASCADERO, CA PROPOSED ARCHITECTURAL SITE PLAN | | Date: MAY 31, 2024 Scale: 1" = 30' @ 11x17 Sheet: |
| | | A2.0 | | |
| | | | | |

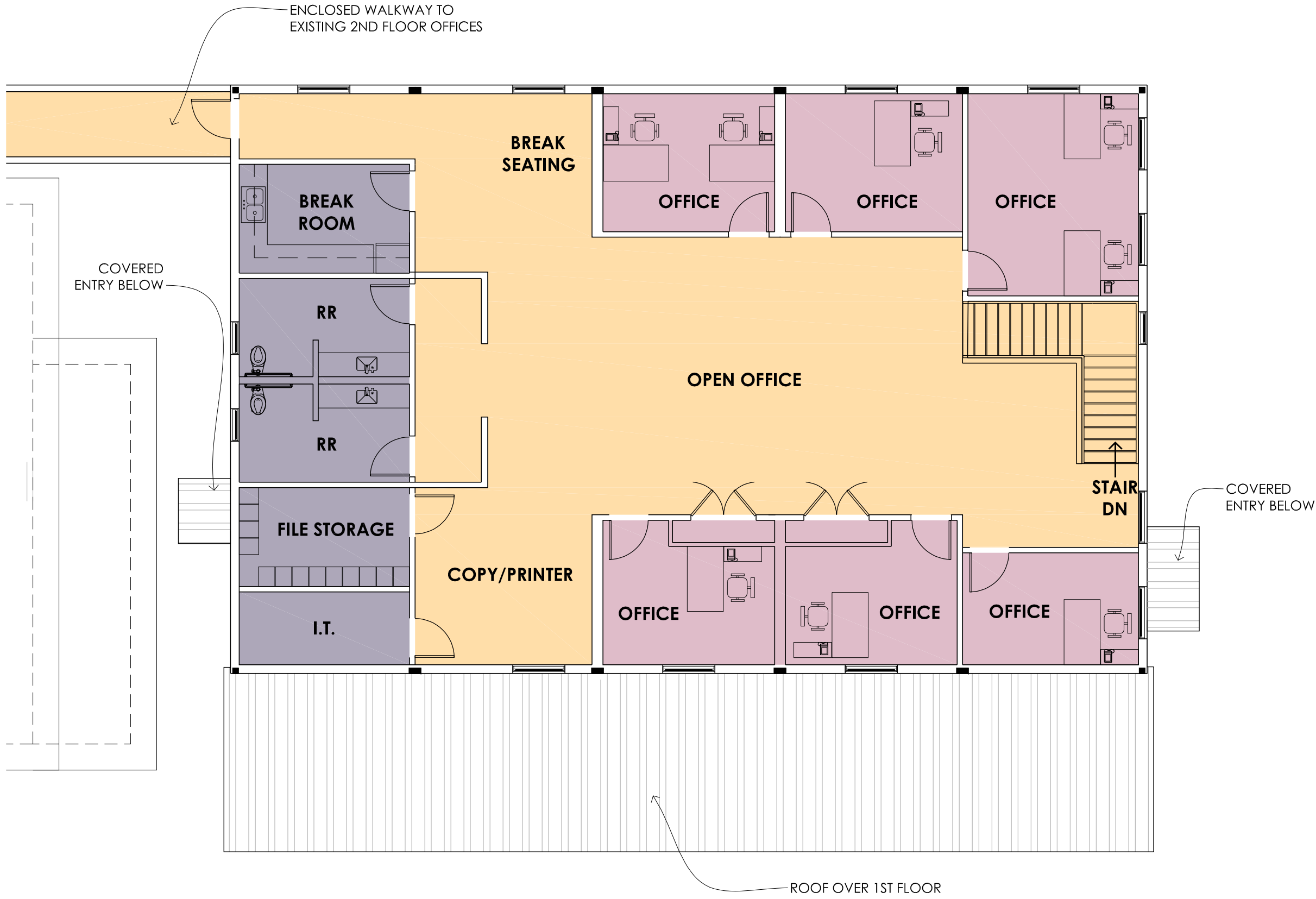


PRELIMINARY FIRST FLOOR PLAN

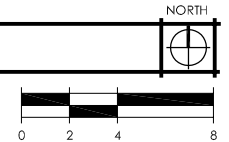


ECHO
 FAMILY RESOURCE CENTER
 ATASCADERO, CA
 PRELIMINARY FIRST FLOOR
 PLAN

Date: MAY 31, 2024
 Scale: 1/8" = 1'-0" @ 11x17
 Sheet: **A3.1**



PRELIMINARY SECOND FLOOR PLAN



ECHO
FAMILY RESOURCE CENTER
ATASCADERO, CA
PRELIMINARY SECOND FLOOR
PLAN

Date: MAY 31, 2024
Scale: 1/8" = 1'-0" @ 11x17
Sheet: **A3.2**

November 4, 2024

City Council

City of Atascadero

6500 Palma Avenue

Atascadero, CA 93422

Dear Mayor and City Council Members,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) new Family Wing buildout and the proposed changes to its Conditional Use Permit, which will expand critical services like ECHO's Meal and Shower Programs. I have been a long-term volunteer of the organization and I have watched how many people have been helped through its programs. These expansions address a growing need in our community by providing a dedicated, supportive space where individuals and families experiencing homelessness can access shelter, resources, and essential services on their path to stability.

For years, ECHO has been a vital part of North San Luis Obispo County, growing from a volunteer-run organization offering meals into a comprehensive service provider that opens doors to a brighter future. Today, ECHO's Meal and Shower Programs are critical access points, providing those in need with basic comforts and establishing trust that allows individuals and families to feel welcomed and supported as they seek help. I currently serve as the volunteer in charge of dinner registration every Monday. I have seen so many people come to ECHO for the very first time through the dinner program, not knowing about all the services that ECHO offers. I have seen so many of those faces, start with dinner, get into the 90 day program, and from there successfully get into housing.

ECHO's track record speaks for itself—90% of those who secure housing with ECHO remain housed long-term. In 2024 alone, ECHO assisted 288 individuals and families in finding stable housing. The new Family Wing, combined with the expanded Meal and Shower Programs, will allow ECHO to meet the rising demand, ensuring that more families and individuals in our community have a safe, compassionate place to turn during times of need.

This project aligns closely with the City of Atascadero's commitment to essential services and fostering an inclusive, compassionate community. By supporting ECHO's expansion, the City Council would enable ECHO to provide even more for families and individuals, enhancing the quality of life for all residents in North County.

I respectfully urge you to support these updates to ECHO's Conditional Use Permit, allowing for the Family Wing buildout and expanded meal and shower services. Together, we can create a community where everyone has the support they need to thrive.

Sincerely,

Lydia Strong



Atascadero, CA 93422

November 4, 2024

Marie Ramey

Atascadero, CA 93422

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Mayor and City Council Members,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) new Family Wing buildout and the proposed changes to its Conditional Use Permit, which will expand critical services like ECHO's Meal and Shower Programs. These expansions address a growing need in our community by providing a dedicated, supportive space where individuals and families experiencing homelessness can access shelter, resources, and essential services on their path to stability.

For years, ECHO has been a vital part of North San Luis Obispo County, growing from a volunteer-run organization offering meals into a comprehensive service provider that opens doors to a brighter future. Today, ECHO's Meal and Shower Programs are critical access points, providing those in need with basic comforts and establishing trust that allows individuals and families to feel welcomed and supported as they seek help. The Family Wing and expanded meal and shower facilities will allow ECHO to reach even more people, making services accessible to those who may otherwise go without this essential support.

As housing costs, inflation, and economic challenges continue to impact families across our region, the demand for local services has risen significantly. ECHO has already made substantial strides to meet these needs, but with an expanded Conditional Use Permit, the organization can increase its capacity to serve meals, offer showers, and provide additional resources to those who turn to ECHO for help. The new Family Wing will add 30 beds to its overall capacity, with a wing designed specifically to support the unique needs of families, including privacy, child-friendly spaces, and supportive case management. These additional facilities will empower more individuals and families to regain stability, begin job training, and move toward housing.

ECHO's track record speaks for itself—90% of those who secure housing with ECHO remain housed long-term. In 2024 alone, ECHO assisted 283 individuals and families in finding stable housing. The new Family Wing, combined with the expanded Meal and Shower Programs, will allow ECHO to meet the rising demand, ensuring that more families and individuals in our community have a safe, compassionate place to turn during times of need.

This project aligns closely with the City of Atascadero's commitment to essential services and fostering an inclusive, compassionate community. By supporting ECHO's expansion, the City Council would enable ECHO to provide even more for families and individuals, enhancing the quality of life for all residents in North County.

I respectfully urge you to support these updates to ECHO's Conditional Use Permit, allowing for the Family Wing buildout and expanded meal and shower services. Together, we can create a community where everyone has the support they need to thrive.

Sincerely,

A large black rectangular redaction box covering the signature area.

Marie Ramey

A black rectangular redaction box covering contact information.

November 4, 2024

Dale Ramey

Atascadero, CA 93422

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Mayor and City Council Members,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) new Family Wing buildout and the proposed changes to its Conditional Use Permit, which will expand critical services like ECHO's Meal and Shower Programs. These expansions address a growing need in our community by providing a dedicated, supportive space where individuals and families experiencing homelessness can access shelter, resources, and essential services on their path to stability.

For years, ECHO has been a vital part of North San Luis Obispo County, growing from a volunteer-run organization offering meals into a comprehensive service provider that opens doors to a brighter future. Today, ECHO's Meal and Shower Programs are critical access points, providing those in need with basic comforts and establishing trust that allows individuals and families to feel welcomed and supported as they seek help. The Family Wing and expanded meal and shower facilities will allow ECHO to reach even more people, making services accessible to those who may otherwise go without this essential support.

As housing costs, inflation, and economic challenges continue to impact families across our region, the demand for local services has risen significantly. ECHO has already made substantial strides to meet these needs, but with an expanded Conditional Use Permit, the organization can increase its capacity to serve meals, offer showers, and provide additional resources to those who turn to ECHO for help. The new Family Wing will add 30 beds to its overall capacity, with a wing designed specifically to support the unique needs of families, including privacy, child-friendly spaces, and supportive case management. These additional facilities will empower more individuals and families to regain stability, begin job training, and move toward housing.

ECHO's track record speaks for itself—90% of those who secure housing with ECHO remain housed long-term. In 2024 alone, ECHO assisted 283 individuals and families in finding stable housing. The new Family Wing, combined with the expanded Meal and Shower Programs, will allow ECHO to meet the rising demand, ensuring that more families and individuals in our community have a safe, compassionate place to turn during times of need.

This project aligns closely with the City of Atascadero's commitment to essential services and fostering an inclusive, compassionate community. By supporting ECHO's expansion, the City Council would enable ECHO to provide even more for families and individuals, enhancing the quality of life for all residents in North County.

I respectfully urge you to support these updates to ECHO's Conditional Use Permit, allowing for the Family Wing buildout and expanded meal and shower services. Together, we can create a community where everyone has the support they need to thrive.

Sincerely,



Dale Ramey





Letter of Support for ECHO

From Shaun Russell [REDACTED]
Date Mon 11/4/2024 2:45 PM
To City Clerk <cityclerk@atascadero.org>

11/4/2024

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Mayor and City Council Members,

I am writing to express my support for ECHO's (El Camino Homeless Organization) new Family Wing buildout and the proposed changes to its Conditional Use Permit. These changes address the growing need for support in our community by providing a dedicated, supportive, and inclusive space where individuals and families experiencing homelessness can access shelter, resources, and essential services on their path to stability.

For years, ECHO has been a vital part of North San Luis Obispo County, growing from a volunteer-run organization offering meals into a comprehensive service provider that opens doors to a brighter future. Today, ECHO's Meal and Shower Programs are critical access points, providing those in need with basic comforts and establishing trust that allows individuals and families to feel welcomed and supported as they seek help. The Family Wing and expanded meal and shower facilities will allow ECHO to reach even more people, making services accessible to those who may otherwise go without this essential support.

As housing costs, inflation, and economic challenges continue to rise and impact families across our region, the demand for local services has risen significantly. ECHO has already taken significant steps to meet these needs, but with an expanded Conditional Use Permit, the organization can increase its capacity to serve meals, offer showers, and provide additional resources to those who turn to ECHO for help.

ABC Church has supported and spearheaded various efforts to assist ECHO in its mission. The new Family Wing, combined with the expanded Meal and Shower Programs, will allow ECHO to meet the rising demand, ensuring that more families and individuals in our community have a safe, compassionate place to turn during times of need.

This project aligns closely with the City of Atascadero's commitment to essential services and fostering an inclusive, compassionate community. By supporting ECHO's expansion, the City Council would enable ECHO to provide even more for families and individuals, enhancing the quality of life for all residents in North County.

I respectfully urge you to support these updates to ECHO's Conditional Use Permit, allowing for the Family Wing buildout and expanded meal and shower services. Together, we can create a community where everyone has the support they need to thrive.

Warmly in Christ,

Shaun Russell
Atascadero Resident

Executive Director for Atascadero Bible Church



ATTENTION:

This email originated from outside the City's network. **Use caution when opening links and attachments.**



Fwd: ECHO Expansion Project Agenda item #2

From Wendy Lewis <wlewis@echoshelter.org>

Date Mon 11/4/2024 2:20 PM

To City Clerk <cityclerk@atascadero.org>

ECHO support letter.

----- Forwarded message -----

From: <[REDACTED]>

Date: Sat, Sep 28, 2024 at 10:33 AM

Subject: ECHO Expansion Project Agenda item #2

To: <pc-comments@atascadero.or>

September 28, 2024

Planning Commission
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Planning Commissioners,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) Family Wing project in Atascadero. This critical initiative addresses a growing need in our community by providing a dedicated space for homeless families to access safe shelter, supportive services, and a pathway to stability.

I have been a resident of Atascadero for 52 years and have watched ECHO evolve from a volunteer-run organization providing meals to a comprehensive homeless services provider. Today, ECHO serves as a cornerstone of support for individuals and families experiencing homelessness, offering not just emergency shelter, but long-term solutions that foster self-sufficiency and housing stability. The Family Wing is the next step in ECHO's evolution, specifically designed to address the unique challenges that families experiencing homelessness face.

As you may know, the number of families experiencing homelessness in our region is growing. Contributing factors such as a lack of affordable housing, rising inflation, and economic instability have left many families struggling to make ends meet. Currently, there are few local resources tailored to the specific needs of families, who require not only safe shelter but also privacy, job training, and a stable environment for children. The Family Wing will provide all of this, adding 20 new beds and creating a family-friendly, supportive space that fosters stability and growth.

ECHO has a proven track record of success, helping 60% of individuals and families who secure housing and remain housed long-term. In 2024 alone, the organization assisted 252 individuals and families in securing stable housing. The Family Wing will expand ECHO's ability to serve more families, offering them the resources they need to rebuild their lives and contribute to our community.

This project aligns with the City of Atascadero's commitment to providing essential services and improving the quality of life for all residents. By supporting ECHO's Family Wing, the city will be helping to create a safer, more compassionate, and inclusive community for everyone.

I respectfully urge you to support this important project and recognize the positive impact it will have on the families of Atascadero and beyond. ECHO has always been a community-centered organization, and with the City's support, the Family Wing can become a reality that helps countless families find hope, stability, and a brighter future.

Sincerely,

Grenda Ernst



Atascadero



--

Wendy Lewis (she, her, hers)
President and CEO



www.echoshelter.org
wlewis@echoshelter.org
6370 Atascadero Avenue
Atascadero, CA 93422
Mobile 805-792-0090
Phone 805-462-FOOD (3663)

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Outlook

ECHO Expansion + Use Permit

From Greg Squires [REDACTED]
Date Mon 11/4/2024 9:56 AM
To City Clerk <cityclerk@atascadero.org>

11/4/2024

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Mayor and City Council Members,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) new Family Wing buildout and the proposed changes to its Conditional Use Permit, which will expand critical services like ECHO's Meal and Shower Programs. These expansions address a growing need in our community by providing a dedicated, supportive space where individuals and families experiencing homelessness can access shelter, resources, and essential services on their path to stability.

For years, ECHO has been a vital part of North San Luis Obispo County, growing from a volunteer-run organization offering meals into a comprehensive service provider that opens doors to a brighter future. Today, ECHO's Meal and Shower Programs are critical access points, providing those in need with basic comforts and establishing trust that allows individuals and families to feel welcomed and supported as they seek help. The Family Wing and expanded meal and shower facilities will allow ECHO to reach even more people, making services accessible to those who may otherwise go without this essential support.

As housing costs, inflation, and economic challenges continue to impact families across our region, the demand for local services has risen significantly. ECHO has already made substantial strides to meet these needs, but with an expanded Conditional Use Permit, the organization can increase its capacity to serve meals, offer showers, and provide additional resources to those who turn to ECHO for help. The new Family Wing will add 30 beds to its overall capacity, with a wing designed specifically to support the unique needs of families, including privacy, child-friendly spaces, and supportive case management. These additional facilities will empower more individuals and families to regain stability, begin job training, and move toward housing.

ECHO's track record speaks for itself—90% of those who secure housing with ECHO remain housed long-term. In 2024 alone, ECHO assisted 283 individuals and families in finding stable housing. The new Family Wing, combined with the expanded Meal and Shower Programs, will allow ECHO to meet the rising demand, ensuring that more families and individuals in our community have a safe, compassionate place to turn during times of need.

This project aligns closely with the City of Atascadero's commitment to essential services and fostering an inclusive, compassionate community. By supporting ECHO's expansion, the City Council would enable ECHO to provide even more for families and individuals, enhancing the quality of life for all residents in North County.

I respectfully urge you to support these updates to ECHO's Conditional Use Permit, allowing for the Family Wing buildout and expanded meal and shower services. Together, we can create a community where everyone has the support they need to thrive.

Sincerely,

Greg Squires

Atascadero resident

Co-Founder, StoryLabs - www.storylabs.work

President & CEO, Parable Group - www.parablegroup.com

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ECHO's proposed Family Wing buildout & Conditional Use Permit update

From Mike Hughes [REDACTED]

Date Sat 11/2/2024 6:48 PM

To City Clerk <cityclerk@atascadero.org>

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Mayor and City Council Members,

As a 40-plus-year resident of Atascadero and volunteer at El Camino Homeless Organization (ECHO), I am writing to support the building of ECHO's **new Family Wing** and the proposed **changes to the Conditional Use Permit**. These changes will serve more people in the Atascadero area who are experiencing hardships of one sort or other. ECHO's mission is to help people get back on their feet—not perpetuate reliance on social services—by providing interim shelter, shower facilities, an address for job resumes, meals, skills training, and essential services on their path to stability and self-sufficiency.

It is getting more and more expensive to rent in this county and the demand for local services has risen significantly. ECHO has already made substantial strides to meet these needs, but with an **expanded Conditional Use Permit**, the organization can increase its capacity to meet the needs of those who turn to ECHO for help. It is essential that parents with children have safe housing. The new **Family Wing** will add 30 beds to its overall resident capacity. Most importantly, these services are rooted in ECHO's mission to help people become self-sufficient.

These proposed changes align closely with the City of Atascadero's commitment to provide essential services and compassionate support. I entreat the City Council to support ECHO to provide even more facilities for families and individuals in order to further impact the cycle of homelessness.

I respectfully urge you to support the **Family Wing buildout** and the updates to ECHO's **Conditional Use Permit**.

Sincerely,

[REDACTED]

Michael Hughes, RN, MA

[REDACTED]

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 Outlook

Fwd: ECHO Expansion Project

From Wendy Lewis <wlewis@echoshelter.org>

Date Sat 11/2/2024 10:46 AM

To City Clerk <cityclerk@atascadero.org>

ECHO expansion support letter.

Wendy Lewis (she, her, hers)

President and CEO



www.echoshelter.org

wlewis@echoshelter.org

6370 Atascadero Avenue

Atascadero, CA 93422

Mobile 805-792-0090

Phone 805-462-FOOD (3663)

----- Forwarded message -----

From: [REDACTED]

Date: Sat, Nov 2, 2024 at 9:25 AM

Subject: ECHO Expansion Project

To: Wendy Lewis <wlewis@echoshelter.org>

Dear Atascadero City Council,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) Family Wing project in Atascadero. This critical initiative addresses a growing need in our community by providing a dedicated space for homeless families to access safe shelter, supportive services, and a pathway to stability.

I have been a resident of Atascadero for 52 years and have watched ECHO evolve from a volunteer-run organization providing meals to a comprehensive homeless services provider. Today, ECHO serves as a cornerstone of support for individuals and families experiencing homelessness, offering not just emergency shelter, but long-term solutions that foster self-sufficiency and housing stability. The Family Wing is the next step in ECHO's evolution, specifically designed to address the unique challenges that families experiencing homelessness face.

As you may know, the number of families experiencing homelessness in our region is growing. Contributing factors such as a lack of affordable housing, rising inflation, and economic instability have left many families struggling to make ends meet. Currently, there are few local resources tailored to the specific needs of families, who require not only safe shelter but also privacy, job training, and a stable environment for children. The Family Wing will provide all of this, adding 20 new beds and creating a family-friendly, supportive space that fosters stability and growth.

ECHO has a proven track record of success, helping 60% of individuals and families who secure housing and remain housed long-term. In 2024 alone, the organization assisted 252 individuals and families in securing stable housing. The Family Wing will expand ECHO's ability to serve more families, offering them the resources they need to rebuild their lives and contribute to our community.

This project aligns with the City of Atascadero's commitment to providing essential services and improving the quality of life for all residents. By supporting ECHO's Family Wing, the city will be helping to create a safer, more compassionate, and inclusive community for everyone.

I respectfully urge you to support this important project and recognize the positive impact it will have on the families of Atascadero and beyond. ECHO has always been a community-centered organization, and with the City's support, the Family Wing can become a reality that helps countless families find hope, stability, and a brighter future.

Sincerely,

Grenda Ernst



Atascadero



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COUNTY OF SAN LUIS OBISPO BOARD OF SUPERVISORS

John Peschong *District One Supervisor*

Bruce Gibson *District Two Supervisor*

Dawn Ortiz-Legg *Vice-Chairperson, District Three Supervisor*

Jimmy Paulding *District Four Supervisor*

Debbie Arnold *Chairperson, District Five Supervisor*

September 26, 2024

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Mayor and City Council Members,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) Family Wing project in Atascadero. This critical initiative addresses a growing need in our community by providing a dedicated space for homeless families to access safe shelter, supportive services, and a pathway to stability.

ECHO has been an integral part of North San Luis Obispo County for years, evolving from a volunteer-run organization providing meals to a comprehensive homeless services provider. Today, ECHO serves as a cornerstone of support for individuals and families experiencing homelessness, offering not just emergency shelter, but long-term solutions that foster self-sufficiency and housing stability. The Family Wing is the next step in ECHO's evolution, specifically designed to address the unique challenges that families experiencing homelessness face.

As you may know, the number of families experiencing homelessness in our region is growing. Contributing factors such as a lack of affordable housing, rising inflation, and economic instability have left many families struggling to make ends meet. Currently, there are few local resources tailored to the specific needs of families, who require not only safe shelter but also privacy, job training, and a stable environment for children. The Family Wing will provide all of this, adding 20 new beds and creating a family-friendly, supportive space that fosters stability and growth.

ECHO has a proven track record of success, helping 60% of individuals and families who secure housing and remain housed long-term. In 2024 alone, the organization assisted 252 individuals and families in securing stable housing. The Family Wing will expand ECHO's ability to serve more families, offering them the resources they need to rebuild their lives and contribute to our community.

This project aligns with the City of Atascadero's commitment to providing essential services and improving the quality of life for all residents. By supporting ECHO's Family Wing, the city will be helping to create a safer, more compassionate, and inclusive community for everyone.

Katcho Achadjian Government Center County of San Luis Obispo

1055 Monterey Street | San Luis Obispo, CA 93408 | (P) 805-781-5450 | (F) 805-781-1350

info@slocounty.ca.gov | slocounty.ca.gov

I respectfully urge you to support this important project and recognize the positive impact it will have on the families of Atascadero and beyond. ECHO has always been a community-centered organization, and with the City's support, the Family Wing can become a reality that helps countless families find hope, stability, and a brighter future.

Sincerely,



Debbie Arnold
5th District Supervisor
Board Chairperson

September 25, 2024

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

To Whom It May Concern:

I am a past Board Member of ECHO (El Camino Homeless Organization) and a neighbor of the Atascadero facility. I became involved with the organization soon after we moved here in 2015 after walking by the Atascadero campus numerous times while out enjoying the neighborhood on daily walks. And my passion for the organization's purpose grew the more involved I got.

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) newest endeavor: the Family Wing project in Atascadero. This critical initiative addresses a growing need in our community by providing a dedicated space for homeless *families* to access safe shelter, supportive services, and a pathway to stability. Imagine a family who needs these services; they will now have rooms dedicated to their family for their stay and access to a case manager to assist them in finding their way back to a home of their own as well as other needs they may have to get back on their feet.

ECHO has been an integral part of North San Luis Obispo County for years, evolving from a volunteer-run organization providing meals to a comprehensive homeless services provider. Today, ECHO serves as a cornerstone of support for individuals and families experiencing homelessness, offering not just emergency shelter, but long-term solutions that foster self-sufficiency and housing stability. The Family Wing is the next step in ECHO's evolution, specifically designed to address the unique challenges that families experiencing homelessness face.

As you may know, the number of families experiencing homelessness in our region is growing. Contributing factors such as a lack of affordable housing, rising inflation, and economic instability have left many families struggling to make ends meet. Currently, there are few local resources tailored to the specific needs of families, who require not only safe shelter but also privacy, job training, and a stable environment for their children. The Family Wing will provide all of this, adding 20 new beds and creating a family-friendly, supportive space that fosters stability and growth.

ECHO has a proven track record of success, helping 60% of individuals and families who secure housing and remain housed long-term. In 2024 alone, the organization assisted 252 individuals and families in securing stable housing. The Family Wing will expand ECHO's ability to serve more families, offering them the resources they need to rebuild their lives and contribute to our community.

This project aligns with the City of Atascadero's commitment to providing essential services and improving the quality of life for all residents. By supporting ECHO's Family Wing, the city will be helping to create a safer, more compassionate, and inclusive community for everyone.

As a neighbor of the facility and supporter of the organization, I respectfully urge you to support this important project and recognize the positive impact it will have on the families of Atascadero and beyond. ECHO has always been a community-centered organization, and with the City's support, the Family Wing can become a reality that helps countless families find hope, stability, and a brighter future.

Sincerely,

Kandy Noel
Prior Board Chair of ECHO



cc: Wendy Lewis



COUNTY OF SAN LUIS OBISPO
BOARD OF SUPERVISORS

John Peschong District One Supervisor

September 16, 2024

To Whom It May Concern,

I am writing to express my strong support for ECHO's (El Camino Homeless Organization) Family Wing project in Atascadero. This critical initiative addresses a growing need in our community by providing a dedicated space for homeless families to access safe shelter, supportive services, and a pathway to stability.

ECHO has been an integral part of North San Luis Obispo County for years, evolving from a volunteer-run organization providing meals to a comprehensive homeless services provider. Today, ECHO serves as a cornerstone of support for individuals and families experiencing homelessness, offering not just emergency shelter, but long-term solutions that foster self-sufficiency and housing stability. The Family Wing is the next step in ECHO's evolution, specifically designed to address the unique challenges that families experiencing homelessness face.

As a North County Supervisor, I have witnessed the number of families experiencing homelessness in our region growing. Contributing factors such as a lack of affordable housing, rising inflation, and economic instability have left many families struggling to make ends meet. Currently, there are few local resources tailored to the specific needs of families, who require not only safe shelter but also privacy, job training, and a stable environment for children. The Family Wing will provide all of this, adding 20 new beds and creating a family-friendly, supportive space that fosters stability and growth.

ECHO has a proven track record of success, helping 60% of individuals and families who secure housing and remain housed long-term. In 2024 alone, the organization assisted 252 individuals and families in securing stable housing. The Family Wing will expand ECHO's ability to serve more families, offering them the resources they need to rebuild their lives and contribute to our community.

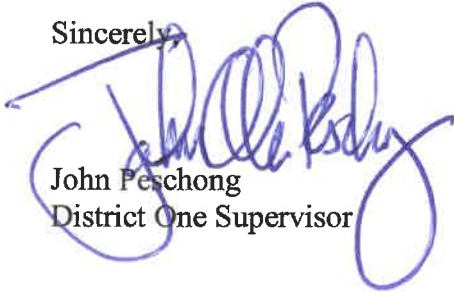
This project aligns with the City of Atascadero's commitment to providing essential services and improving the quality of life for all residents. By supporting ECHO's Family Wing, the city will be helping to create a safer, more compassionate, and inclusive community for everyone.

Katcho Achadjian Government Center County of San Luis Obispo

1055 Monterey Street | San Luis Obispo, CA 93408 | (P) 805-781-4491 | (F) 805-781-1350
 info@slocounty.ca.gov | slocounty.ca.gov

I respectfully urge you to support this important project and recognize the positive impact it will have on the families of Atascadero and beyond. ECHO has always been a community-centered organization, and with the City's support, the Family Wing can become a reality that helps countless families find hope, stability, and a brighter future.

Sincerely,



John Peschong
District One Supervisor



October 23, 2024

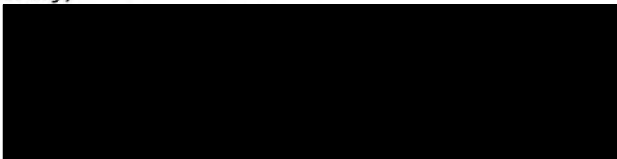
Wendy Lewis, President and CEO
El Camino Homeless Organization
6370 Atascadero Avenue
Atascadero, CA 93422

RE: Funding Support for ECHO Family Shelter Expansion

To whom it may concern:

This letter certifies that The Balay Ko Foundation, in their mission to support housing insecurity in California, is committing \$2,800,000 for the two story expansion building for family stays located near the street at ECHO's main facility in Atascadero, CA. This is a financing commitment for the design, permitting, and construction costs of the Project. The funding will be available as periodic grants to the ECHO for the Project upon request against monthly costs through grant request letters with back up spending information for that period.

Sincerely,



Amie Godfrey, President



Scott M. Godfrey AIA, Development Director



10/31/2024

City Council
City of Atascadero
6500 Palma Avenue
Atascadero, CA 93422

Dear Mayor and City Council Members,

I am writing to express my strong support of ECHO's Family Wing project in Atascadero. El Camino Homeless Organization provides a desperately needed service in our community. With the rising costs of housing, this critical initiative addresses a growing need in our community by providing a dedicated space for homeless families to access safe shelter, supportive services, and a pathway to stability.

Without this support, children may be forced to live in the street or sent into foster care, and I can imagine this provision can help keep families together, how they belong. By supporting and encouraging strong family units, we can create a stronger community.

I myself was in foster care and adopted. While adoption filled a needed gap, it was not without trauma and effects that still are within me today. I often wonder, if my biological mother was given the same support that ECHO has offered so many families, maybe she would have been able to raise me. She was on her own after my biological father refused any responsibility. She tried to support me, I went back and forth in and out of foster care as she kept trying to be a mother, but eventually handed me over to be adopted - willingly, knowing that she was incapable. What would have been the result if she was offered the counseling and resources ECHO offers? It is a big question.

I am honored to now be a business owner in Atascadero, and every time I read of ECHO's success stories in helping families find employment, housing, and therapeutic services - my heart is warmed knowing our families and community are so much stronger with them here. They are making a huge dent in the cycle of pain and trauma that can be passed down generationally. Any one of us could be homeless with a twist of circumstances.

I appreciate how much the City of Atascadero does to help those facing loss of housing and mental illness, I see officers approach homeless with respect and kindness, and I think ECHO's Family Wing aligns with the city's goals to provide essential services and improving the quality of life for all residents. I am proud of ECHO and our City.

I respectfully encourage you to support this important project and recognize the positive impact it will have on the families of Atascadero. With the City's support, ECHO can continue to offer hope stability and a brighter future.

Sincerely,

Kyla (and Jeff) Skinner
Specs by Kyla
5808 Traffic Way
Atascadero, CA 93422



CITY OF ATASCADERO

CITY COUNCIL STAFF REPORT

Item B2

Department: Community Development
Date: 11/12/2024
Placement: Public Hearing

TO: JIM LEWIS, CITY MANAGER
FROM: PHIL DUNSMORE, COMMUNITY DEVELOPMENT DIRECTOR
PREPARED BY: GENEVIEVE SHARROW, CONSULTANT MIG
PHIL DUNSMORE, COMMUNITY DEVELOPMENT DIRECTOR
KELLY GLEASON, PLANNING MANAGER

SUBJECT: CEQA Thresholds Ordinance (ZCH23-0061)

RECOMMENDATION:

Planning Commission recommends the City Council:

1. Introduce for first reading, by title only, Draft Ordinance A to amend Title 9 (Planning and Zoning Code) to adopt discretionary review thresholds and standards for hillsides, historic and archaeological resources, and watercourse adjacent areas; and
2. Introduce for first reading, by title only, Draft Ordinance B to approve a Zoning Map Amendment to remove the Historic Site (HS) Overlay Zone from certain properties containing colony homes and apply the Historical Site (HS) Overlay Zone to State and Federally registered historic resources; and
3. Adopt Draft Resolution adopting a generalized local historic resources list.

REPORT-IN-BRIEF:

The adoption of objective standards for development within and/or adjacent to hillsides and other environmentally unique areas will provide clear direction to staff, property owners, and designers and will streamline the review process. Proposed standards will focus on hillside development, development adjacent to watercourses, and development affecting identified historic and archaeological sites. Adopting CEQA thresholds (objective standards) will allow more projects to be processed with a building permit instead of a discretionary process (Precise Plan), reducing time and costs. These standards would be adopted into the Municipal Code. This effort was funded by a grant from the state of California through the Local Early Action Plan (LEAP) grant program.

DISCUSSION:

The City's Housing Element includes policies designed to streamline the development review process, particularly for housing development. A significant factor in the development review process is staff and applicant time devoted to California Environmental Quality Act (CEQA) compliance. Each project subject to CEQA review requires tribal notification and collaboration, completion of an initial study which takes about 15 hours of staff time, posting at the County and on the State website for public review (20 to 30-days), mailings to neighboring property owners and residents, and posting of the final Notice of Determination at the County and on the State website. This process adds 60 days or more to the permitting process for a single residence and adds considerable cost, both in terms of City and State fees. Development and adoption of these standards will:

- Save considerable staff time;
- Save developer time and money and deliver defined expectations creating a clear understanding of property development requirements early in the design process; and
- Implement permit streamlining in line with the City's Housing Element and State goals and policies.

EXISTING OUTSIDE AGENCY DEVELOPMENT FRAMEWORK

State law allows local jurisdictions to adopt their own CEQA standards or thresholds to determine if projects are processed *ministerially* (approved with only a construction permit) or *discretionarily* (requiring some level of findings and conditions to be made through a hearing or other determination). Only discretionary projects are subject to CEQA analysis. At this time, the threshold for discretion for many single-family or otherwise straightforward projects is low, triggering potentially unnecessary CEQA review and related tasks without serving a real environmental purpose.

EXISTING CITY STANDARDS

Existing City code requires a Precise Plan (discretionary review) on otherwise allowed development projects when grading occurs on slopes of over 20%. This triggers CEQA analysis for many single-family residences prior to the issuance of development permits. For most of these documents, mitigation measures adopted through CEQA only result in slight project adjustments and are generally similar for almost all single-family projects. This is because CEQA is primarily a public notification tool used to notify interested parties of a given project's impacts rather than a prescriptive law that identifies strategies to limit impacts.

- *The proposed new development standards are designed to streamline the review process and provide compatibility with the environmental setting.*
- *The existing discretionary process would remain for any projects that cannot or does not want to conform to the standards.*

ANALYSIS:

Adoption of new code standards (objective standards) are designed to provide alternatives to the CEQA process as result of development projects that result in changes to:

- Hillsides through Development and Grading
- Development and structures adjacent to Watercourses

- Development within or adjacent to Historic Resources
- Development on Sensitive Resource Areas (archaeological)

HILLSIDE DEVELOPMENT AND GRADING

The construction of new single-family homes represents the majority of hillside development. The new standards are intended to clarify requirements, streamline the process, and provide expectations to property owners early in their development process.

The City currently has codes and policies that provide guidance to reduce the impacts of hillside grading. However, due to the existing discretionary trigger for grading on slopes, all projects on hillsides with a slope of 20% or more trigger CEQA analysis even if all code and policy standards are met and no other significant impacts are identified. The intent of this code update is to allow a hillside development to be permitted ministerially if it can be designed consistently with adopted standards.

Proposed code standards for hillsides and grading:

The proposed Title 9 text amendments build on existing policies and code requirements to refine the line between a ministerial hillside development project and one that still requires CEQA analysis to address unique or significant impacts.

Projects that comply with the following measures would not be required to apply for a Precise Plan (CEQA) and would be processed ministerially:

- 1) Projects grading a development area equivalent to 10,000* square feet or less
- 2) Building Pads:
 - a. Slopes up to 20%: flat pad grading is allowed for a typical slab.
 - b. Slopes 20%+: Foundations must incorporate building techniques to minimize soil disruption such as split levels, benching, step and stem walls, etc.
- 3) The height of the lowest finished floor of a building must be 12 feet or less in height above the slope below the finish floor.
- 4) Grading for yards and other outdoor recreation must be less than 50% of the primary structure's footprint
- 5) Retaining walls are limited to 8-feet in height (12 feet if integral to the foundation of a structure) and must be separated by 5-feet
- 6) Native tree removal is limited to no more than 30% of the total on-site canopy or 10,000 square feet (whichever is less) and retaining walls must protect dripline areas. Commercial development projects would be exempt from these standards. All tree removals would still be subject to mitigation per the City's Native Tree Ordinance.

Projects that do not comply with these standards would still be processed under a Precise Plan application, which involves a CEQA analysis.

**During the Planning Commission meeting, the Commissioners discussed the square-footage trigger for ministerial review. The Commission voted 5-2 to increase the square-footage requirement to 12,500. Staff has done an analysis on recent applications and recommends that the Council maintain the 10,000 square-foot threshold to avoid larger-scale impacts to hillside development sites and surrounding neighborhoods.*

WATERCOURSE- AND WETLAND-ADJACENT DEVELOPMENT

The City does not currently have standards for development within creek corridors or adjacent to watercourse or wetland areas. Therefore, each new project that develops near these resources must comply with State, Federal, and Regional Board standards, and the limited guidance set by the City's current General Plan.

In 2018, the City prepared its Local Area Management Plan (LAMP), which implements Regional Water Quality Control Board standards at the local level. The City's LAMP sets a 100-foot setback from creeks to on-site wastewater leach lines and 200-feet from wetlands to on-site wastewater leach lines. However, these standards did not address other types of development. Adopting standards for projects to occur within watercourse- and wetland-adjacent areas will provide flexibility and local control for projects while protecting waterways and maintaining adequate flood control measures. Projects that comply with the standards a can be processed ministerially. All other projects would be processed with a Precise Plan.

Watercourse-adjacent and wetland-adjacent areas are defined as those within 100 feet of the Salinas River (due to its wide riparian corridor and floodway) or within **20 feet** of any other watercourse or wetland. In addition to required reports that identify the top of bank and any riparian features, for any structures proposed, the soils report must confirm that the watercourse bank and/or wetland is stable and is unlikely to erode.

Items that may be placed within the 20-foot watercourse-adjacent areas include fences and low landscape walls, walkways, and small patios, decks, gazebos, etc. Cumulatively, patios, decks, and gazebos must not occupy more than 30% of the creek-fronting property line. Within the Downtown area, in addition to these items, public trails and outdoor dining and gathering spaces are also permitted on commercially or publicly owned properties to encourage creek-oriented development and vitality along Atascadero Creek.

Proposed code standards for development near watercourses:

1. Exempt features such as fences, low landscape walls, walkways, small patios etc. and allow these features adjacent to watercourses;
2. Maintain consistency with General Plan identifying a 20-foot buffer zone for waterways for all structures, including structures that are less than 120 square feet in size;
3. Maintain consistency with General Plan identifying a 100-foot setback for the Salinas River;
4. Measure the setback distances from the top of the lowest creek bank.

HISTORIC RESOURCES

California State law (CEQA) recognizes that a property does not have to be formally listed at the State or National register to be considered a historic resource, as noted below:

(4) The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from

determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1(j) or 5024.1.

The City has a rich history, being one of the first master planned communities in California born out of the City Beautiful movement. The Atascadero Colony subdivision was recorded in 1913 and the “colony era” began. Homes constructed during the early days of the colony up until 1926 are known as Colony Homes and provide important historic context for the City. Many of these homes still exist today and reflect their original characteristics.

Currently, the City has no formally adopted list of historic resources other than properties, buildings, and other known resources listed on the State and/or National Register of Historic Places. However, the City currently treats Colony homes and other buildings built in that era as historic resources, consistent with State law. Staff uses the United States Secretary of Interior’s standards as guidance for modifications to historic properties or structures and determines that a project can remain ministerial if these guidelines are followed.

While this is effective in guidance for construction permits, the State’s new SB 9 regulations (Urban Dwelling Units and Urban Subdivisions) do not consider resources to be historic unless they are on an adopted list.

- Adopting a local list will give staff and property owners a greater level of clarity and expectation when it comes to modifying, moving, or demolishing these structures, and provide the same level of standards for properties developing under the provisions of SB 9.

The City, in concert with the Historical Society, has a list of colony homes and other historic resources that can act as a historic resource list. As a placeholder, staff recommends that the historic resources list be generalized at this time and include all Colony Era residences, residences that were constructed prior to the Colony Era, and all civic and institutional structures and landmarks that qualify for listing at the local, state, or national level. At a later date, the City can prepare a definitive list of historic resources that include specific locations and descriptions for each resource following appropriate outreach to property owners.

Proposed Code Standards for Historic Standards:

The proposed Historic Resources standards establish a clear path forward for either ministerial or discretionary review. Projects that are compliant with the Secretary of Interior Standards may be processed without a Precise Plan application; however, those that do not comply would require discretionary review and CEQA-required mitigation measures.

The proposed code language allows for the removal of structures from the list should the resource not meet certain criteria. This process will ensure that any future adopted list be flexible to respond to specific property conditions and characteristics in the future without formal Council action or a lengthy process.

Proposed Revisions to Historical Site Overlay Zone:

The City’s current code references a Historical Site (HS) Overlay Zone. The overlay zone is currently applied in a few locations in the City, but not consistently on all resources. This overlay zone was typically applied when a planned development project included a colony home. Staff

recommends changing the use of the Historical Site Overlay Zone to apply only to those historic resources listed on either the California Register of Historical Resources or National Register of Historic Places. This will allow the local list to be modified more flexibly without a cumbersome zone change in the future.

ARCHEOLOGICAL RESOURCES

Atascadero has a number of known areas of potential archaeological significance associated with native American populations; generally, areas around creeks and natural springs provided fertile areas for settlement. Staff has reached out to local tribal members recently to discuss specific projects in addition to the development of CEQA thresholds. Tribal members have expressed concerns related to areas of known sensitivity in addition to maintaining the native oak woodlands as a past cultural resource connecting to tribal foraging and food sources. While specific areas of potential sensitivity cannot be released, the City can internally maintain such maps for the purpose of protecting such resources.

The proposed revisions to the existing Title 9-4.162 Archaeological Resources section would allow for a project to proceed to construction within a sensitive archeological zone if a phase 1 study concludes there would be no impact to an archeological resource. If the Phase I study determines that there could be a potential environmental impact, a Precise Plan and the related CEQA review would be required.

PRECISE PLAN SECTION (9-2.109)

The existing Zoning Code includes a section regarding the processing of Precise Plans, including application requirements and general information. In order to align the new proposed changes to historic resources, watercourse-adjacency standards, hillside standards, and archaeological resources, the Precise Plan section must also be updated to provide adequate findings in the event projects do not comply with ministerial standards and opt for the discretionary process.

CONCLUSION:

Standards developed through this Title 9 update are intended to streamline the project application and review process, by clearly articulating the thresholds between ministerial and discretionary projects with the goal of reducing project timelines, staff processing time, and overall project cost. Current thresholds are low and include any grading on slopes of 20% or greater, or at the Director's discretion based on impacts to other environmental resources, such as historic properties, creek interference, and archaeological resources. With these proposed Title 9 and Zoning Map amendments, the City can put in place standards and processes that provide clear direction and set City expectations for development, reducing staff time on CEQA documentation, and providing transparent guidance to developers and property owners while maintaining standard project mitigations and best practices to ensure neighborhood compatibility and minimization of impacts to native trees.

ENVIRONMENTAL DETERMINATION:

This Project is exempt from the California Environmental Quality Act (CEQA), Public resources Code Section 21000 et seq., because it can be seen with certainty that there is no possibility that

the enactment of this Ordinance would have a significant effect on the environment (Pub. Resources Code § 21065; CEQA Guidelines §§ 15378(b)(4), 15061(b)(3).

ALTERNATIVES:

- 1) The Council may make modifications to the proposed text and map amendments and/or resolution for a local historic resources list. Any proposed modifications should be clearly restated in any vote on any of the attached resolutions.
- 2) The Council may determine that more information is needed on some aspect of the project and may refer the item back to staff to develop the additional information. The Council should clearly state the type of information that is required. A motion, and approval of that motion, is required to continue the item to a future date.
- 3) The Council may deny all or a portion of the proposed amendments. The Council must specify what findings cannot be made, and provide a brief oral statement, based on the Staff Report, oral testimony, correspondence, or any other rational introduced and deliberated by the Council.

FISCAL IMPACT:

It is intended that the proposed code amendments will reduce staff time, resulting in nominal cost savings to both staff and applicants within the development review process.

REVIEWED BY OTHERS:

This item has been reviewed by the City Attorney, as well as the Community Development Director and City Engineer.

REVIEWED AND APPROVED FOR COUNCIL AGENDA



James R. Lewis, City Manager

ATTACHMENTS:

- 1) Draft Ordinance A: Title 9 Amendments
- 2) Draft Ordinance B: Zoning Map Amendment
- 3) Draft Resolution: Historic Resources List

DRAFT ORDINANCE A

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ATASCADERO, CALIFORNIA, AMENDING TITLE 9: PLANNING & ZONING, TO ADOPT DISCRETIONARY REVIEW THRESHOLDS AND STANDARDS FOR HILLSIDES, HISTORIC AND ARCHAEOLOGICAL RESOURCES, AND WATERCOURSE ADJACENT AREAS

DISCRETIONARY REVIEW THRESHOLDS AND STANDARDS (ZCH23-0061)

WHEREAS, the 2021-2028 6th Cycle Housing Element was adopted by the City Council on November 10, 2020, and found by the California Department of Housing and Community Development to be in substantial compliance with State housing element law; and

WHEREAS, on April 28, 2020, the City Council authorized application for and entering into agreement for the Local Early Action Planning (LEAP) Grant Program funds with the California Department of Housing and Community Development to complete work to adopt standards that, when followed, can streamline projects through the development process and set clear pathways for ministerial and discretionary review; and

WHEREAS, the LEAP Grant Program is focused on helping jurisdictions in the preparation and adoption of planning documents and process improvements that accelerate housing production and facilitate compliance with the sixth-cycle Regional Housing Needs Assessment; and

WHEREAS, the City of Atascadero was awarded LEAP Grant Program funds implement permit streamlining in line with the City's Housing Element and State goals and policies; and

WHEREAS, the City of Atascadero (6500 Palma Avenue, Atascadero, CA 93422), is considering Zoning Text Amendments to Title 9 Planning and Zoning of the Atascadero Municipal Code to adopt modified discretionary review thresholds and standards related to hillside development, historic and archaeological resources, and watercourse-adjacent areas; and

WHEREAS, the Planning Commission has determined that it is in the best interest of the City to enact amendments to Title 9 Planning and Zoning of the Atascadero Municipal Code for consistency with the General Plan and to maintain a clear and legible set of Zoning Regulations that is easily interpreted by the public and staff; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Planning and Zoning Text Amendments was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Planning and Zoning Text Amendments; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Zoning Map Amendment was held by the City Council of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Zoning Map Amendment; and

WHEREAS, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ATASCADERO HEREBY ORDAINS AS FOLLOWS:

SECTION 1. Recitals: The above recitals are true and correct and incorporated herein as if set forth in full.

SECTION 2. Planning Commission Recommendation. The Planning Commission of the City of Atascadero, on October 15, 2024, held a timely and properly noticed Public Hearing upon the subject Title 9 Atascadero Municipal Code amendments and associated actions, at which hearing evidence, oral and documentary, was admitted on behalf of said amendments and the Planning Commission recommended that City Council approve the proposed text amendments.

SECTION 3. Public Hearings. The City Council held a duly noticed public hearing to consider the project on November 12, 2024 and considered testimony and reports from staff and the public.

SECTION 4. Findings for Approval. The City Council makes the following findings and determinations for approval of the proposed text amendments:

1. **FINDING:** The Planning and Zoning Text Change is consistent with General Plan policies and all other applicable ordinances and policies of the City.

FACT: The proposed zoning code text updates are consistent with the General Plan.

2. **FINDING:** This Amendment of the Zoning Ordinance will provide for the orderly and efficient use of lands where such development standards are applicable.

FACT: The proposed text establishes standards for projects located on hillsides, in areas where archaeological resources may be located, near watercourses and wetlands, and associated with historic resources and sets forth clear processes for ministerial and discretionary review of such projects.

3. **FINDING:** The Text Change will not, in itself, result in significant environmental impacts.

FACT: The proposed text amendment establishes standards to protect existing environmental resources, is aligned with the California Environmental Quality Act Guidelines, and will not result in an environment impact.

SECTION 5. CEQA. This Ordinance is exempt from the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq., because it can be seen with certainty that there is no possibility that the enactment of this Ordinance would have a significant effect on the environment (Pub. Resources Code § 21065; CEQA Guidelines §§ 15378(b)(4), 15061(b)(3)).

SECTION 6. Approval. The City Council of the City of Atascadero, in a regular session assembled on November 12, 2024, resolved to introduce, for first reading, by title only, an ordinance that would amend the Title 9 of the Atascadero Municipal Code consistent with the following:

1. Exhibit A: New Title 9 Sections (Establishment of AMC Sections 9-4.153 – 9-4.157 [Hillside Development], Sections 9-4.163 through 9-4.169 [Historic Resources] and Sections 9-4.169 through 9-4.174 [Watercourse-Adjacency Standards])
2. Exhibit B: Title 9 Amendments (Grading Sections 9-4.139 - 9-4.145, Drainage Sections 9-4.148 - 9-4.154, Article 26 HS [Historical Site] Overlay Zone Sections 9-3.621 - 9-3.623, Archaeological Resources Section 9-4.162, Precise Plan Section 9-2.109, and Section 9-4.164 Lot Line Adjustment Review for Flag Lots [renumbering only, to 9-4.170]).

SECTION 7. Interpretation. This Ordinance must be broadly construed in order to achieve the purposes stated in this Ordinance. It is the City Council’s intent that the provisions of this Ordinance be interpreted or implemented by the City and others in a manner that facilitates the purposes set forth in this Ordinance.

SECTION 8. Preservation. Repealing of any provision of the Atascadero Municipal Code or of any previous Code Sections, does not affect any penalty, forfeiture, or liability incurred before, or preclude prosecution and imposition of penalties for any violation occurring before this Ordinance’s effective date. Any such repealed part will remain in full force and effect for sustaining action or prosecuting violations occurring before the effective date of this Ordinance.

SECTION 9. Effect of Invalidation. If this entire Ordinance or its application is deemed invalid by a court of competent jurisdiction, any repeal or amendment of the Atascadero Municipal Code or other City Ordinance by this Ordinance will be rendered void and cause such previous Atascadero Municipal Code provision or other City Ordinance to remain in full force and effect for all purposes.

SECTION 10. Severability. If any part of this Ordinance or its application is deemed invalid by a court of competent jurisdiction, the City Council intends that such invalidity will not affect the effectiveness of the remaining provisions or applications and, to this end, the provisions of this Ordinance are severable.

SECTION 11. Notice. The City Clerk is directed to certify the passage and adoption of this Ordinance, cause it to be entered into the City of Atascadero’s book of original ordinances, make a note of the passage and adoption in the records of this meeting and within fifteen (15)

days after the passage and adoption of this Ordinance, cause it to be published or posted in accordance with California law.

SECTION 12. Effective Date. This Ordinance will take effect on the 30th day following its final passage and adoption.

INTRODUCED at a regular meeting of the City Council held on November 12, 2024, and **PASSED, APPROVED** and **ADOPTED** by the City Council of the City of Atascadero, State of California, on _____, 2024.

CITY OF ATASCADERO:

Heather Moreno, Mayor

ATTEST:

Lara K. Christensen, City Clerk

APPROVED AS TO FORM:

Dave Fleishman, City Attorney

Repeal and Replace Section 9-2.109 as follows:

9-2.109 Precise plan.

- (a) Purpose and Applicability. Precise plans consider the greater effects such uses may have upon their surroundings, and the characteristics of adjacent uses which could have detrimental effects upon a proposed use. Precise Plans are required for the following projects:
- (1) Hillside. Grading and/or construction in a hillside area that does not comply with Section 9-4.157 (Hillside Development Standards);
 - (2) Watercourse-Adjacent. Development or placement of items in a watercourse-adjacent or wetland-adjacent area that does not comply with Section 9-4.175 and/or that the Community Development Director has determined has the potential to adversely affect watercourse or wetland resources (see Sections 9-4.170 through 9-4.175 [Watercourse-Adjacency Standards]);
 - (3) Historic Resources. Alterations to historic resources on the Historic Resources List that do not meet the Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the particular historic resource, and/or any alterations to historic resources listed on the National Register of Historic Places or on the California Register of Historical Resources (see Sections 9-4.163 through 9-4.169 [Historic Resources]);
 - (4) Archaeologically Sensitive Areas. Projects within archaeologically sensitive areas as documented on maps on file in the Planning Department where a Phase I archaeological study concludes that there is the potential to adversely affect archaeological resources pursuant to the California Environmental Quality Act (see Section 9-4.162 [Archaeological Resources]); and When a development or use of land is listed in a particular zoning district as an allowable use and when it is determined by the Community Development Director that the development project, or the establishment of a use of land which is not a development project, is not eligible for a categorical exemption pursuant to Public Resources Code Section 21084 and the State EIR Guidelines.
- (b) Precise Plan Applications. Precise plan applications shall include, as may be necessary, site plans, written descriptions of activities to be conducted, technical studies of site characteristics, and any other materials set forth on the application form or otherwise prescribed by City policy.
- (c) Review and Approval.
- (1) Review Authority.
 - (i) Community Development Director. The authority to take final action on a Precise Plan application as set forth in this subsection is assigned to the Community Development Director.
 - (ii) Elevate Review. The Community Development Director may refer project applications to the Planning Commission if it appears that such referral is necessary based on unique characteristics of a project or the need for additional community input and/or other reasons needed to accomplish the purposes of this Title.
 - (2) Public Notice. At a minimum, public notice shall be mailed to every property owner adjacent to the exterior boundaries of the project site. The notice may be combined with the required CEQA notice and shall include information about the proposed project and provide an opportunity to provide comments within the stated review period.

- (3) Effective Date of Approval. The approval shall become effective for the purpose of issuance of a building or grading permit, or establishment of a use not involving construction, fourteen (14) days after approval, unless an appeal is filed with the Planning Department as set forth in subsection (d) of this section.
 - (4) Appeal. Any person may appeal a decision on a Precise Plan application as set forth in Section 9-1.111 (Appeal).
- (d) Findings. The following findings are required for approval of a Precise Plan:
- (1) General.
 - (i) Consistency. The proposed project is consistent with the General Plan and any applicable specific plan; and complies with all other applicable provisions of the Zoning Code and the Municipal Code;
 - (ii) Compatibility. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity; and
 - (iii) Health and Safety. The proposed project will not be detrimental to the public health, safety, or welfare, or be injurious to property or other improvements in the vicinity.
 - (2) Hillside. If located in a hillside area as defined in Section 9-4.154:
 - (i) The project design and site layout retains and utilizes natural contours of the site to the extent feasible;
 - (ii) Unavoidable grading complements natural landforms to the extent feasible;
 - (iii) The healthy, native tree canopy has been retained to the extent feasible; and
 - (iv) Mass grading of large pads and excessive terracing has been avoided in residential zones and minimized in commercial and industrial zones.
 - (3) Watercourse and Wetland Buffers. If located within a watercourse-adjacent or wetland-adjacent area as defined in Section 9-4.171(a):
 - (i) The location and design of the feature within the watercourse or wetland buffer, or other measures incorporated into the project, minimize adverse effects to scenic resources, water quality, and riparian habitat;
 - (ii) The feature will not impact the floodway or the flood zone in a way that would create negative impacts to downstream properties; and
 - (iii) The feature will not prevent the implementation of city-adopted plans.
 - (4) Historic Resources.
 - (i) If altering an historic resource on the Historic Resource List (Section 9-4.166):

- a. The proposed alteration will not substantially diminish, eliminate, or adversely affect the character, character-defining features, or historic integrity of the historic resource, either due to the nature of the alteration or because mitigation measures incorporated into the project will reduce adverse effects; or
 - b. There is sufficient evidence, including evidence provided by the applicant, that denial of the proposed alteration or relocation would cause an immediate hardship because of conditions unique to the specific property.
 - (ii) If relocating an historic resource on the Historic Resource List:
 - a. Relocation of the historic resource is feasible from a technical, mechanical, and structural standpoint considering the historic resource’s condition, and will not result in significant damage to the structure’s historic integrity; and
 - b. Relocation of the historic resource will not result in significant adverse effects to its historic integrity as a result of a change in its location, generally maintaining or enhancing the setting.
 - (iii) If demolishing an historic resource on the Historic Resource list, any one of the following:
 - a. The potential negative effects of the action are outweighed by the benefits of the associated replacement project, as applicable; and
 - b. Alteration and/or relocation is infeasible from a technical, mechanical, or structural standpoint considering the historic resource’s condition or location, and/or
 - c. The demolition is necessary to protect or promote the health, safety, or welfare of the city residents, including the need to eliminate blight or nuisance, or correct an unsafe or dangerous condition of the property.
- (5) Archaeologically Sensitive Areas. If located within an area documented on maps on file in the Planning Department as an archaeologically sensitive area:
- (i) All required mitigation measures from technical studies are incorporated and impacts have been minimized consistent with the requirements of 15064.5 of the State CEQA Guidelines; and
 - (ii) Tribes have been consulted per the requirements of Assembly Bill 52.

Repeal and Replace Article 26 HS (Historical Site) Overlay Zone, repealing Sections 9-3.621 through 9-3.625 and replacing with Sections 9-3.621 through 9-3.623.

Article 26 HS (Historical Site) Overlay Zone

§ 9-3.621 Purpose.

§ 9-3.622 Applicability of the HS Overlay Zone.

§ 9-3.623 Processing Requirements.

9-3.621 Purpose.

The Historic Site (HS) Overlay Zone recognizes the unique historical nature of historic resources listed on the California Register of Historical Resources and the National Register of Historic Places. The HS Overlay zone is intended to identify these regionally recognized historic resources. Refer also to Sections 9-4.163 – 9-4.169 (Historic Resources Ordinance).

9-3.622 Applicability of the HS Overlay Zone.

The HS Overlay Zone applies only to those parcels with historic resources that are listed on the California Register of Historical Resources or the National Register of Historic Places. Definitions in these Sections 9-3.621 – 9-3.623 shall be as defined in Section 9-4.165 (Historic Resources Definitions).

9-3.623 Processing Requirements.

- (a) **Alterations.** Alterations to historic resources listed on the California Register of Historical Resources and the National Register of Historic Places shall comply with Section 9-4.167(b) (Precise Plan Review).
- (b) **Relocation.** Relocation of historic resources listed on the California Register of Historical Resources and the National Register of Historic Places shall comply with Section 9-4.168(a)(2) (Precise Plan Review).
- (c) **Demolition.** Demolition of historic resources listed on the California Register of Historical Resources and the National Register of Historic Places shall comply with Section 9-4.168(b) (Demolition of Historic Resources).

Amend as redlined Sections 9-4.138 through 9-4.146:

9-4.138 Grading.

The following sections (9-4.138 through 9-4.146~~5~~) establish standards, in addition to the standards contained in the Uniform Building Code, for grading and excavation activities to minimize hazards to life and property; protect against erosion, the sedimentation of water courses, and the inundation of low-lying areas; and protect the safety, use and stability of public rights-of-way and drainage channels. It is the City's intent to encourage grading that disturbs the minimum feasible area, that relates to the natural contours of the land, and that retains trees and other vegetation. Grading regulations are organized into the following sections:

- 9-4.139 Grading plan required.
- 9-4.140 Grading permit required.
- 9-4.141 Grading permit: Application content.

9-4.142 Grading permit review and approval.

~~9-4.143 Special grading standards.~~

9-4.144~~3~~ Grading standards.

9-4.~~145~~ 144 Sedimentation and erosion control.

9-4.~~146~~ 145 Nuisance and hazard abatement.

9-4.139 Grading plan required.

In any case where a proposed project requiring a precise plan or conditional use permit approval involves fifty (50) or more cubic yards of earth moving, or in any case where a grading permit is required by Title 8 of this code, the application shall include a ~~grade-grading~~ plan containing the information specified by this section. If engineered grading (Section 9-4.141(b)) is to occur, then the grading plan shall also include all information required by Section 9-4.141. A grading plan shall be neatly and accurately drawn to scale, including the following information:

- (a) Existing ground contours or elevations of the site at two (2) foot intervals.
- (b) Contours or site elevations after grading is completed, including any modifications to drainage channels.
- (c) Any required retaining walls or other means of retaining cuts or fills.
- (d) Elevations of the edge of the pavement or road at driveway entrance.
- (e) Elevation of the finish floor of the garage or other parking area.
- (f) Elevations at the base of building corners.
- (g) Area of disturbance in square feet.
- (h) Quantities of cut and fill.
- (i) Erosion control notes and details.
- (j) Drainage structures and other drainage design features.
- (k) Sections showing grading, showing any retaining walls, cut and fill slopes, pads, building structures and drainage structures.
- (l) Grading notes, details or other information required by the City Engineer.

9-4.140 Grading permit required.

A grading permit shall be obtained where required by Title 8 of this code.

9-4.141 Grading permit—Application content.

To apply for a grading permit, ~~a plot plan~~ application shall be submitted together with the additional information required by this section. Where grading requiring a permit is proposed in conjunction with a precise plan or conditional use permit request, those applications may be used to satisfy grading permit information requirements as long as all required information is submitted.

- (a) Minor Grading. Where Section 9-4.140 requires a grading permit and the grading will move less than five hundred (500) cubic yards and is located on slopes less than twenty percent (20%); the application for a grading permit is to include the following:
- (1) Contour Information.
 - (i) For sites with slopes of ten percent (10%) or less, generalized existing contours and drainage channels, including areas of the subject site (and adjoining properties) that will be affected by the disturbance either directly or through drainage alterations.
 - (ii) For sites with slopes greater than ten percent (10%) and less than thirty percent (30%), details of area drainage and accurate contours of existing ground at two (2) foot intervals; for slopes thirty percent (30%) or greater, contours at five (5) foot intervals.
 - (2) Location of any buildings or structures existing or proposed on the site within fifty (50) feet of the area that may be affected by the proposed grading operations.
 - (3) Proposed use of the site necessitating grading.
 - (4) Limiting dimensions, elevations or finished contours to be achieved by the grading, slopes of cut and fill areas and proposed drainage channels and related construction.
 - (5) Drainage plan in compliance with Municipal Code Section 9-4.~~148-147~~ and the City of Atascadero Drainage Standards.
 - (6) Where required by the Building Official, a soil engineering report, including data regarding the nature, distribution and strength of existing soils, conclusions and recommendations for grading procedures and criteria for corrective measures when necessary and opinions and recommendations covering adequacy of sites to be developed by the proposed grading.
 - (7) Where required by the Building Official, an engineering geology report, including a description of site geology, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, and opinions and recommendations covering the adequacy of sites to be developed by the proposed grading.
 - (8) Intended means of revegetation, including the location, species, container size and quantity of plant materials proposed, and the proposed time of planting.
 - (9) Where required by the Building Official, protective measures to be taken during construction, such as hydro-mulching, berms (temporary or permanent), interceptor ditches, subsurface drains,

terraces, and/or sediment traps in order to prevent erosion of the cut faces of excavations or of the sloping surfaces of fills.

- (b) Engineered Grading. Where the grading will move five hundred (500) cubic yards or more, is located on slopes of twenty percent (20%) or greater, or is located within a Geologic Hazard Overlay Zone or Flood Hazard Overlay Zone, the grading plan shall be prepared and certified by a registered civil engineer and shall include specifications covering construction and material requirements in addition to the information required for minor grading.

9-4.142 Grading permit review and approval.

Grading permit applications shall be processed as follows:

~~(a) Environmental Determination. As required by Title 14 of the California Administrative Code, all grading permit applications are to receive an environmental determination pursuant to the California Environmental Quality Act (CEQA), except for applications for development that propose grading on terrain with slopes less than twenty percent (20%) and that will involve less than five thousand (5,000) cubic yards of earth moving, which applications are hereby deemed categorically exempt from the provisions of CEQA.~~

~~(b) Application Processing Where EIR Required. Where the Planning Commission has required preparation of an Environmental Impact Report pursuant to CEQA, a grading permit application shall be processed, reviewed and approved according to all the provisions of Section 9-2.110.~~

~~(ea) Application Processing. Where No EIR is Required. Where a grading permit is categorically exempt from the provisions of CEQA or has been granted a negative declaration, the~~ The Building Official may approve ~~the a grading~~ permit where the proposed grading is in conformity with applicable provisions of this title; provided:

(1) The Building Official may require that grading operations and project designs be modified if delays occur that result in weather-generated problems not considered at the time the permit was issued.

~~(2) Where a negative declaration for grading permit CEQA document associated with the project~~ has identified mitigation measures necessary to reduce environmental impacts, such mitigation measures shall be applicable to the approved grading permit and grading operations as conditions of approval.

~~(db) -Criteria for Approval. A grading permit may be issued only where the Planning Director~~ Building Official first finds, where applicable, that:

~~(1) The proposed grading complies with all applicable provisions of the Municipal Code, and if a Precise Plan is required, the grading conforms to the approved Precise Plan; and~~

~~(2) Any permits required by State or Federal agencies for the proposed grading have been obtained or are required by conditions of approval to be obtained before grading work is started.~~

~~(1) The extent and nature of proposed grading is appropriate to the use proposed and will not create site disturbance to an extent greater than that required for the use.~~

~~(2) Proposed grading will not result in erosion, stream sedimentation, or other adverse off-site effects or hazards to life or property.~~

~~(3) The proposed grading will not create substantial adverse long-term visual effects visible from off-site.~~

~~(4) The proposed grading conforms with the Uniform Building Code and, when required, with grading standards (Section 9-4.143).~~

9-4.143 ~~Special~~ Grading standards.

All excavations and fills ~~except for minor grading~~ shall be conducted in accordance with the following ~~special~~ standards:

- ~~(a) –Area of **Cuts and Fills**. Cuts and fills shall be limited to the minimum amount necessary to provide stable embankments for required parking areas or street rights-of-way, structural foundations, and adequate yard areas. Consideration shall be given to revising the building design to minimize unnecessary grading. **Disturbance**. See Section 9-4.157(a).~~
- ~~(b) **Minimize Grading**. Grading shall be completed in compliance with Sections 9-4.138 through 9-4.145, minimized to the extent feasible, and balanced on site whenever possible to avoid excessive cut and fill and to avoid import or export of soil to/from offsite.~~
- ~~(c) **Cut and Fill Slope Ratio**. Cut or fill slopes shall not exceed a three-to-one (3:1) horizontal to vertical ratio, except that a two-to-one (2:1) ratio may be allowed where it can be demonstrated that it is necessary to minimize impacts to native trees or natural drainage features, or reduce amount of disturbed area, or maintain grading within the property limits.~~
- ~~(bd) –**Creation of Building Sites**. Slope Limitations. Grading for the purpose of creating a site for a building or structure shall be prohibited on slopes of (20%) or greater except where authorized through precise plan approval. See Section 9-4.157(d).~~
- ~~(ee) –**Final Contours**. Contours, elevations and shapes of finished surfaces shall be blended with adjacent natural terrain to achieve a consistent grade and natural appearance. The crest of all graded slopes greater than six (6) feet in vertical height shall be rounded. Where graded slopes intersect, the ends of each slope shall be horizontally rounded and blended.~~

9-4.144 ~~Grading standards.~~

(af) Grading Near Watercourses. Grading, dredging, or diking may not alter any intermittent or perennial stream or natural body of water shown on any USGS 7 1/2 minute map or designated by another State or Federal agency with jurisdiction over said waters, except as permitted through approval of a drainage plan and appropriate State and Federal permits. Watercourses are to be protected as follows:

- (1) Watercourses shall not be obstructed unless an alternate drainage facility is approved.
- (2) Fills placed within watercourses shall have suitable protection against erosion during flooding, and shall conform to the City's Flood Control Ordinance and any applicable FEMA regulations.
- (3) Grading equipment shall not cross or disturb channels containing live streams without siltation control measures approved by the City Engineer in place.
- (4) Excavated materials shall not be deposited or stored in or alongside a watercourse where the materials can be washed away by high water or storm runoff.

(bg) Revegetation. Where natural vegetation has been removed through grading in areas not affected by the landscaping requirements (Section 9-4.124 et seq.) and that shall not be occupied by structures, such areas shall be re-naturalized with vegetative material to blend with the adjacent undisturbed natural terrain replanted as set forth in this subsection to prevent erosion after construction activities are completed.

~~(2)~~(1) Preparation for Revegetation. Topsoil removed from the surface in preparation for grading and construction shall be stored on or near the site and protected from erosion while grading operations are underway, provided that such storage may not be located where it would cause suffocation of root systems of trees intended to be preserved. After completion of such grading, topsoil shall be restored to exposed cut and fill embankments or building pads to provide a suitable base for seeding and planting.

~~(3)~~(2) Methods of Revegetation. Acceptable methods of revegetation include hydro-mulching, or the planting of rye grass, barley or other seed with equivalent germination rates. Where lawn or turf grass is to be established, lawn grass seed or other appropriate landscaping cover shall be sown at not less than four (4) pounds to each one thousand (1,000) square feet of land area. Other revegetation methods offering equivalent protection may be approved by the Building Official. Plant materials shall be watered at intervals sufficient to assure survival and growth. Native plant materials are encouraged to reduce irrigation demands.

(eh) Off-Site Effects. Grading operations shall be conducted to prevent damaging effects of erosion, sediment production and dust on adjacent property, including public and private rights-of-way.

9-4.14~~4~~5 Sedimentation and erosion control.

(a) Sedimentation and Erosion Control Plan Required. A sedimentation and erosion control plan is required when:

- (1) Land is disturbed for any non-agricultural purpose.

- (2) Grading which may affect adjacent property or private rights-of-way which is proposed to be conducted or left in an unfinished state during the period from October 15th through April 15th.
 - (3) Land disturbance activities are conducted in geologically unstable areas, on slopes in excess of thirty percent (30%), on soils rated as having severe erosion hazard, or within fifty (50) feet of any watercourse shown on the most current 7 1/2 minute USGS quadrangle map or designated by a State or Federal agency with jurisdiction over watercourse delineation.
 - (4) The placing or disposal of soil, silt, bark, slash, sawdust or other organic or earthen materials from logging, construction and other soil disturbance activities above or below the anticipated high water line of a watercourse where they may be carried into such waters by rainfall or runoff in quantities deleterious to fish, wildlife or other beneficial uses.
- (b) Sedimentation and Erosion Control Plan Preparation and Processing. Sedimentation and erosion control plans shall address both temporary and final measures and shall be submitted to the City Engineer for review and approval. These plans, when required, shall be prepared by a registered civil engineer when grading exceeds five hundred (500) cubic yards. Plans for land disturbance of one (1) acre or larger shall be developed and signed by an appropriately licensed individual in accordance with the State Water Resources Control Board requirements. These plans shall be in accordance with the City Standard Improvement Specifications and Drawings, and may be incorporated into and approved as part of a grading, drainage or other improvement plans, but must be clearly identified as an erosion and sedimentation control plan.
- (c) Plan Check, Inspection, and Completion. Where required by the City Engineer, the applicant shall execute a plan check and inspection agreement with the City and the sedimentation and erosion control facilities inspected and approved before a certificate of occupancy is issued.
- (d) Sedimentation and Erosion Control Measures. The control of sedimentation and erosion shall include, but not be limited to, the use of the following:
- (1) Slope Surface Stabilization.
 - (i) Temporary mulching, seeding or other suitable stabilization measures approved by the City Engineer shall be used to protect exposed erodible areas during construction,
 - (ii) Earth or paved interceptors and diversions shall be installed at the top of cut or fill slopes where there is a potential for erosive surface runoff.
 - (2) Erosion and Sedimentation Control Devices. In order to prevent polluting sedimentation discharges, erosion and sediment control devices shall be installed as required by the City Engineer for all grading and filling. Control devices and measures which may be required include, but are not limited to:
 - (i) Energy absorbing structures or devices to reduce the velocity of runoff water.
 - (ii) Sedimentation controls such as sediment debris basin and traps.
 - (iii) Dispersal of water runoff from developed areas over large undisturbed areas.

- (iv) Multiple discharge points to reduce the volume of runoff over localized areas.
- (3) Final Erosion Control Measures. Within thirty (30) days after completion of grading, or prior to building final, requiring a sedimentation and erosion control plan, all surfaces disturbed by vegetation removal, grading, haul roads, or other construction activity that alters natural vegetative cover, shall be revegetated to control erosion, unless covered with impervious or other improved surfaces authorized by approved plans. Erosion controls may include any combination of mechanical or vegetative measures.

9-4.146145 Nuisance and hazard abatement.

Existing grading that has become hazardous to life or property or grading performed in violation of this section or the Uniform Building Code shall be deemed a nuisance. Full abatement and restoration may be required and an assessment of cost may be levied in accordance with Chapter 9-8.

Amend as redlined Sections 9-4.148 and 9-4.149:

9-4.148146 Drainage.

Standards for the control of grading and drainage are intended to minimize harmful effects of storm water runoff and resulting inundation and erosion on proposed projects, and to protect neighboring and downstream properties from drainage problems resulting from new developments. The standards of Sections 9-4.1498 through 9-4.1542 are applicable to projects and activities required to have a zoning approval.

9-4.1479 Drainage plan required.

~~9-4.150 Environmental determination required.~~

9-4.14851 Drainage plan preparation and content.

9-4.14952 Drainage plan review and approval.

9-4.15053 Plan check, inspection and completion.

9-4.1514 Drainage standards.

9-4.1479 Drainage plan required.

Drainage plans ~~shall~~must be submitted with or be made part of a building permit application~~plot plan~~, precise plan, conditional use permit or grading permit application for a project that:

- (a) Involves a land disturbance (grading or removal of vegetation down to duff or bare soil by any method) of more than one (1) acre; or
- (b) Will result in an impervious surface of more than one thousand (1,000) square feet; or
- (c) Is subject to local ponding due to soil conditions and lack of identified drainage channels; or
- (d) Is located in an area identified by the City Engineer as having a history of flooding or erosion that may be further aggravated by or have a harmful effect on the project; or
- (e) Is located within a designated Flood Hazard overlay zone; or
- (f) Involves land disturbance or placement of structures within fifty (50) feet of any watercourse shown on the most current USGS 7 1/2 minute quadrangle map, or designated by a State or Federal agency with jurisdiction over watercourse delineation; or
- (g) Involves hillside development on slopes steeper than ten percent (10%) or driveways over twelve percent (12%) slope.

Amend as redlined for renumbering only Sections 9-4.151 through 9-4.154:

9-4.~~151~~148 Drainage plan preparation and content.

Drainage plans are to be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information. Drainage plans must be prepared by an appropriately licensed profession as required by the City Engineering Standards or as required by the City Engineer.

- (a) Basic Drainage Plan Contents. A drainage plan shall include the following information about the site:
 - (1) Flow lines of surface waters onto and off the site.
 - (2) Existing and finished contours at two (2) foot intervals or other topographic information approved by the City Engineer.
 - (3) Building pad, finished floor and street elevations, existing and proposed.
 - (4) Existing and proposed drainage channels including drainage swales, ditches and berms.
 - (5) Location, calculations and design of any proposed facilities for storage or for conveyance of runoff into indicated drainage channels, including sumps, basins, channels, culverts, ponds, storm drains, and drop inlets.
 - (6) Estimates of existing and increased runoff resulting from the proposed improvements.
 - (7) Proposed erosion and sedimentation control measures.

- (8) Proposed flood proofing measures where determined to be necessary by the City Engineer.
 - (9) One hundred (100) year flood elevations if the property is in flood hazard area.
 - (10) The drainage plan must show compliance with the City Drainage Standards and the Central Coast Water Board's Post Construction Stormwater Management Requirements for Development Projects in the Central Coast Region (upon adoption by the City Council). This includes all projects that add one thousand (1,000) square feet of impervious surface to the property.
- (b) Engineered Plan Content. Engineered drainage plans shall include an evaluation of the effects of projected runoff on adjacent properties and existing drainage facilities and systems in addition to the information required by subsection (a) of this section.

9-4.~~152~~149 Drainage plan review and approval.

All drainage plans shall be submitted to the City Engineer for review and are subject to the approval of the City Engineer.

Repeal and Replace Section 9-4.150:

9-4.~~153~~150 Plan check, inspection and completion.

Where required by the City Engineer, a plan check and inspection agreement shall be entered into and the drainage facilities inspected and approved before a certificate of occupancy is issued.

Amend as redlined Sections 9-4.151:

9-4.~~154~~151 Drainage standards.

- (a) Design and Construction. Drainage systems and facilities subject to drainage plan review and approval that shall be located in the City or existing or future public right-of-way shall be designed and constructed as set forth in the City Engineering Department Standard Improvement Specifications Drainage Standards and Drawings and the Central Coast Water Board's Post Construction Stormwater Management Requirements for Development Projects in the Central Coast Region (upon adoption by the City Council). All systems and facilities subject to drainage plan review and approval shall be designed in accordance with the City's Drainage Standards, Central Coast Water Board's Post Construction Stormwater Management Requirements (upon adoption by the City Council), and good engineering practices.
- (b) Natural Channels and Runoff. Proposed projects may include design provisions to retain off-site natural drainage patterns and limit peak runoff to predevelopment levels when required by the City Engineer.

- (c) Flood Hazard Areas. Buildings are not permitted in an area determined by the City Engineer to be subject to flood hazard by reason of inundation, overflow or erosion, except where provisions are made to eliminate such hazards to the satisfaction of the City Engineer. Such provisions may include providing adequate drainage facilities, protective walls, suitable fill, raising the floor level of the building or by other means. The placement of the building and other structures (including walls and fences) on the building site shall be such that water or mudflow will not be a hazard to the building or adjacent property. The City Engineer in the application of this standard shall enforce as a minimum the current Federal flood plain management regulations as defined in Title 24, Chapter X, Subchapter B, National Flood Insurance Program, Part 1910.

Add new Sections 9-4.152 through 9-4.157:

9-4.152 Hillside Development

The purpose of the Hillside Development Sections (9-4.152 through 9-4.157) is to preserve the rural nature of hillside areas, encourage the preservation of existing trees and vegetation, and encourage grading and design that preserves natural landforms and geographical features, minimizes aesthetic impacts, and maintains slope stability. Hillside Development standards are organized into the following sections:

9-4.153 Applicability

9-4.154 Definitions

9-4.155 Reserved

9-4.156 Process

9-4.157 Hillside Development Standards

The provisions of the Hillside Development Sections shall apply in addition to the applicable provisions of Sections 9-4.138 through 9-4.151 pertaining to grading, sedimentation and erosion control, nuisance and hazard abatement, and drainage.

9-4.153 Applicability.

Sections 9-4.152 through 9-4.157 shall apply to all development, grading, and construction projects with an area of disturbance before grading of fifteen percent (15%) or more.

9-4.154 Definitions.

As used in these Sections 9-4.152 through 9-4.157, the following terms are defined:

- (a) Area of Disturbance. The portion of a project site that is disturbed to accommodate structures, foundations, all graded slopes, parking areas, driveways, graded outdoor recreation spaces, and any areas otherwise graded.
- (b) Average Slope. See “slope, average”, as defined in Chapter 9-9.102 (General definitions). The City may require a survey and slope analysis prepared by a licensed surveyor or licensed civil engineer showing average percent slope categories.
- (c) Hillside Area. A site with an area of disturbance with a slope before grading of fifteen percent (15%) or more.
- (d) Primary Structure. The structure of chief function on a site. In general, the primary use is carried out in a primary structure. (See also “Accessory Structure” and “Building, Accessory” in Section 9-9.102).

9-4.156 Process.

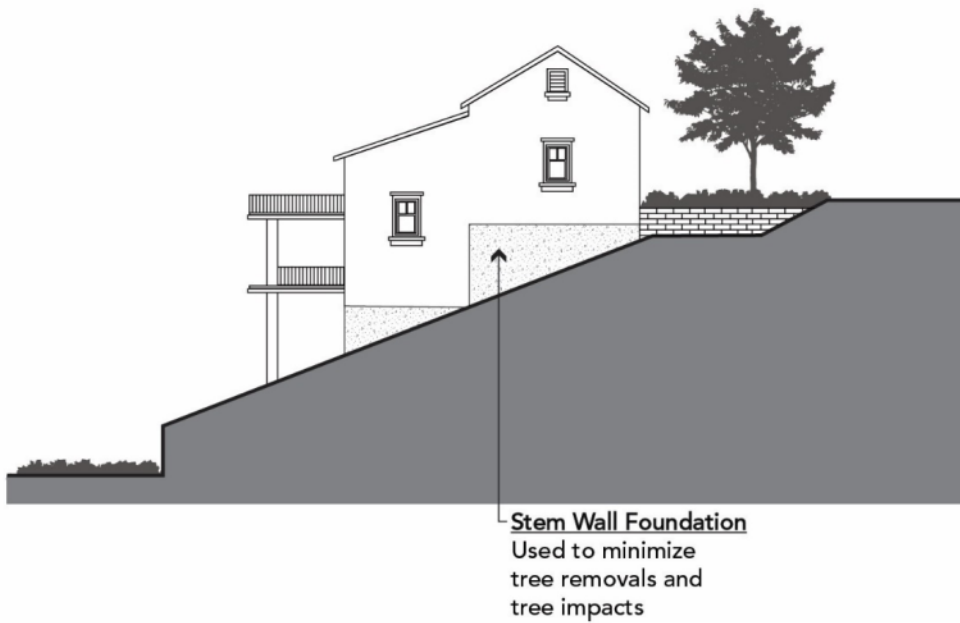
- (a) **Ministerial Review.** Development and/or grading in a hillside area that does not otherwise require a discretionary approval, or is not part of a project that requires discretionary approval pursuant to this Title 9 (including, but not limited to, Conditional Use Permits and Precise Plans), shall be processed as a ministerial review (e.g., Building/Grading Permit, as applicable), only if the development and/or grading is consistent with Section 9-4.157 (Hillside Development Standards).
- (b) **Discretionary Review.** Grading and/or construction in a hillside area that does not comply with Section 9-4.157 (Hillside Development Standards) shall require discretionary approval of a Precise Plan pursuant to Section 9-2.109 (unless a Conditional Use Permit is required pursuant to Section 9-2.110).

9-4.157 Hillside Development Standards.

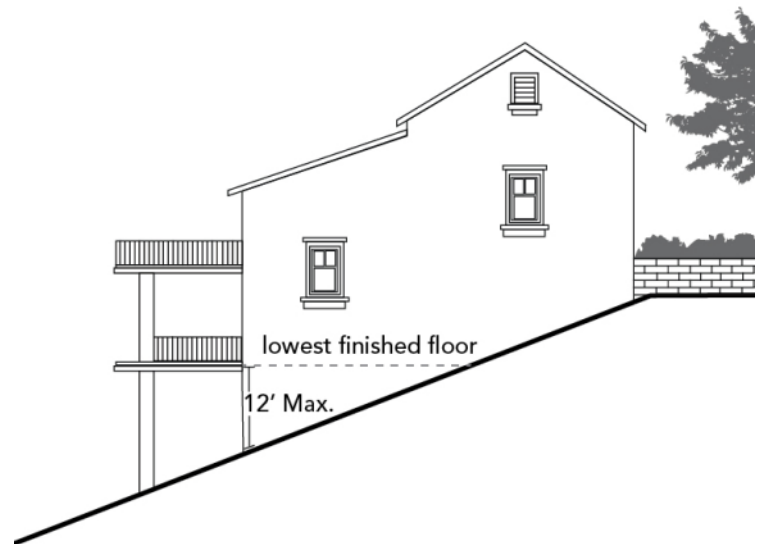
Except as allowed through discretionary review consistent with Section 9-4.156 (Process), the following standards apply to any area of disturbance with a slope of greater than fifteen percent (15%):

- (a) **Area of Disturbance Standards.** The maximum area disturbed by grading on a site shall not exceed ~~ten-twelve~~ thousand ~~five hundred~~ (102,000~~500~~) square feet, inclusive of areas allowed by Subsection 9-4.157(b, c, d, and e).
- (b) **Building Pad Standards.**
 - (1) Slopes up to 20%. Where the area of disturbance has an existing slope less than twenty percent (20%), individual pad grading is allowed if compliant with Section 9-4.157(a) and Sections 9-4.157(c – f).
 - (2) Slopes 20%+. Where the area of disturbance has an existing slope of more than twenty percent (20%), pad grading is not allowed. Foundations shall incorporate special building techniques designed by a registered engineer or architect, including, but not limited to, split levels, benching,

cantilevered, poles, piles, step and stem walls, and other methods designed to minimize soil disruption.

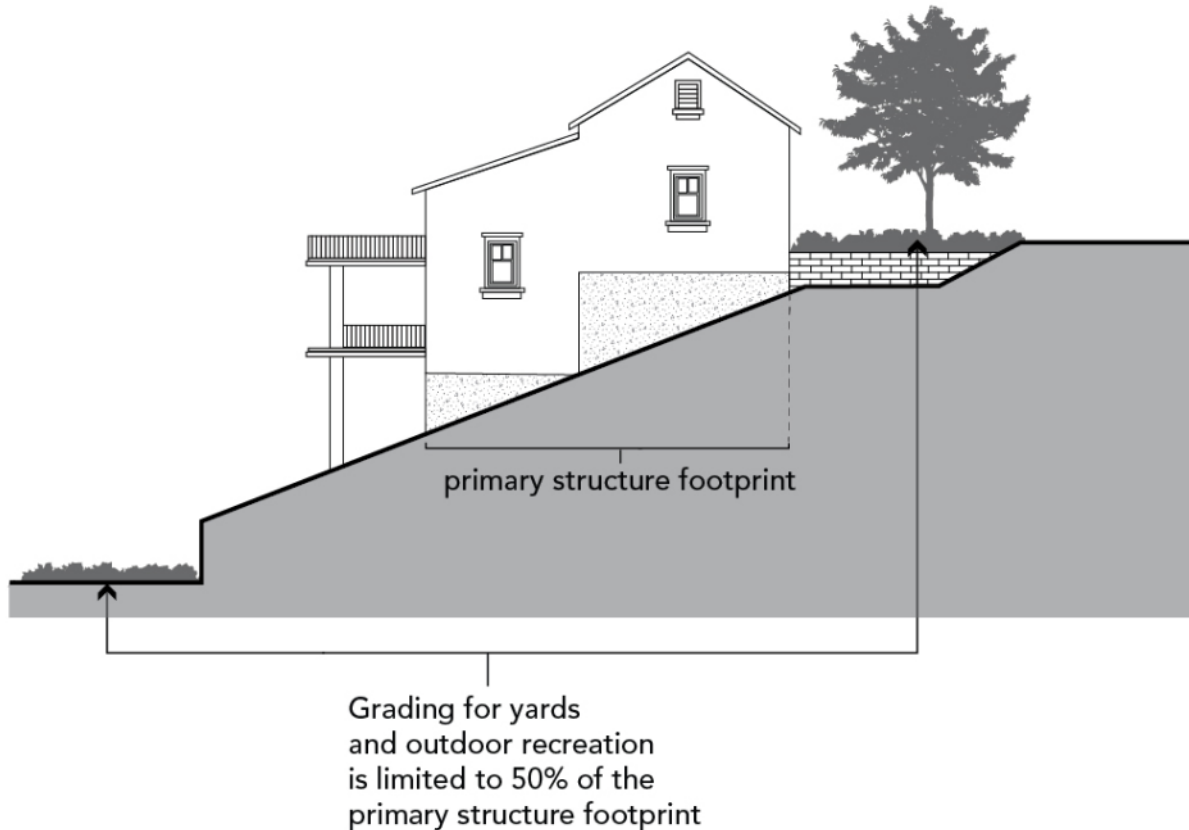


- (c) **Building Design.** The height of the lowest finished floor(s) of a building shall not be more than twelve (12) feet above the existing grade to ensure that buildings follow slopes.



(d) **Grading.**

- (1) See Sections 9-4.138 through 9-4.151 (Grading and drainage standards).
- (2) On slopes over twenty percent, (20%) grading for outdoor recreation/open spaces shall be equivalent to no more than fifty percent (50%) of the footprint of the primary structure, inclusive of all graded flat areas around the full perimeter of the primary structure.



(e) Retaining Walls.

(1) Height and Separation.

- (i) Height. The maximum height of a retaining wall shall be eight (8) feet, except a retaining wall up to twelve (12) feet high is permitted where it is integral to the foundation of the primary structure or a detached garage associated with the primary structure and where it can be demonstrated that it is necessary to minimize impacts to native trees or natural drainage features.
- (ii) Separation. All retaining walls shall be separated by a minimum of five (5) feet.
- (iii) Measurement. See Section 9-4.128(c)(1)(iv) for rules of measurement.

(2) Design.

- (i) Retaining walls shall be designed with lines that conform to the hillside topography.
- (ii) Materials shall consist of stone, soil nail, poured in place concrete, split face (or similarly textured) block, gabion walls, or similar method.

(f) Landscaping and Native Trees.

- (1) When a noncommercial project proposes to remove more than one native tree, removal of existing native trees as defined in Chapter 11 (Native Tree Regulations) shall:

- (i) Not exceed thirty percent (30%) of the total on-site tree canopy or 10,000 square feet of total on-site tree canopy area, whichever results in the least tree removal; and
 - (ii) Comply with Section 9-11.105(d)(4) (Conditions of Approval).
 - (iii) Nonresidential projects are exempt from Section 9-4.157(f)(1)(i).
- (2) Retaining walls along driveways, roads, and cut and fill areas shall be designed to minimize impacts to existing native trees, with retaining wall footings placed a distance equal to that of the tree's dripline plus fifty percent (50%) of that dripline distance at a minimum.
- (3) Where grading or erosion control requires reseeding, seeds and other plant materials used for erosion control and slope stabilization shall consist of native and/or drought tolerant species. The seed and plant material may not contain any non-native or non-drought tolerant plant species. See also 9-4.143(d) (Grading Near Watercourses).

Amend as redlined for renumbering only Section 9-4.164:

9-4.~~164~~161 Lot line adjustment review for flag lots.

- (a) The adjustment of all property lines containing a flag lot shall be permitted in accordance with the following design standards:
- (1) The original lot shall have frontage on a dedicated street.
 - (2) The accessway to the rear lot shall be at least 20 feet wide for residential zones, except where the accessway is more than 150 feet long, it shall be at least 24 feet wide. For all other zones, the accessway shall be at least 30 feet wide.
 - (3) The lot farthest from the street shall own the accessway in fee. Other lots using the accessway shall have an access and utility easement over it.
 - (4) Lots utilizing the accessway of a flag lot may be required to enter into a road maintenance agreement to insure perpetual maintenance and repair of the accessway.

Amend as redlined Section 9-4.162:

9-4.162 Archaeological ~~resources~~Resources.

(a) The Planning Department shall retain maps on file with locations of known archaeologically sensitive areas. A Phase I archaeological study shall be completed and submitted to the City prior to construction or grading proposed within these mapped areas.

(1) If the Phase I archaeological study determines there is not potential to adversely affect archaeological resources pursuant to the California Environmental Quality Act, and the project does not otherwise require a discretionary approval, or is not part of a project that requires

discretionary approval pursuant to this Title 9 (including, but not limited to, Conditional Use Permits and Precise Plans), the project shall be processed as a ministerial approval (e.g., Building/Grading Permit, as applicable).

(2) If the Phase I archaeological study determines that there is the potential to adversely affect archaeological resources pursuant to the California Environmental Quality Act, projects shall be subject to Precise Plan review consistent with Section 9-2.109.

(b) In the event archaeological resources are unearthed or discovered during any construction or earth disturbing activities, the following standards apply:

(1) — (a)—Construction activities shall cease and the Planning Department shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist and disposition of artifacts may be accomplished in accordance with State and Federal law.

(b) — (2) In the event archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the County Coroner is to be notified in addition to the Planning Department so proper disposition may be accomplished.

Add new Sections 9-4.163 through 9-4.175:

9-4.163 Historic Resources Ordinance Purpose.

The following sections (9-4.163 through 9-4.169) establish standards and processes for the treatment of historic resources. The purpose of these sections is to promote public health, safety, and welfare and provide for the recognition and consideration of historic resources that reflect the social, cultural, historical, and architectural heritage of the city by establishing procedures and standards necessary to:

- (a) Implement the goals and policies of the General Plan;
- (b) Maintain historic community assets;
- (c) Integrate the consideration of historic resources into the development process;
- (d) Maintain rights of the owners of historic resources; and
- (e) Fulfill the City's responsibilities under any applicable state and federal laws, including the California Environmental Quality Act, National Environmental Policy Act, and the National Historic Preservation Act of 1966.

9-4.164 Historic Resources Ordinance Applicability.

The provisions of Sections 9-4.163 through 9-4.169 apply to historic resources, as defined in Section 9-4.165, located within Atascadero.

9-4.165 Historic Resources Definitions.

As used in these Sections 9-4.163 through 9-4.169, the following terms are defined:

- (a) **Alteration.** Change, repair, replacement, rehabilitation, remodel modification, or new construction to: (1) the exterior of an historic resource, including the replacement of windows, doors, siding, and anything considered to be a character-defining feature; (2) the structural elements that support the exterior walls, roof, or exterior elements of the historic resource; (3) character-defining features of the interior of an historic resource if the resource's significance is wholly or partially based on interior features and the resource is publicly accessible.
- (b) **Building.** Construction created principally to shelter any form of human activity, such as a house, barn, church, hotel, or similar, as defined in National Register Bulletin No. 15. "Building" may also be used to refer to a historically and functionally related unit, such as a courthouse and jail or a house and barn.
- (c) **California Register of Historical Resources.** The State register that includes buildings, sites, structures, objects, and districts significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California pursuant to the California Public Resources Code Section 5024.1 and in the California Code of Regulations Title 14, Chapter 11.5, Section 4850, et seq., as it may be amended.
- (d) **Character Defining Feature.** The essential physical features that convey why a building, structure, object, site, or district is socially, culturally, or architecturally significant based on the applicable criteria for designation and its period of significance.
- (e) **Demolition.** Any act that destroys or removes, in whole or part, an historic resource such that its historic or architectural character and significance are materially altered.
- (f) **District, or Historic District.** A significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development, as defined in National Register Bulletin No. 15.
- (g) **Historic Resource.** Districts, sites, buildings, structures, and objects listed in the National Register of Historic Places, California Register of Historical Resources, or the City of Atascadero's Historic Resources List (see Section 9-4.166).
- (h) **National Register of Historic Places.** The official inventory of districts, sites, buildings, structures, and objects significant in American history, architecture, engineering, archaeology, and culture that is maintained by the Secretary of the Interior under the authority of the Historic Sites Act of 1935 and the National Historic Preservation Act of 1966.
- (i) **Object.** Those constructions that are primarily artistic in nature or are relatively small in scale and simply constructed (this definition is used to distinguish from buildings and structures), as defined in National Register Bulletin No. 15. Although it may be, by nature or design, movable, an object is associated with a specific setting or environment.
- (j) **Preservation.** The act or process of applying measures to sustain the existing form, integrity, and material of a historic property. Includes initial stabilization work, where necessary, as well as ongoing preservation maintenance and repair of historic materials and features, as defined in the Secretary of Interior's Standards.

- (k) **Rehabilitation.** The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural and architectural values, as defined in the Secretary of Interior's Standards.
- (l) **Relocation.** Removal of an historic resource from its original site and its re-establishment in essentially the same form, appearance, and architectural detailing at another location, as defined in the Secretary of the Interior's Standards.
- (m) **Restoration.** The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by removing features from other periods in its history and reconstructing missing features from the restoration period, as defined in the Secretary of the Interior's Standards.
- (n) **Secretary of the Interior's Standards.** The Secretary of the Interior's Standards for the Treatment of Historic Properties as published by the U.S. Department of the Interior and as it may be amended.
- (o) **Site.** The location of a significant event, a prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined, or vanished, where the location itself possesses historic, cultural, or archeological value regardless of the value of any existing structure, as defined in National Register Bulletin No. 15, as well as local cultural landscapes (e.g., Sunken Gardens, Lake Park, etc.).
- (p) **Structure.** Those functional constructions made usually for purposes other than creating human shelter (intended to be distinguished from buildings), including walls, fences, signs, bridges, monuments, and similar features, as defined in National Register Bulletin No. 15.

9-4.166 Historic Resources List.

- (a) **Creation of Historic Resources List.** The City shall create and maintain a list of historic resources in Atascadero known as the Historic Resources List, which shall be adopted by resolution of the City Council and which shall consist of historic resources meeting the following criteria:
 - (1) Colony Era and Pre-Colony Era structures built prior to 1926 that retain historical integrity; or
 - (2) Other buildings, structures, objects, or sites that:
 - (i) Are at least 50 years old;
 - (ii) Exhibit demonstrable historic significance consistent with the Historic Resource List eligibility criteria (Section 9-4.166(b)); and
 - (iii) Retain sufficient historic integrity to accurately convey its significance (Section 9-4.166(c)).
- (b) **Historic Resource List Eligibility Criteria.** In order to qualify as eligible for listing in the City's Historic Resources List, a resource must exhibit demonstrable historical significance consisting of one or more eligibility criteria:
 - (1) The resource is associated with a significant local event or pattern of development.
 - (2) The resource is associated with a significant person or persons.

- (3) The resource is recognized as possessing distinctive stylistic characteristics or workmanship significant for the study of a period, method of construction, or use of native materials.
 - (4) The resource is recognized as possessing special aesthetic merit or value in the community as a resource with quality of design or workmanship and that retains sufficient character-defining features embodying its aesthetic significance.
 - (5) The resource is associated with an architect, designer, or builder whose work has influenced the development of Atascadero.
 - (6) The resource is recognized as a significant example of the cultural, natural, archaeological, or built heritage of Atascadero.
- (c) **Historical Integrity.** In order to qualify as eligible for listing in the City's Historic Resources List, a resource must, in addition to exhibiting historical significance, exhibit historical integrity as defined in the National Register Bulletin No. 15, or other updated evaluation guidance published by the U.S. Department of the Interior and/or National Park Service, based on a combination of some of the following features:
- (1) Location
 - (2) Setting
 - (3) Design
 - (4) Materials
 - (5) Workmanship
 - (6) Feeling
 - (7) Association
- (d) **Amending Historic Resources List.**
- (1) **Adding Resources.** The Community Development Director, based on staff or community member recommendation, may amend the Historic Resources List from time to time to add historic resources, based on the factors listed in Section 9-4.166(a).
 - (2) **Removing Resources.** Following a staff recommendation that a particular resource no longer meets eligibility criteria and/or exhibits historical integrity, the removal of resources from the Historic Resources List is subject to review and approval by the Design Review Committee (DRC).
 - (3) **Public Notice.** Amendment of the Historic Resources List shall require public notice to the property owner of the subject historic resource.

9-4.167 Historic Resources Alterations.

- (a) **Ministerial Review.** The following alterations to historic resources on the Historic Resources List, which include additions to resources, shall be processed as a ministerial review (i.e., Building Permit):

- (1) Ordinary maintenance and repairs that do not change the exterior design, materials, architectural features, or character-defining features of an historic resource, including in-kind replacement of existing features. To be considered “replacement in kind,” the features must reasonably match the design, profile, material, and general appearance of the existing or original features; and
- (2) Alterations that meet the Secretary of the Interior’s Standards for the Treatment of Historic Properties applicable to the particular historic resource type, its significance, and its character-defining features.

(b) Precise Plan Review. The following alterations to historic resources on the Historic Resources List shall be processed via Precise Plan review pursuant to Section 9-2.109 (Precise Plan):

- (1) Alterations that do not meet the Secretary of the Interior’s Standards for the Treatment of Historic Properties applicable to the particular historic resource; and
- (2) Alterations to historic resources listed on the National Register of Historic Places or on the California Register of Historical Resources.

(c) Alternative Building Code Provisions. All buildings, structures, objects, or sites on the Historic Resources List are considered historical resources as defined by the California Environmental Quality Act (PRC §21000-22189) and may be eligible to use alternative building code provisions as determined by the Building Official, such as the California State Historical Building Code.

9-4.168 Historic Resources Relocation and Demolition.

(a) Relocation of Historic Resources.

- (1) **Ministerial Review.** Relocation of an historic resource on the Historic Resources List that meets the following conditions shall be processed as a ministerial review (i.e., Building Permit):
 - (i) The historic resource is significant for its architecture, design, construction method, or similar historical theme that is not derived from its original location, setting, or specific surrounding context;
 - (ii) The historic resource is significant for events, patterns of development, or similar historical themes, but:
 - a. The historic resource is being relocated a short distance such that it retains essential aspects of historical integrity; or
 - b. The historic resource is being relocated to a new location with a more appropriate context, as determined by a qualified architectural historian or equivalent professional than the existing context given proposed changes to the existing context;
 - (iii) All alterations to the historic resource—from preparing for relocation to final rehabilitation and occupation—meet the Secretary of the Interior’s Standards applicable to the particular historic resource; and

- (iv) The applicant has submitted to the City an Historic Resource Relocation Plan that demonstrates the project's adherence to the Secretary of the Interior's Standards.
- (2) **Precise Plan Review.** The following relocations of an historic resource on the Historic Resources List shall be processed via Precise Plan review pursuant to Section 9-2.109 (Precise Plan):
- (i) Relocations that are inconsistent with the Secretary of the Interior's Standards applicable to the particular historic resource; and
 - (ii) Relocations of historic resources listed on the National Register of Historic Places or on the California Register of Historical Resources.

(b) Demolition of Historic Resources.

- (1) **Precise Plan Review.** Demolition of an historic resource on the Historic Resources List shall be processed as via Precise Plan review pursuant to Section 9-2.109 (Precise Plan), unless the historic resource has been removed from the Historic Resources List pursuant to Section 9-4.166(d)(2) (Removing Resources).
- (2) **National and State Historic Resources.** Any proposed demolition or other action that will have an adverse effect on a resource on the National Register of Historic Places or on the California Register of Historical Resources shall comply with California Public Resources Code Section 5028.
- (3) **Unlisted Resources.** If a building, structure, object, or site is more than 50 years old but not listed in the Historic Resources Inventory, National Register of Historic Places, or California Register of Historical Resources, and is proposed for demolition, an historic resources assessment report may be required by the Director to determine its historical significance and status as a historic resource and the eligibility criteria for listing on the City's Historic Resource List. If determined an historic resource, the property shall be subject to the provisions of this Chapter.
- (4) **Requirements.** Prior to the issuance of a permit to demolish an historic resource on the Historic Resources List, the following measures shall be completed by the applicant:
- (i) **Documentation.** Each historic resource shall be documented to provide a record of the resource, which shall include the preparation of measured drawings and high-quality photographs consisting of:
 - a. **Drawings.** For buildings, plans shall include, but not be limited to, a site plan; floor plans; elevations; and detailed drawings of character-defining features, such as exterior ornamentation and interior details.
 - b. **High-Quality Photographs.** Photographs documenting a resource shall include the exterior and interior, context and important spatial features, and details of relevant character-defining features.
 - (ii) **Salvaged Features and Artifacts.** In an effort to preserve features and artifacts of buildings and structures, the City shall make a determination on whether items within or appurtenant to the building or structure shall be salvaged by the applicant prior to demolition. This is particularly true of historic Colony Homes, where certain materials may be utilized in repair and

rehabilitation efforts at other Colony Homes under the guidance included within Secretary of the Interior's Standards. Such salvaged features and artifacts, including the whole building or structure and listed elements, shall be advertised in a local publication for local use for 30 days before dispersal. To the extent feasible, all salvaged elements and features shall be stored on-site for this duration. In this instance, the site shall be demonstrably secured and the salvaged materials appropriately protected from the elements. Where on-site storage is not feasible, other secure locations with controlled access and appropriate protection from the elements may be used. A salvage and storage plan outlining these details shall be submitted to the City for approval.

- (iii) **Additional Mitigation Measures.** Additional mitigation measures may be required for historic resources listed on the National Register of Historic Places or on the California Register of Historical Resources or where identified as necessary by the Director for significant resources.

9-4.169 Historic Resources - Application and Process

- (a) **Application Submittal Requirements.** In addition to the application submittal requirements pertaining to the specific type of permit required for historic alterations, relocations, and demolitions, the following items may be required if determined necessary by the Director:
 - (1) Historic resource survey that provides photographs of the historic resource (exterior, interior, character-defining features, and setting) and a summary of the property's history, existing condition, and historical significance. All historic resource survey filings shall be conducted by a qualified architectural historian that meets the Secretary of the Interior's professional qualifications standards in architectural history, or equivalent professional; and/or
 - (2) Any other supporting information reasonably necessary for review of the proposed work or request.
- (b) **Concurrent Processing.** Any historic resource alteration, or relocation, or demolition associated with another permit application shall be processed concurrently and reviewed by the highest review authority designated by the Zoning Code for any of the applications.
- (c) **Accessory Dwelling Units.** Alterations to historic resources that consist of the addition of an accessory dwelling unit to an historic resource on the California Register of Historical Resources shall comply with Title 9, Chapter 5 (Accessory and Junior Accessory Dwelling Units).
- (d) **No Net Loss.** Notwithstanding the provisions of Section 9-4.168(b), demolition of an historic resource shall be consistent with the applicable provisions of Government Code Section 66300(d), including that in the case of a housing development project, as defined in Government Code Section 65589.5(h)(2), no demolition or other loss of a legally established residential dwelling unit in the city shall be approved unless it is part of a project that will create at least as many residential dwelling units as that to be demolished or otherwise lost.
- (e) **Unsafe Structures.** If a building, structure or object is determined by the City's Building Official and Community Development Director to be unsafe, presents a public hazard, is not securable, or is in imminent danger of collapse so as to endanger persons or property, the demolition standards of

Section 9-4.168(b) may not apply. The Building Official and Community Development Director's mutual determination on this matter shall be governed by applicable law.

9-4.170 Watercourse- and Wetland-Adjacent Development - Purpose.

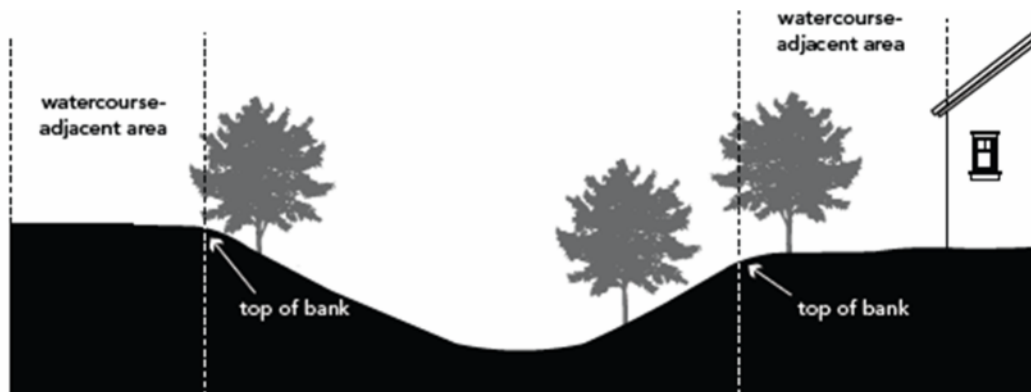
The following Sections 9-4.171 through 9-4.175 establish standards for the review of proposed development adjacent to watercourses and wetlands within Atascadero. The purpose of these sections is to promote public health, safety, and welfare by establishing procedures and standards necessary to:

- (a) Implement the goals and policies of the General Plan;
- (b) Consider potential flood impacts prior to approving development;
- (c) Consider sensitive resources in the development process;
- (d) Maintain rights of the owners of watercourse- and wetland-adjacent property; and
- (e) Fulfill the City's responsibilities under any applicable state and federal laws, including the California Environmental Quality Act and National Environmental Policy Act.

9-4.171 Applicability.

- (a) **General.** The provisions of Sections 9-4.170 through 9-4.175 apply to all watercourse- and wetland-adjacent areas in Atascadero, as defined below:
 - (1) **Watercourse-Adjacent Areas.** Watercourse-adjacent areas include the following:
 - (i) Areas located within one-hundred (100) feet of the Salinas River; and
 - (ii) Areas located within twenty (20) feet of any other major or minor watercourse, as defined in Section 9-4.172 (Definitions).
 - (2) **Wetland-Adjacent Areas.** Wetland-adjacent areas are those located within twenty (20) feet of a jurisdictional wetland, as defined in Section 9-4.172 (Definitions).

Figure 9-4.172-1: Watercourse-Adjacent Areas



- (b) **Floodway and Floodplain.** Development and activities within watercourse- and wetland-adjacent areas shall also comply with the provisions of Chapter 11 (Flood Damage Protection) and Title 7 (Public Works), as applicable. Where there is conflict between these Sections 9-4.170 through 9-4.175 and Chapter 11 of Title 7, the more restrictive provisions shall prevail.

- (c) **Prior Approvals.** Where the City has explicitly approved a watercourse- or wetland-adjacent development with differing standards than those listed by these Sections 9-4.170 through 9-4.175, that approval shall govern development standards so long as the approval remains active.

9-4.172 Definitions.

As used in these Sections 9-4.170 through 9-4.175, the following terms are defined:

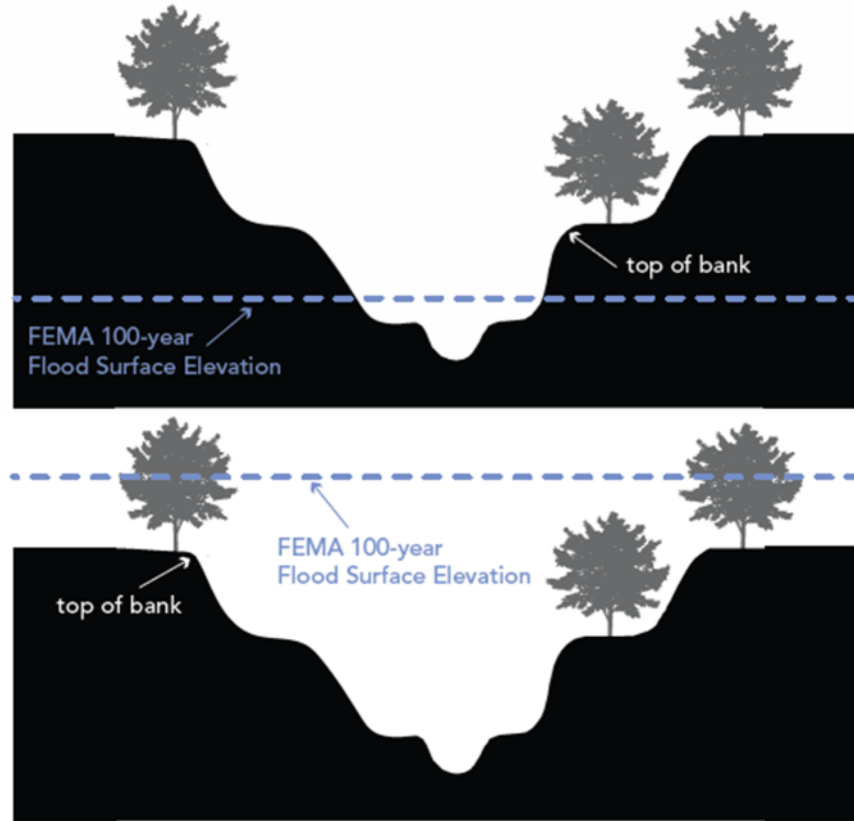
- (a) **Riparian Vegetation.** Those herbaceous plants, shrubs, and trees that are naturally associated with watercourses where the plant species tolerates, or requires, moist soil conditions. Riparian vegetation canopies may extend over, or beyond, the existing associated watercourse.
- (b) **Watercourse.** Rivers, streams, brooks, creeks, waterways, lakes, ponds, and all other bodies of water, vernal or intermittent, public or private, that are contained within, flow through, or border the city, and which are not considered “wetlands.”
- (1) **Major Watercourse.** The major watercourse features within the city limits are the Salinas River, Atascadero Creek, Graves Creek, Paloma Creek, and Boulder Creek.
- (2) **Minor Watercourse.** Minor watercourse features are those other perennial, intermittent, or ephemeral watercourse features that are considered jurisdictional by the state and/or federal government and not included in the definition of a major watercourse (Section 9-4.172[b][1]).
- (c) **Watercourse-Adjacent Areas.** See Section 9-4.171(a)(1) (Watercourse-Adjacent Areas).
- (d) **Wetland, or Jurisdictional Wetland.** Wetlands shall be consistent with the California Fish and Game Code and Clean Water Act definitions. Wetlands are typically areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.
- (e) **Wetland-Adjacent Areas.** See Section 9-4.171(a)(2) (Wetland-Adjacent Areas).

9-4.173 Measurement of Watercourse- and Wetland-Adjacent Areas.

- (a) **Watercourse-Adjacent Areas.** Measurement of water-course adjacent areas shall be from the existing top of bank or ordinary high watermark if no defined bank exists.
- (1) **Measuring Top of Bank.**
- (i) **General.** Top of bank determination shall be consistent with the California Department of Fish and Wildlife definition. Generally, where the watercourse has a sloped bank rising from the toe of the bank to a hinge point at the generally level upper ground, the hinge point is the “top of bank.”
- (ii) **100-Year Flood Plain.** Where the watercourse bank slope rises from the toe of the bank, levels off one or more times, then rises to a hinge point at the generally level upper ground, the hinge point at or directly above the FEMA 100-year flood surface elevation shall be considered top of bank. If the FEMA 100-year flood surface elevation is above the

highest hinge point, the highest hinge point is considered top of bank. See Figure 9-4.173-1: Measurement of Top of Bank.

Figure 9-4.173-1: Measurement of Top of Bank



- (b) **Wetland-Adjacent Areas.** Measurement of wetland-adjacent areas shall be from the edge of the jurisdictional wetland boundary as identified by a qualified environmental consultant or wetlands specialist.

9-4.174 Process and Application Submittal.

- (a) **Ministerial Review Process.** Development or placement of items in a watercourse- or wetland-adjacent area that does not otherwise require a discretionary approval, or is not part of a project that requires discretionary approval pursuant to this Title 9 (including, but not limited to, Conditional Use Permits and Precise Plans), shall be processed as a ministerial approval (e.g., Building/Grading Permit, as applicable), only if:
- (1) The development and placement of items are consistent with Section 9-4.175 (Permitted Improvements); and
 - (2) Upon confirmation by the Community Development Director based on a site visit and/or documentation that no applicable resources would be adversely affected.
- (b) **Discretionary Review Process.** Development or placement of items in a watercourse- or wetland-adjacent area that does not comply with Section 9-4.175 (Permitted Improvements) and/or that the Community Development Director has determined has the potential to adversely affect watercourse or

wetland resources, shall require discretionary approval of a Precise Plan pursuant to Section 9-2.109 (Precise Plan).

- (c) **Application.** In addition to the requirements of Chapter 2 (Applications: Content, Processing and Time Limits), and in addition to those requirements identified in Section 9-2.109 (Precise Plan), applications for development or placement of items in a watercourse- or wetland- adjacent area shall include the following, unless waived by the Community Development Director upon determining that no purpose will be served by such a report because no applicable watercourse or wetland resources will be affected:
- (1) **Vegetation/Top of Bank/Riparian Technical Report.**
 - (i) For lots with riparian vegetation associated with a watercourse, lots with wetlands, and/or, at the discretion of the Community Development Director, for lots adjacent to those with riparian vegetation associated with a watercourse or wetland, a technical report prepared by a qualified environmental consultant or wetlands specialist that describes and maps the types of vegetation, identifies and maps the watercourse tops of banks, and determines the edge of riparian vegetation and wetlands, pursuant to Section 9-4.173(b);
 - (ii) For lots with a watercourse and without riparian vegetation, a technical report prepared by a qualified environmental consultant, wetlands specialist, or licensed civil engineer that identifies the watercourse tops of banks and ordinary high-water mark, as applicable, pursuant to Section 9-4.173(a); and
 - (iii) For Precise Plan applications, a technical report prepared by a qualified environmental consultant or wetlands specialist determining that the watercourse or wetland will not be significantly impacted by the improvement, including a biological survey, a written analysis of the project impacts to special status species, riparian and/or wetland habitat, and required avoidance and minimization measures.
 - (2) **Soil Report.** For any structures proposed, a technical report prepared by a qualified soil engineer that confirms the watercourse bank and/or wetland is stable and is unlikely to erode, ensuring that the structure will not be structurally undermined.
 - (3) **Hydrology Report.** For Precise Plan applications, a hydrology report prepared by a qualified licensed engineer providing analysis of the project impacts to hydrology and hydraulics. The hydrology report shall include a topographical survey of the watercourse or wetland feature with one-foot contour lines at one (1) to twenty (20)-foot scale from bank to bank within the development area (and which may, at the discretion of a qualified licensed engineer and/or as required by the Community Development Director and/or the City Engineer or their designees, include additional areas up and downstream, including areas beyond the property lines), engineered grading and drainage plan of the site, and required avoidance and minimization measures.
- (d) **State and/or Federal Regulatory Agency Jurisdiction.** Applications for development within a watercourse-adjacent or wetland-adjacent area may also be subject to state and/or federal regulatory agency jurisdiction and shall ensure compliance with applicable regulations and permitting procedures.

9-4.175 Permitted Improvements.

(a) General Permitted Development and Placement of Items.

- (1) Allowed Items. The following items are allowed within the watercourse- and wetland-adjacent areas with ministerial approval pursuant to Section 9-4.174(a):
 - (i) Fences, provided such fences maintain seventy-five percent (75%) open air, such as welded wire mesh, hog wire, or split rail, and that if crossing a watercourse, do not extend below the ordinary high-water mark or otherwise impede water flow;
 - (ii) Landscape walls less than three (3) feet in height;
 - (iii) Walkways (either pervious or impervious) no more than six (6) feet in width;
 - (iv) The following patios, decks, and gazebos that cumulatively occupy no more than thirty percent (30%) of the property line adjacent to the watercourse (in linear feet):
 - a. Patios (either pervious or impervious) that encroach no more than two-hundred (200) square feet into the watercourse- or wetland-adjacent area;
 - b. Raised decks, including stairs and landings, that encroach no more than three-hundred (300) square feet into the watercourse- or wetland-adjacent area; and
 - c. Small open-air accessory structures including gazebos, patio covers, pergolas, trellises, or other similar structures without a solid roof, and constructed so that each side is open and unenclosed except for structurally necessary supports, that encroach no more than two-hundred (200) square-feet into the watercourse- or wetland-adjacent area;
 - (v) Non-fixed outdoor furniture that is not permanently attached to a structure or the ground;
 - (vi) Bioswales, rain gardens, and similar non-structural flood control and stormwater improvements constructed with natural materials and planted with non-invasive vegetative species;
 - (vii) Repairs to existing permitted structures and facilities that do not increase the size or footprint of the structures or facilities;
 - (viii) Minor landscape features not requiring grading;
 - (ix) Landscape installation of non-invasive vegetative species;
 - (x) Vegetation management, which may require agency permits if located within a riparian area;
 - (xi) Watercourse or wetland monitoring or gauging facilities operated by local, state, or federal agencies;
 - (xii) Underground utilities permitted by the United States Army Corps of Engineers, California Department of Fish and Wildlife, or Regional Water Quality Control Board;
 - (xiii) Private ground-mounted utilities (e.g., propane tank), only if there is no other feasible location on the property; and
 - (xiv) Public utilities.

- (2) Requirements for Placement. Items listed in Section 9-4.175(a)(1) are allowed provided:
- (i) Except fences allowed by Section 9-4.175(a)(1)(i), items do not extend:
 - a. Beyond the top of bank, or ordinary high watermark if no defined bank exists;
 - b. Into the watercourse channel; or
 - c. Within the delineated jurisdictional boundary of a wetland;
 - (ii) Items do not conflict with Title 7, Chapter 11 (Flood Damage Prevention); and
 - (iii) Items are consistent with all other development standards of Title 9 (Planning and Zoning).

(b) Permitted Development and Placement of Items in Downtown.

- (1) Permitted Items. In Downtown, between U.S. 101 and Hospital Drive, and adjacent to Atascadero Creek, on commercially or publicly owned properties, the following items are allowed within the watercourse- and wetland-adjacent areas with ministerial approval pursuant to Section 9-4.174(a):
- (i) All items listed in Section 9-4.175(a);
 - (ii) Publicly accessible trails; and
 - (iii) Outdoor dining areas and gathering spaces.
- (2) Requirements for Placement. Items listed in Section 9-4.175(b)(1) are allowed provided:
- (i) Except fences allowed by Section 9-4.175(a)(1)(i), items do not extend:
 - a. Beyond the top of bank, or ordinary high watermark if no defined bank exists;
 - b. Into the watercourse channel; or
 - c. Within the delineated jurisdictional boundary of a wetland;
 - (ii) Items do not conflict with Title 7, Chapter 11 (Flood Damage Prevention);
 - (iii) On commercially owned properties, items in total do not occupy more than 50 percent of the total required setback area on the lot; and
 - (iv) Items are consistent with all other development standards of Title 9 (Planning and Zoning).

(c) Watercourse Crossings.

- (1) Permitted Items. Over minor watercourses only, the following are allowed:
- (i) Clear span bridges;
 - (ii) Standard round culverts with a minimum fifteen (15) inch diameter and up to twenty-four (24) inches in diameter; and
 - (iii) Arched or natural bottom culverts over twenty-four (24) inches in diameter.
- (2) Requirements for Placement and Construction. Items shall be designed in accordance with all applicable best management practices to prevent obstruction or diversion of flood and drainage flow and to minimize adverse impacts to riparian vegetation and habitat and scenic resources

along or within the watercourse. Concrete sides and/or bottoms of watercourses are prohibited. See also Title 7, Chapter 11 (Flood Damage Prevention).

- (d) **Prohibited Activities.** The keeping and grazing of swine, ovines, and/or bovines; storage of vehicles or materials; and active recreation uses that result in natural landform modification are prohibited in watercourse- and wetland-adjacent areas. See also Title 5, Chapter 15 (Prohibited Camping).

DRAFT ORDINANCE B

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ATASCADERO, CALIFORNIA, APPROVING A ZONING MAP AMENDMENT TO REMOVE THE HISTORIC SITE (HS) OVERLAY ZONE FROM CERTAIN PROPERTIES CONTAINING COLONY HOMES AND APPLY THE HISTORIC SITE (HS) OVERLAY TO STATE AND FEDERALLY REGISTERED HISTORIC RESOURCES

HISTORIC SITE OVERLAY ZONING MAP AMENDMENTS (ZCH-0061)

WHEREAS, California Government Code Section 37361 enables city legislative bodies to provide for “places, buildings, structures, works of art, and other objects, having a special character or special historical or aesthetic interest or value, special conditions or regulations for their protection, enhancement, perpetuation or use”; and

WHEREAS, Atascadero was one of the first master planned communities in California born out of the City Beautiful movement, with the Atascadero Colony subdivision recorded in 1913 beginning the “colony era” of colony home building between 1913 and 1926, providing important historic context for the City; and

WHEREAS, certain properties, buildings, and other known resources in Atascadero are listed on the State and/or National Register of Historic Places; and

WHEREAS, the existing Historic Site (HS) Overlay has been applied to certain properties with historic resources over the years, but not all recognized resources; and

WHEREAS, properties listed on the State and/or National Register of Historic Places are of unique importance; and

WHEREAS, the Historic Site (HS) Overlay serves as a companion to the City’s proposed Historic Resources Ordinance (new AMC Sections 9-4.163 through 9-4.169) specific to those properties listed on the State and/or National Register of Historic Places; and

WHEREAS, the Planning Commission has had the opportunity to review the Atascadero HS Overlay Zoning Map Amendment and has determined that it is in the best interest of the City to enact this amendment to the Official Zoning Map; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Zoning Map Amendment was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Zoning Map Amendment; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Zoning Map Amendment was held by the City Council of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Zoning Map Amendment; and

WHEREAS, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ATASCADERO HEREBY ORDAINS AS FOLLOWS:

SECTION 1. Recitals: The above recitals are true and correct and incorporated herein as if set forth in full.

SECTION 2. Planning Commission Recommendation. The Planning Commission of the City of Atascadero, on October 15, 2024, held a timely and properly noticed Public Hearing upon the subject Title 9 Atascadero Municipal Code amendments and associated actions, at which hearing evidence, oral and documentary, was admitted on behalf of said amendments and the Planning Commission recommended that City Council approve the proposed text amendments.

SECTION 3. Public Hearings. The City Council held a duly noticed public hearing to consider the project on November 12, 2024 and considered testimony and reports from staff and the public.

SECTION 4. Findings for Approval. The City Council makes the following findings and determinations for approval of the proposed map amendments:

1. **FINDING:** The Zoning Map Amendment is consistent with General Plan policies and all other applicable ordinances and policies of the City.

FACT: The proposed Zoning Map Amendment is consistent with the General Plan, including Goal LOC 6: preserve natural flora and fauna and protect scenic lands, sensitive natural areas, historic buildings and cultural resources.

2. **FINDING:** This Amendment of the Zoning Map will provide for the orderly and efficient use of lands where such development standards are applicable.

FACT: The proposed map amendment identifies existing State and federally recognized historic resources and supports the orderly and efficient use of land.

3. **FINDING:** The Zoning Map Change will not, in itself, result in significant environmental impacts.

FACT: The proposed map amendment protects existing historic resources, is aligned with the California Environmental Quality Act Guidelines, and will not result in an environment impact.

SECTION 5. CEQA. The proposed Zoning Map Amendment is exempt from the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq., because it can be seen with certainty that there is no possibility that the enactment of this Ordinance would have a significant effect on the environment (Pub. Resources Code § 21065; CEQA Guidelines §§ 15378(b)(4), 15061(b)(3)).

SECTION 6. Approval. The City Council of the City of Atascadero, in a regular session assembled on November 12, 2024, resolved to introduce, for first reading, by title only, an ordinance that would amend the official zoning designation as detailed in Exhibit A (Zoning Map Amendment), attached hereto and incorporated by this reference.

SECTION 7. Interpretation. This Ordinance must be broadly construed in order to achieve the purposes stated in this Ordinance. It is the City Council’s intent that the provisions of this Ordinance be interpreted or implemented by the City and others in a manner that facilitates the purposes set forth in this Ordinance.

SECTION 8. Preservation. Repealing of any provision of the Atascadero Municipal Code or of any previous Code Sections, does not affect any penalty, forfeiture, or liability incurred before, or preclude prosecution and imposition of penalties for any violation occurring before this Ordinance’s effective date. Any such repealed part will remain in full force and effect for sustaining action or prosecuting violations occurring before the effective date of this Ordinance.

SECTION 9. Effect of Invalidation. If this entire Ordinance or its application is deemed invalid by a court of competent jurisdiction, any repeal or amendment of the Atascadero Municipal Code or other City Ordinance by this Ordinance will be rendered void and cause such previous Atascadero Municipal Code provision or other City Ordinance to remain in full force and effect for all purposes.

SECTION 10. Severability. If any part of this Ordinance or its application is deemed invalid by a court of competent jurisdiction, the City Council intends that such invalidity will not affect the effectiveness of the remaining provisions or applications and, to this end, the provisions of this Ordinance are severable.

SECTION 11. Notice. The City Clerk is directed to certify the passage and adoption of this Ordinance, cause it to be entered into the City of Atascadero’s book of original ordinances, make a note of the passage and adoption in the records of this meeting and within fifteen (15) days after the passage and adoption of this Ordinance, cause it to be published or posted in accordance with California law.

SECTION 12. Effective Date. This Ordinance will take effect on the 30th day following its final passage and adoption.

INTRODUCED at a regular meeting of the City Council held on November 12, 2024, and **PASSED, APPROVED** and **ADOPTED** by the City Council of the City of Atascadero, State of California, on _____, 2024.

CITY OF ATASCADERO:

Heather Moreno, Mayor

ATTEST:

Lara K. Christensen, City Clerk

APPROVED AS TO FORM:

Dave Fleishman, City Attorney

**EXHIBIT A:
LISTS OF PROPERTIES WHERE THE HISTORIC OVERLAY IS TO BE
REMOVED OR APPLIED**

| PROPERTIES WHERE HISTORIC SITE OVERLAY IS ELIMINATED | | |
|---|--------------------|--|
| APN(S) | ADDRESS(ES) | NOTES |
| 029-252-001 | 5735 Rosario | HS Overlay previously established with PD-28 |
| 029-322-022 | 5825 Ridgeway | HS Overlay previously established with PD-29 |
| 030-292-022 | 8255 San Andres | HS Overlay previously established with PD-25 |
| 049-104-032 | 5466 Regio | HS Overlay previously established with PD-17 |
| 056-131-015 | 8780 Portola | HS Overlay previously established with PD-23 |
| 049-105-001 | 1410 Medio | HS Overlay previously established with PD-17 |

| PROPERTIES WHERE HISTORIC SITE OVERLAY IS ADOPTED AND APPLIED | | |
|--|---------------------------|---|
| APN(s) | ADDRESS(ES) | NOTES |
| 029-345-001 029-346-001 | 6500, 6505 El Camino Real | City Hall and Sunken Gardens; Listed on State and National Registers of Historic Places |
| 029-331-003 | 6531 Olmeda | The Printery; Listed on State and National Registers of Historic Places |

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| 029-331-003 | 6531 Olmeda | The Printery; Listed on State and National Registers of Historic Places |

DRAFT RESOLUTION

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ATASCADERO, CALIFORNIA, ADOPTING A GENERALIZED HISTORIC RESOURCES LIST

GENERALIZED HISTORIC RESOURCES LIST (ZCH 23-0061)

WHEREAS, California Government Code Section 37361 enables City legislative bodies to provide for “places, buildings, structures, works of art, and other objects, having a special character or special historical or aesthetic interest or value, special conditions or regulations for their protection, enhancement, perpetuation or use”; and

WHEREAS, Atascadero was one of the first master planned communities in California born out of the City Beautiful movement, with the Atascadero Colony subdivision recorded in 1913 beginning the “colony era” of colony home building between 1913 and 1926, providing important historic context for the City; and

WHEREAS, certain properties, buildings, and other known resources in Atascadero are listed on the State and/or National Register of Historic Places, however, the City has no formally adopted local list of historic resources; and

WHEREAS, the City must consider the environmental impact of projects on historic resources as part of standard California Environmental Quality Act (CEQA) review; and

WHEREAS, the City, in concert with the Atascadero Historical Society, has identified Colony Homes and other historic resources located within the community to provide current and accurate information about the City’s historic resources; and

WHEREAS, the City’s proposed Historic Resources Ordinance (new AMC Sections 9-4.163 through 9-4.169) addresses the modification of historic resources and provides information needed to review projects effectively in relation to local standards, the Secretary of Interior’s Standards for the Treatment of Historic Properties, and the CEQA; and

WHEREAS, the Planning Commission has determined that it is in the best interest of the City to protect known historic resources as feasible under the provisions of the Historic Resources Ordinance; and

WHEREAS, a timely and properly noticed Public Hearing was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said resources; and

WHEREAS, a timely and properly noticed Public Hearing upon the subject Zoning Map Amendment was held by the City Council of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Zoning Map Amendment; and

WHEREAS, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

NOW, THEREFORE BE IT RESOLVED, by the City Council of the City of Atascadero:

SECTION 1. Recitals: The above recitals are true and correct and incorporated herein as if set forth in full.

SECTION 2. Planning Commission recommendation. The Planning Commission of the City of Atascadero, on October 15, 2024, held a timely and properly noticed Public Hearing upon the subject Historic Resource List, at which hearing evidence, oral and documentary, was admitted on behalf of said amendments and the Planning Commission recommended that City Council approve the proposed text amendments.

SECTION 3. Public Hearings. The City Council held a duly noticed public hearing to consider the project on November 12, 2024 and considered testimony and reports from staff and the public.

SECTION 4. CEQA. This action is exempt from the California Environmental Quality Act (CEQA), Public resources Code Section 21000 et seq., because it can be seen with certainty that there is no possibility that the enactment of this Ordinance would have a significant effect on the environment (Pub. Resources Code § 21065; CEQA Guidelines §§ 15378(b)(4), 15061(b)(3).

SECTION 5. Approval. The City Council of the City of Atascadero, in a regular session assembled on November 12, 2024, resolved to identify historic resources for enaction of the historic resource Ordinance as listed in EXHIBIT A, attached hereto and included by reference.

PASSED AND ADOPTED at a regular meeting of the City Council held on the 12th day of November 2024.

CITY OF ATASCADERO:

Heather Moreno, Mayor

ATTEST:

Lara K. Christensen, City Clerk

EXHIBIT A
Generalized Historic Resource List

Historic Resources for the purposes of enacting the Historic Resource Ordinance (AMC Sections 9-4.163 through 9-4.169) shall be identified as follows:

- (1) Colony Era and Pre-Colony Era structures built prior to 1926 that retain historical integrity; or
- (2) Other buildings, structures, objects, or sites that:
 - (i) Are at least 50 years old;
 - (ii) Exhibit demonstrable historic significance consistent with the Historic Resource List eligibility criteria listed in AMC Section 9-4.166(b); and
 - (iii) Retain sufficient historic integrity to accurately convey its significance
- (3) Any structure on the State or Federal Register of Historic Places



CITY OF ATASCADERO

CITY COUNCIL STAFF REPORT

Item B3

Department: Public Works
Date: 11/12/24
Placement: Public Hearing

TO: JAMES R. LEWIS, CITY MANAGER

FROM: NICK DE BAR, PUBLIC WORKS DIRECTOR/CITY ENGINEER

PREPARED BY: ANEL PEREZ, PUBLIC WORKS ADMINISTRATIVE ASSISTANT

SUBJECT: 2025 Community Development Block Grant Draft Recommendations

RECOMMENDATION:

Council develop and adopt draft recommendations for the 2025 Community Development Block Grant (CDBG) funding cycle.

REPORT IN BRIEF:

This report discusses the 2025 CDBG grant funding cycle and the applications received for Council consideration for draft award recommendations.

DISCUSSION:

BACKGROUND

The award process for the 2025 cycle of Community Development Block Grants (CDBG) began in the fall of 2024. Workshops were held throughout the County to solicit public comment on community needs. The County published a request for CDBG proposals and the City received four applications. The City of Atascadero's total available funding for the 2025 cycle, based on previous levels, is anticipated to be approximately \$146,534. Final funding amounts are anticipated to be released by the Department of Housing and Community Development (HUD) in Spring 2025.

CDBG funds are available for community development activities, which meet at least one of the three national objectives:

1. A benefit to low and moderate-income persons;
2. Aid in the prevention or elimination of blight;
3. Address urgent needs that pose a serious and immediate threat to the health or welfare of the community.

In order for a program to qualify under the low- and moderate-income objective, at least 51% of the persons benefiting from the project or program must earn no more than 80% of the area median. Additionally, at least 70% of the CDBG funds must be spent toward this objective. The following criteria should also be used to guide selection of CDBG programs:

1. The proposal is consistent with the national objectives and eligibility criteria of the HUD CDBG program;
2. The proposal is consistent with the Urban County Consolidated Plan;
3. The proposal is consistent with the General Plan and other City codes/ordinances.
4. The proposal will achieve multiple community development objectives;
5. The proposal can be implemented in a timely manner, without significant environmental, policy, procedural, legal, or fiscal obstacles to overcome; and
6. The project is not financially feasible without CDBG funding.

CDBG funding is broken into three categories: Public Facilities and Housing Projects, Public Services, and Administration. Award allocations for Public Services and Administration cannot exceed 15% and 20%, respectively, of the total CDBG funding amount. The Public Facilities and Housing Projects category does not have any cap limitations. Council may increase CDBG funding to Public Facilities and Housing Projects while reducing the funding to Public Services and/or Administration to an amount less than the category cap limits. It should be noted that the County Administrative costs are set to 13% of the total CDBG amount to cover their estimated costs to administer the program.

There is a minimum award threshold of \$8,000 per project (application), meaning the City can allocate less than \$8,000 for a particular public service activity if another agency in the County commits to programming the remainder to equal a Countywide cumulative total of at least \$8,000. Furthermore, Council may recommend a CDBG award more than or less than the amounts requested on the applications. Council can only make award recommendations to those applications received for the funding cycle.

ANALYSIS

The City received the following applications for the 2025 CDBG funding cycle:

| Public Facilities (PF) and Housing Projects (HP) Category (65% Min.) - Est. \$95,247 | |
|---|-------------------|
| 1. City of Atascadero – Viejo Camino Sidewalk and Accessibility Improvements | \$100,000 |
| Public Services Category (15% Max.) - Est. \$21,980 | |
| 1. City of Atascadero – Youth Activity Scholarships | 13,000 |
| 2. El Camino Homeless Organization (ECHO) – Operation of Homeless Shelter | 10,990 |
| 3. 5 Cities Homeless Coalition – Subsistence Payments, Homeless Assistance & Security Deposits | 3,600 |
| Administration (20% Max.) - Est. \$29,306 | |
| 1. SLO County – Program Administration (13%) | 19,049 |
| 2. City of Atascadero – Program Administration (7%) | 10,257 |
| Total Funds Requested | \$156,896 |
| Estimated Funds Available | \$146,534 |
| Net Difference | (\$10,362) |

One application was received for the Public Facilities/Housing Projects category totaling \$100,000, which exceeds the estimated category allocation of \$95,247 by \$4,753. Three applicants were received for the Public Services category totaling \$27,590, which exceeds the estimated category allocation of \$21,980 by \$5,610. As part of the CDBG process, Council must

develop a draft recommendation for the 2025 grant year that meets the funding criteria while adhering to the categorical limits.

The following is a brief explanation of the funding groups and applications within each.

PUBLIC FACILITIES (PF) & HOUSING PROJECTS (HP) CATEGORY - Est. Available Funds: \$95,247

Public Facilities are defined as activities relating to real property, including the acquisition, construction, rehabilitation or installation of public improvements.

City of Atascadero – Viejo Camino Sidewalk and Accessibility Improvements

Funds Requested: \$100,000

The City of Atascadero submitted a CDBG application for the Viejo Camino Sidewalk Accessibility Project. This project proposes to construct approximately 450 linear feet of new ADA compliant sidewalk, and curb ramps at two locations on Viejo Camino between El Camino Real and Halcon Road. The sidewalk infill will also provide connection to a regional bus stop which will provide a new bench and shelter for riders. In addition, an enhanced crosswalk (marked crosswalk with push-activated flashing signs and streetlights) is being proposed across Viejo Camino at Bocina Lane (Bordeaux House entrance). This crosswalk will be located mid-block and will provide a direct connection between the RTA transit stops that is frequently used by nearby residents, whereby preventing crossings at the El Camino Real intersection – which cannot meet ADA requirements due to slope issues.

RTA has provided a letter of support for this project. This project warrants improvements to increase accessibility for the traveling public due to its dilapidated and non-compliant condition. The infrastructure improvements providing wheelchair ramps and ADA compliant sidewalks will aid those with mobility impairments.

Council has previously awarded a total of \$160,125 in prior CDBG funding cycles (\$68,683 in 2021 and \$91,442 in 2024) toward this project, which has an estimated cost of \$250,000 to \$300,000. The estimated cost has increased due to rising construction costs plus the addition of the enhanced crosswalk to the project improvements. Staff believes the additional 2025 CDBG funds, coupled with available reallocations from the Santa Rosa Road Sidewalk CDBG project, will bring the project close to fully funded.

PUBLIC SERVICES CATEGORY - Est. Available Funds: \$21,980

CDBG regulations allow for a wide range of public service activities, including, but not limited to: employment services, crime prevention, childcare, health services, substance abuse services, fair housing counseling and recreational services.

City of Atascadero – Youth Activity Scholarship Fund

Funds Requested: \$13,000

The City administers the Youth Activity Scholarship Fund to allow the children of very low and low-income families to participate in recreational and social activities, to keep children active and engaged. Because this program is limited to very low and low-income families, the benefit criteria will be met.

El Camino Homeless Organization (ECHO) Navigation Centers – Operation of Homeless Shelter and Meals

Funds Requested: \$10,990

ECHO operates Navigation Centers with overnight shelters in Atascadero and Paso Robles. This program provides funding for operational costs at both Navigation Centers, including utilities, food for meal programs, shelter supplies, insurance, and maintenance, as well as for staff positions. The project also supports all or a portion of the following staff salaries at the two sites: four case managers, two overnight shelter coordinators, a volunteer coordinator, a shelter manager, a client services manager, and a daytime program manager.

ECHO's Atascadero Navigator Center has a 60-bed shelter serving all county residents and providing care for medically fragile clients. Through a partnership with People's Self-Help Housing and Housing Authority SLO, ECHO added 50 beds in 2020 by purchasing a Motel 6 property in Paso Robles with a state Project Homekey grant.

At the Navigation Centers, shelter clients and the unsheltered access case management, employment and benefits resources, and housing resources. ECHO helps clients to connect with agencies providing health and mental health services, recovery programs, educational assistance, and other services that will help clients reach their goals of stable housing and physical and mental well-being. The public shower program provides access to showers and donated clothing five times weekly for those not staying in a shelter.

5 Cities Homeless Coalition (5CHC) – Homeless Services: Shelter, Outreach & Homeless Prevention

Funds Requested: \$3,600

Rapid re-housing involves case management targeted at identifying displaced clients' most essential needs and connecting them to community resources. Homeless Prevention Services are provided to those at immediate risk of homelessness based on need and qualification. Clients receive targeted case management services per their individual circumstance, in addition to direct financial assistance to enable them to remain in their housing, or deposit assistance needed to re-house them to prevent homelessness. The goal is to assist participants to secure long-term stable housing that they can afford to retain. By connecting people with a home, they are in a better position to address other challenges that may have led to their homelessness, such as obtaining employment or addressing substance abuse issues. The Council chose not to fund this request last year, deciding to keep funds local.

ADMINISTRATION – Est. Available Funds: \$29,306County of San Luis Obispo – CDBG Program Administration- (13%)

Allocated Funds: \$19,049

Due to the complexity of grant administration responsibilities and the consequences of non-compliance, HUD recommends that the County provide all monitoring and oversight for all CDBG

grants. The County assumes the duties of project oversight and receives a required 13% of the total grant funds for administration services for Atascadero in the amount of \$19,049.

City of Atascadero – CDBG Program Administration - (7%)

Allocated Funds: \$10,257

Significant City staff time from Public Works and Administrative Services is required for CDBG administration, and coordination with County Planning staff. The City’s administrative portion of the funding cannot exceed 7%, or \$10,257 of the total administrative grant amount.

CONCLUSION

The City received funding requests for approximately \$10,362 more than the anticipated 2025 available CDBG funding. In addition, there are limits related to categories of funding for Public Services and Administration. As part of the CDBG process, Council must develop a draft recommendation for the 2025 grant year that meets the funding criteria while adhering to the category limits.

Upon approval, the draft funding recommendations will be forwarded to the County for publishing along with recommendations from all participating agencies. A minimum of 30 days after publication, a second workshop will be held to allow questions from applicants regarding the draft recommendations, after which the draft allocations will be forwarded to City Council, with comments from the workshop, for final approval and forwarded to the County Board of Supervisors. A final recommendation will be made by Council in February 2025.

ALTERNATIVES TO THE STAFF RECOMMENDATION:

None

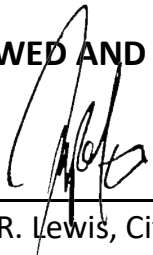
FISCAL IMPACT:

Approval of Atascadero’s total 2025 CDBG allocation would result in the estimated revenue and expenditure of \$146,534 of CDBG funds.

REVIEWED BY OTHERS:

This item has been reviewed by Administrative Services Director Jeri Rangel.

REVIEWED AND APPROVED FOR COUNCIL AGENDA



James R. Lewis, City Manager

ATTACHMENTS:

2025 CDBG Applications

Overview

Completed by llopez@atascadero.org on 10/1/2024 1:40 PM

Case Id: 30255

Name: City of Atascadero Community Services

Address: 6500 Palma Ave. , Atascadero, CA 93422

Overview

Please provide the following information.



County of San Luis
Obispo
Public Service Grants
Program

Department of Social Services
Adult and Homeless Services Branch
PO Box 8119
San Luis Obispo, CA 93403-8119
SS_HomelessGrants@co.slo.ca.us

For each Public Services (including Minor Home Repair) funding source, an overview is available that includes program description, federal award information, eligible applicants, eligible activities, eligible beneficiaries, and reporting in the County of San Luis Obispo Notice of Funding Availability, 2025 Action Plan:

- Section II.C for Community Development Block Grant (CDBG) Overview
- Section II.D for Emergency Solutions Grant (ESG) Overview
- Section II.E for HOME-TBRA Investment Partnerships Program (HOME) Overview
- Section II.F for Permanent Local Housing Allocation (PLHA) Overview
- Section II.H for General Fund Support (GFS) Overview

A. Applicant Information

Completed by llopez@atascadero.org on 10/1/2024 5:15 PM

Case Id: 30255

Name: City of Atascadero Community Services

Address: 6500 Palma Ave. , Atascadero, CA 93422

A. Applicant Information

Please provide the following information.

PRIMARY APPLICANT INFORMATION-LEAD AGENCY

A.1. Organization Name

City of Atascadero Community Services Dept.

A.2. Type of Organization

Government or Public Entity

A.2.b. Please upload the following documentation:

Attachment A - Proof of Active SAM.gov Registration *Required

***No files uploaded*

A.3. UEI Number: For more information, visit [SAM.GOV](https://sam.gov)

J4ZKW85KJ1H8

A.4. Address

6500 Palma Ave. Atascadero, CA 93422

A.5. Is the organization faith based?

No

A.6. Date of Incorporation

07/02/1979

A.6.a. Please upload the following documentation:

Attachment B – Incorporation Documents *Required

***No files uploaded*

Attachment C – Organization Mission Statement *Required

***No files uploaded*

A.7. Required Acknowledgement of Insurance Requirements. Has your organization read and understood the insurance requirements listed in “Example Exhibit D – General Conditions” in the Library?

Yes

A.8. Annual Operating Budget

Printed By: Nathan Lenski on 10/9/2024

\$32,811,120.00

A.9. Number of Paid Staff

160

A.10. Number of Volunteers

25

CONTACT INFORMATION

A.11. Contact Person Name

Larisse Lopez

A.12. Contact Person Title

Recreation Supervisor

A.13. Phone Number

(805) 470-3362

A.14. Email

llopez@atascadero.org

B. Applicant Capacity

Completed by llopez@atascadero.org on 10/1/2024 5:16 PM

Case Id: 30255

Name: City of Atascadero Community Services

Address: 6500 Palma Ave. , Atascadero, CA 93422

B. Applicant Capacity

Please provide the following information.

B.1. Describe the organization's history of receiving and managing grants from County/State/Federal sources.

The City of Atascadero has used funding from the CDBG Program in effort to offer scholarships to local low/moderately low income families in an effort to make youth sports and activities accessible to all the youth in our community.

B.2. Describe how the organization participates in HMIS, Coordinated Entry, and the San Luis Obispo County Continuum of Care.

N/A

B.3. Briefly describe your organization's auditing requirements, including those for the proposed project.

As outlined in 2 CFR § 200.500 and 24 CFR § 5.801

An independent auditing firm conducts an annual audit of all City funds, including the CDBG fund. An independent audit firm also conducts the Single Audit per OMB Circular A-133, Schedule of Expenditures of Federal Awards, which includes all CDBG funding information.

B.3.a. Please upload the following documentation:



Attachment D - Most Recent Audit *Required

***No files uploaded*

B.4. Describe the organization's experience delivering related programs/projects.

The City of Atascadero's Recreation team has provided youth sports, youth special interest classes and activities for many years. The City of Atascadero's Youth Scholarship fund has been used to support youth in paying for other classes and activities separate from just city ran activities. Helping to provide access to the broad range of classes and activities throughout our community for youth and families who would not be able to afford such activities otherwise.

B.5. How will you document and maintain income status or presumed benefit status of each beneficiary in compliance with regulations?

Each scholarship requestee will be required to complete the most current youth scholarship application and provide a copy of their county approved proof of eligibility.

B.6. Briefly describe your agency's record keeping system with relevance to the proposed project.

The City has a fund solely for the purpose of CDBG expenditures and reimbursements.

B.7. Identify all budgeted funds for project related costs. Include leveraged funding to exhibit financial sustainability of the project beyond the grant term if awarded.

N/A

B.8. Does your organization comply with the Generally Accepted Accounting Principles?

As outlined in 2 CFR § 200

Yes

Required Acknowledgement for Federal Grants or Contracts

B.9. Does your organization certify that, if awarded funds, it will comply with the requirements as shown as [Example Exhibit D-General Conditions](#) and [Example Exhibit E- Special Conditions](#)?

Yes

C. Proposed Project & Project Details

Case Id: 30255

Name: City of Atascadero Community Services

Address: 6500 Palma Ave. , Atascadero, CA 93422

Completed by llopez@atascadero.org on 10/1/2024 2:40 PM

C. Proposed Project & Project Details

Please provide the following information.

C.1. Name of Proposed Project

Youth Scholarships

C.2. Project/Program Address

6500 Palma Ave. Atascadero, CA 93422

C.3. Areas Served-Select all that apply

- City of Arroyo Grande
- City of Atascadero
- City of Grover Beach
- City of Morro Bay
- City of Paso Robles
- City of Pismo Beach
- City of San Luis Obispo
- Unincorporated Community
- Countywide

C.4. Provide a brief narrative of the proposed project, including projected outcomes:

The City of Atascadero has established a youth scholarship fund designed to assist low income families to allow children to participate in organized recreation, social and cultural activities. The population served would be otherwise unable to afford the activity fees to participate in the activities of choice without the scholarship. The city applies the income guidelines published by HUD adjusted for family size, as qualifying criteria to decide scholarship awards.

- Attachment E – If applicable, attach most recent annual performance report

***No files uploaded*

C.5. What is the level of need for this activity within SLO County? Please include data to support your answer.

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C.5.a. Please upload the following documentation:

Attachment F – Timeline: Attach a timeline for key steps of project implementation. *Required

***No files uploaded*

C.6. Is this effort new, continuing, or expanding? Please describe.

This is a continuing effort to offer youth scholarships to low/moderate income families.

C.7. Describe how the project will align with a (or multiple) Line(s) of Effort to support the [San Luis Obispo Countywide Plan to Address Homelessness \(2022-2027\)](#).

N/A

C.8. Select all population(s) expected to be served through this project:

- Adults with children
- Adults without children
- Elderly/Senior
- Parenting Youth
- Persons Experiencing Chronic Homelessness
- Persons At Risk of Homelessness
- Veterans
- Domestic Violence Survivors
- Persons with Disabilities
- Unaccompanied Youth (under 25 years of age)
- Individuals with Co-occurring Disorders (Substance Use and Mental Health)
- Low – Moderate Income Persons or Households

C.9. How does your program/service complement and collaborate with existing efforts in the County? Describe how the program/project will increase capacity of services/housing for persons experiencing homelessness and at-risk persons in the County.

The City partners with outside businesses for support such as non-profits and service groups, as well as contracted instructors.

C.10. Describe any consultation with local jurisdictions to gain support for the project. Describe any support you have from local jurisdictions.

N/A

Attachment G – Letters of Support: Please attach any letters of support or commitment from local governments or community partners.

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***No files uploaded*

C.11. Describe how you will ensure that the proposed project is accessible to communities of color which are disproportionately impacted by homelessness, particularly Black, Latinx, Asian, Pacific Islander, and Native and Indigenous communities. If you have previously received a grant to serve any of the affected communities, please provide a brief description of those grant activities and the outcomes you achieved.

Registration forms are available in Spanish as well as work with local school counselors to be sure they have current activity information to share with families they work with who's parents only speak Spanish.

C.13. Indicate the predicted, unduplicated performance outcome listed below:

| Population | Number of Individuals Served | Number of Households Served |
|---|------------------------------|-----------------------------|
| Number of unsheltered persons to become sheltered | 0 | 0 |
| Number of people experiencing homelessness to be entering permanent housing | 0 | 0 |
| Number of people experiencing Chronic Homelessness served | 0 | 0 |
| Number of persons At-Risk of Homelessness served | 50 | 25 |
| Number of Unaccompanied Youth served | 0 | 0 |
| Number of Youth At-Risk of Homelessness served | 0 | 0 |
| Number of persons in families with children served | 50 | 25 |
| Total | 100 | 50 |

D. Funding & Eligible Activities

Completed by llopez@atascadero.org on 10/1/2024 5:12 PM

Case Id: 30255
Name: City of Atascadero Community Services
Address: 6500 Palma Ave. , Atascadero, CA 93422

D. Funding & Eligible Activities

Please provide the following information.

D.1. Total Funding Requested

\$13,000.00

D.1.a. Please upload the following documentation:

[Attachment H – Budget , Leveraged-Funds, and Budget Narrative](#): Attach a Budget and Budget Narrative for the project for which you are applying. The budget narrative should include FTEs to be provided. Please include the value of any matching funding. ***Required**

***No files uploaded*

D.2. Are you requesting HOME-TBRA funds?

No

D.3. Are you requesting CDBG funds?

Yes

D.3.a. Amount of CDBG funds requested:

\$13,000.00

D.3.b. Please indicate the amount you are requesting for each jurisdiction:

| Jurisdiction | Amount |
|-----------------|-------------|
| Arroyo Grande | \$0.00 |
| Atascadero | \$13,000.00 |
| Morro Bay | \$0.00 |
| Paso Robles | \$0.00 |
| Pismo Beach | \$0.00 |
| San Luis Obispo | \$0.00 |
| County | \$0.00 |
| Total | \$13,000.00 |

D.3.c. Estimated number of unduplicated persons to benefit from CDBG funds:

50

D.3.d. Estimated number of unduplicated households to benefit from CDBG funds:

25

D.3.e. Please select the national objective that best applies to the proposed project.

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Please refer to "[Basically CDBG](#)" or the "[CDBG Guide to National Objectives and Eligible Activities](#)" for more information regarding CDBG national objectives.

Low Moderate Income

LOW/MODERATE INCOME: Select which criteria the proposed project intends to qualify under to meet the Low/Moderate Income objective.

Limited Clientele

D.3.f. Identify all eligible activities that apply to the proposed project:

- Public Services -General
- Operating Costs of Homeless/AIDS Patients Programs
- Senior Services
- Handicapped Services
- Legal Services
- Youth Services
- Transportation Services
- Substance Abuse Services
- Services for Battered and Abused Spouses
- Crime Awareness or Neighborhood Cleanups
- Fair Housing Activities
- Tenant/Landlord/Housing Counseling
- Child Care Services
- Health Services
- Services for Abused and Neglected Children
- Mental Health Services
- Job Training and Job Placement Services
- Subsistence Payments, Homeless Assistance, Rental Housing Subsidies or Security Deposits
- Assistance to microenterprises (technical assistance, business support services, and other similar services to owners of microenterprises or persons developing microenterprises)
- Minor Home Repair

D.3.g. Explain how the proposed project meets the selected National Objective:

Most youth serving organizations in Atascadero have received requests for assistance in paying registrations or enrollment fees for their activities. Many families are unable to afford fees that usually range from \$35 to \$300 per

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child. Applications have grown dramatically over the past several years, but the need has been more acute in the last few years. These children would not be able to participate in the activities that promote self-esteem, feelings of community, friendship, health, etc. if they are not provided with financial aid.

D.3.h. Will the services offered by your organization increase or expand as a result of CDBG assistance?

No

D.3.i. Describe how the project will directly benefit the populations identified.

The program will be serving children who are 2.5 years old up to 18 years old and are considered extremely low to moderately low income households. It would allow children to participate in organized recreation, social and cultural activities. It would promote self esteem, feelings of community, friendships, health, etc.

D.4. Are you requesting PLHA funds?

No

D.5. Are you requesting ESG funds?

No

D.6. Are you requesting General Fund Support funds?

No

E. Required Documents

Completed by llopez@atascadero.org on 10/1/2024 4:54 PM

Case Id: 30255

Name: City of Atascadero Community Services

Address: 6500 Palma Ave. , Atascadero, CA 93422

E. Required Documents

Please provide the following information.

Documentation

Attachment L – Supplemental Documentation

***No files uploaded*

Submit

Completed by llopez@atascadero.org on 10/1/2024 5:24 PM

Case Id: 30255

Name: City of Atascadero Community Services

Address: 6500 Palma Ave. , Atascadero, CA 93422

Submit

Please provide the following information.

The applicant certifies that all information contained in this application, and supporting documentation, given for the purpose of obtaining assistance, is true and complete to the best of the applicant’s knowledge.

I hereby certify that our organization has complied with all applicable laws and regulations pertaining to the application and is an eligible applicant for the requested funding. The organization proposes to provide the program services or complete the project identified in this application. If this application is approved and this organization receives the requested funding this organization agrees to adhere to all relevant Federal, State, and local regulations and other assurances as required by the Commission.

I hereby certify that the organization is fully capable of fulfilling its obligation under this application, as stated herein.

I further certify that the information provided in this Funding Application is correct, accurate, and complete.

In addition, the content of the application shall be incorporated as part of the written agreement and, as such, will be used to monitor performance. Activities, commitments, and representations described in the written agreement that are not subsequently made a part of the program/project as funded shall be considered a material contract failure and may result in a repayment of all awarded funds and/or suspension from participation in future funding rounds.

Authorized Representative Signature

Larisse R Lopez

Electronically signed by llopez@atascadero.org on 10/1/2024 5:23 PM

Authorized Representative Title

Recreation Supervisor

Overview

Completed by becca@carselgroup.com on 9/12/2024 1:20 PM

Case Id: 30236

Name: ECHO - 2025

Address: 6370 Atascadero Avenue, Atascadero, CA 93422

Overview

Please provide the following information.



County of San Luis
Obispo
Public Service Grants
Program

Department of Social Services
Adult and Homeless Services Branch
PO Box 8119
San Luis Obispo, CA 93403-8119
SS_HomelessGrants@co.slo.ca.us

For each Public Services (including Minor Home Repair) funding source, an overview is available that includes program description, federal award information, eligible applicants, eligible activities, eligible beneficiaries, and reporting in the County of San Luis Obispo Notice of Funding Availability, 2025 Action Plan:

- Section II.C for Community Development Block Grant (CDBG) Overview
- Section II.D for Emergency Solutions Grant (ESG) Overview
- Section II.E for HOME-TBRA Investment Partnerships Program (HOME) Overview
- Section II.F for Permanent Local Housing Allocation (PLHA) Overview
- Section II.H for General Fund Support (GFS) Overview

A. Applicant Information

Completed by becca@carselgroup.com on 10/4/2024 3:10 PM

Case Id: 30236

Name: ECHO - 2025

Address: 6370 Atascadero Avenue, Atascadero, CA 93422

A. Applicant Information

Please provide the following information.

PRIMARY APPLICANT INFORMATION-LEAD AGENCY

A.1. Organization Name

El Camino Homeless Organization (ECHO)

A.2. Type of Organization

Non-Profit

A.2.b. Please upload the following documentation:

Attachment A - Proof of Active SAM.gov Registration ***Required**

***No files uploaded*

A.3. UEI Number: For more information, visit [SAM.GOV](https://sam.gov)

091516745

A.4. Address

6370 Atascadero Avenue Atascadero, CA 93422

A.5. Is the organization faith based?

No

A.6. Date of Incorporation

06/14/2000

A.6.a. Please upload the following documentation:

Attachment B – Incorporation Documents ***Required**

ECHO Articles of Incorporation.pdf

Attachment C – Organization Mission Statement ***Required**

ECHO Mission Statement.pdf

A.7. Required Acknowledgement of Insurance Requirements. Has your organization read and understood the insurance requirements listed in “Example Exhibit D – General Conditions” in the Library?

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Yes

A.8. Annual Operating Budget

\$2,508,800.00

A.9. Number of Paid Staff

30

A.10. Number of Volunteers

2,000

CONTACT INFORMATION

A.11. Contact Person Name

Mimi Rodriguez

A.12. Contact Person Title

Chief Operations Officer

A.13. Phone Number

(805) 462-7527

A.14. Email

mrodriguez@echoshelter.org

B. Applicant Capacity

Completed by becca@carselgroup.com on 10/4/2024 2:36 PM

Case Id: 30236

Name: ECHO - 2025

Address: 6370 Atascadero Avenue, Atascadero, CA 93422

B. Applicant Capacity

Please provide the following information.

B.1. Describe the organization's history of receiving and managing grants from County/State/Federal sources.

ECHO has successfully sought, received, and managed grants and contracts from all levels of government and the private sector, including current and previous CDBG, ESG, PHLA, and General Fund grants through the County, a current HHAP Round 2 grant, many years of County CBO grants, and contracts with the City of Paso Robles and the City of Atascadero. ECHO is currently and has been for many years a sub-contractor on CAPSLO and 5CHC grants through the County, including California CDBG-CV, HCFC-CV, ESG-CV-2, and CESH, and a sub-contractor through HASLO on HHAP-1 and Project HomeKey grants. ECHO's team has been able to meet all expenditure deadlines and reporting requirements for these grants with no issues. ECHO's many years of experience with government grants and contracts gives us extensive expertise with local, state and federal procedures for purchasing, personnel, and reporting.

B.2. Describe how the organization participates in HMIS, Coordinated Entry, and the San Luis Obispo County Continuum of Care.

ECHO participates in the HUD Coordinated Entry process used by homeless-serving agencies county-wide, working closely with Coordinated Entry partners to identify eligible clients and serve without program duplication. ECHO has been a partner on CAPSLO's Coordinated Entry grant since 2017. ECHO has lengthy experience with and participates in the County's HMIS database system (Clarity) to track demographics and case management outcomes and to report on progress. ECHO also participates in the Continuum of Care by attending San Luis Obispo County Homeless Services Oversight Council (HSOC) meetings. ECHO's CEO, Wendy Lewis, is an HSOC member and attends both the full Council and the committee meetings along with other ECHO staff.

B.3. Briefly describe your organization's auditing requirements, including those for the proposed project.

As outlined in 2 CFR § 200.500 and 24 CFR § 5.801

ECHO does not have an audit requirement under 2 CFR §200.500, as ECHO has not reached the threshold of expending \$750,000 in Federal awards during ECHO's fiscal year. Under 2 CFR §200.500 (d), ECHO is except due to expending less than the threshold. All records of grant expenditures are kept on file for review as required in subsection (d). ECHO's bookkeeping is conducted under the auspices of a Certified Public Accountant. See attached 2022 Form 990 in lieu of audit.

B.3.a. Please upload the following documentation:



Attachment D - Most Recent Audit *Required

***No files uploaded*

B.4. Describe the organization's experience delivering related programs/projects.

For over two decades, ECHO has demonstrated the ability to successfully operate homeless services. ECHO is led by an experienced CEO and an 11-member Board of Directors with extensive experience in nonprofit governance, law, finance, marketing, homeless services, and health. Over 2,000 community volunteers and 30 staff support operations at two

sites. CEO Wendy Lewis will oversee the project, with support from Mimi Rodriguez, Chief Operations Officer. Wendy Lewis has served as the CEO for the past six years, supervising staff, overseeing finances and fundraising. Mimi Rodriguez, the COO, has been working at ECHO for 12 years and has been part of the executive management team for six years.

B.5. How will you document and maintain income status or presumed benefit status of each beneficiary in compliance with regulations?

ECHO documents and maintains income status and presumed benefit status (homelessness) for each client using Clarity, the Coordinated Entry/HMIS database system, and internal tracking systems.

B.6. Briefly describe your agency's record keeping system with relevance to the proposed project.

ECHO has a financial control process in place to assure accuracy and compliance. The CEO reviews all expenditures, which are then coded by the Program/Administrative Manager and sent to the Bookkeeper for payment. The Bookkeeper uses QuickBooks to track and reconcile all income and expenditures. The budget is reviewed by the Treasurer and reported to the Board of Directors on a monthly basis. ECHO has the necessary staff capacity to assure accurate and timely reporting. The CEO is responsible for all financial reporting, working with the Bookkeeper. The Program/Administrative Manager is responsible for program reporting, with oversight by the CEO. For client record keeping, ECHO participates in the HUD Coordinated Entry process used by homeless-serving agencies county-wide. Through this process, an intake staff evaluates each person who presents for services and determines their need. Coordinated Entry utilizes the Clarity system, a county-wide system to track homeless and income status, avoid duplication of services, monitor case management outcomes, and report on progress. In addition, we use client files to document progress toward goals. This data allows us to identify client needs, improve our internal processes, and report on client and program-level outcomes.

B.7. Identify all budgeted funds for project related costs. Include leveraged funding to exhibit financial sustainability of the project beyond the grant term if awarded.

Additional funds beyond this request to provide the total program cost for FY2025 will come from: Community donations and fundraising events: \$725,000 Not yet committed HHAP-2: \$183,370 Committed HHAP-3: \$295,515 Committed SB1090: \$312,360 Committed City of Atascadero: \$60,000 Committed City of Paso Robles: \$222,000 Committed HHIP: \$90,000 Committed Must Charities: \$114,958 Committed Note that total costs are anticipated to be higher in 2025-26 than costs reflected in the 2024 operating budget due to staff wages and benefits increases and higher overall operating costs.

B.8. Does your organization comply with the Generally Accepted Accounting Principles?

As outlined in 2 CFR § 200

Yes

Required Acknowledgement for Federal Grants or Contracts

B.9. Does your organization certify that, if awarded funds, it will comply with the requirements as shown as [Example Exhibit D-General Conditions](#) and [Example Exhibit E- Special Conditions](#)?

Yes

C. Proposed Project & Project Details

Case Id: 30236

Name: ECHO - 2025

Address: 6370 Atascadero Avenue, Atascadero, CA 93422

Completed by becca@carselgroup.com on 10/4/2024 2:57 PM

C. Proposed Project & Project Details

Please provide the following information.

C.1. Name of Proposed Project

ECHO Navigation Center Services

C.2. Project/Program Address

6370 Atascadero Avenue Atascadero, CA 93422

C.3. Areas Served-Select all that apply

- City of Arroyo Grande
- City of Atascadero
- City of Grover Beach
- City of Morro Bay
- City of Paso Robles
- City of Pismo Beach
- City of San Luis Obispo
- Unincorporated Community
- Countywide

C.4. Provide a brief narrative of the proposed project, including projected outcomes:

ECHO operates two Navigation Centers, ECHO Atascadero and ECHO Paso Robles, each with comprehensive services for San Luis Obispo County residents experiencing homelessness and those in danger of becoming homeless. ECHO also works to meet the needs of unsheltered residents who have not yet sought emergency shelter through street outreach services and the needs of residents who are housed but in danger of losing their housing through homeless prevention services. ECHO's Navigation Centers operate 90-Day Emergency Shelter programs that support clients in securing permanent housing; with this support, over 50% of clients find a home. Requested funds will support Navigation Center operating costs including shelter services, shelter and outreach case management, shelter coordination, eviction prevention and rapid rehousing case management and housing assistance funds, volunteer coordination, staff supervision, and administration costs. A total of 1,600 clients are expected to access services during 2025-26. Based on past performance, ECHO expects to rehouse or prevent eviction for at least 250 individuals during this timeframe, provide shelter and case management for 1,000 individuals, and provide outreach services for 600 individuals.

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Attachment E – If applicable, attach most recent annual performance report

***No files uploaded*

C.5. What is the level of need for this activity within SLO County? Please include data to support your answer.

Data for the 2024 Point-in-Time Count, the most recent county-wide survey of homeless residents, supports the high need for shelter, with 68% of the homeless surveyed lacking access to safe shelter. Our county's shortage of affordable housing units has created a challenging situation, leaving many people vulnerable to homelessness and housing insecurity. Being homeless has a tremendous negative impact on physical and mental well-being and regaining stable housing is a precursor to maintaining health. ECHO's shelter clients are struggling to re-gain housing after financial, medical, or relationship crises push them into homelessness. Some clients need job skills to enter the workforce, and most need increased and stable income to pay off debts and afford the high cost of housing on the Central Coast. They may also need to repair credit, apply for benefit programs, obtain medical or mental health treatment, secure reliable transportation, and earn enough to save money for a security deposit and rent. With housing costs continuing to skyrocket and vacancy rates extremely low, it takes time for clients to regain sufficient financial stability to obtain housing. ECHO's 90-day Emergency Shelter program provides at least three months of shelter and staff support, giving clients the time, safety, and support needed to stabilize or increase income and find permanent housing. To date in 2024, ECHO has supported 180 individuals to secure housing. ECHO also works to meet the needs of unsheltered residents who have not yet sought emergency shelter by offering street outreach services and the needs of residents who are housed but in imminent danger of losing their housing through homeless prevention services. So far in 2024, ECHO case managers have assisted an additional 72 people with homeless prevention resources so that can maintain their current housing.

C.5.a. Please upload the following documentation:

Attachment F – Timeline: Attach a timeline for key steps of project implementation. *Required

***No files uploaded*

C.6. Is this effort new, continuing, or expanding? Please describe.

This effort is expanding, in support of both the ECHO Paso Robles Navigation Center and ECHO Atascadero Navigation Center, 20 new beds being added to ECHO Atascadero, and the addition of eviction prevention/rapid rehousing funds to ECHO's County NOFA request. ECHO operates the only Navigation Centers located in the North County. ECHO has worked to develop these facilities and services to ensure that as many residents experiencing homelessness as possible have access to shelter, food, showers, and case management. This request will support 130 beds plus an additional 20 beds that will be added by the end of 2025, for a total of 150 beds. It will also support expanded housing assistance funds for North County residents, to both prevent evictions and ensure rapid rehousing.

C.7. Describe how the project will align with a (or multiple) Line(s) of Effort to support the [San Luis Obispo Countywide Plan to Address Homelessness \(2022-2027\)](#).

This project will support Line of Effort 1 by maintaining and expanding shelter options, including the 50 beds in the Paso Robles shelter added during the pandemic, the 60 beds in the renovated and expanded Atascadero shelter, and 20 additional beds being constructed in 2025 (20 additional Paso Robles beds are fully supported by SB1090 funds for three years). The project will also support Line of Effort 2, reducing and eliminating barriers to housing stability for both sheltered and unsheltered residents through supportive services and housing navigation, and by providing eviction prevention, diversion and rapid rehousing assistance. Staff are actively reducing the length of time people are homeless and the number of people in shelters who are exiting homelessness. Most shelter clients participate in our 90-Day low-barrier program; this best practice is resulting in over 50% of 90-day clients who stay with the program at

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least one month finding permanent housing. As of September, 250 clients have secured stable housing in 2024 through our shelter, outreach, rapid rehousing, or eviction prevention services.

C.8. Select all population(s) expected to be served through this project:

- Adults with children
- Adults without children
- Elderly/Senior
- Parenting Youth
- Persons Experiencing Chronic Homelessness
- Persons At Risk of Homelessness
- Veterans
- Domestic Violence Survivors
- Persons with Disabilities
- Unaccompanied Youth (under 25 years of age)
- Individuals with Co-occurring Disorders (Substance Use and Mental Health)
- Low – Moderate Income Persons or Households

C.9. How does your program/service complement and collaborate with existing efforts in the County? Describe how the program/project will increase capacity of services/housing for persons experiencing homelessness and at-risk persons in the County.

ECHO's CEO participates on the Homeless Services Oversight Council to ensure alignment and collaboration with existing efforts in the County. Both the CEO and staff coordinate directly with county-wide homeless service providers to avoid duplication and maximize resources. This includes collaboration with CAPSLO and 5CHC to plan and implement homeless services funded through the County by federal and state funds. ECHO also collaborates with People's Self-Help Housing (PSHH) and Housing Authority SLO to administer ECHO Paso Robles. With the only Navigation Centers and shelters located in the North County, ECHO complements other resources. Many partnerships keep the two navigation centers operating. ECHO partners with the City of Atascadero and the County to sustain and expand ECHO Atascadero and improve outreach services and with the City of Paso Robles and the County to develop and expand ECHO Paso Robles. ECHO actively seeks out community partners who can be of support to our clients and works with local employers to place clients in jobs. ECHO partners with a wide range of community organizations to accept referrals and refer clients for services. These include Transitions-Mental Health Association, Community Health Centers, Twin Cities Community Hospital, The LINK, Center for Family Strengthening, 5CHC, CAPSLO, the Housing Authorities, PSHH, America's Jobs Center, Department of Social Services, Department of Rehabilitation, Social Security Administration, North County Connection, Veteran Affairs Supportive Housing, and more. ECHO's Navigation Centers are increasing the number of people experiencing homelessness who obtain housing within three months. Staff work intensively with clients to support them in increasing income and finding a permanent home. With over 160 people re-housed in 2023 and a more than 50% success rate in finding housing for 90-Day Emergency Shelter program participants, ECHO services ensure that community members do not remain homeless. This project will support operation of both Navigation Centers and the addition of ECHO Atascadero beds, ensuring that they continue to

provide both emergency shelter, outreach services, and case management to gain secure housing.

C.10. Describe any consultation with local jurisdictions to gain support for the project. Describe any support you have from local jurisdictions.

ECHO has consulted with the City of Atascadero and the City of Paso Robles for this funding opportunity and has received their support (see attached support letters). ECHO has a long history of support from and positive relationships with both of these cities where Navigation Centers are located. For example, the City of Paso Robles has made a second two-year funding commitment to ECHO Paso Robles' operation of \$222,000 per year and the City of Atascadero contracts with ECHO to provide case manager staffing for a homeless outreach team. Both cities have a history of providing CDBG funding for shelter operations. ECHO has also appreciated strong support from the County Board of Supervisors and State Representative Addis, who are kept informed with regular updates and who participate in ECHO events (see attached support letter).

Attachment G – Letters of Support: Please attach any letters of support or commitment from local governments or community partners.

***No files uploaded*

C.11. Describe how you will ensure that the proposed project is accessible to communities of color which are disproportionately impacted by homelessness, particularly Black, Latinx, Asian, Pacific Islander, and Native and Indigenous communities. If you have previously received a grant to serve any of the affected communities, please provide a brief description of those grant activities and the outcomes you achieved.

ECHO’s shelters are open to all communities for all programs. Shelter staff include people of color and services are offered in Spanish. Both ECHO Atascadero and ECHO Paso Robles have bilingual staff, including case managers and staff who provide interpretation and translation services. All client documents such as application forms and shelter information are offered in Spanish and much of the signage in facilities is bilingual. To promote ECHO services among communities of color, particularly Hispanic communities, ECHO maintains strong relationships with local service providers who refer Hispanic residents to ECHO. These providers include The Link, which has many bilingual, bicultural family advocates, and the Promotores Collaborative's community health workers who conduct outreach in Hispanic communities. ECHO also conducts outreach at SLO Food Bank distributions, many of which are targeted to Hispanic communities. A grant from Bank of America increased bilingual staffing from six staff to nine staff to ensure access by Spanish-speaking communities. A grant from MUST! Charities for COVID-19-related case management services in 2020-2021 provided Latino community members with homeless prevention and rapid rehousing resources, preventing homelessness or re-housing 179 people.

C.13. Indicate the predicted, unduplicated performance outcome listed below:

| Population | Number of Individuals Served | Number of Households Served |
|---|------------------------------|-----------------------------|
| Number of unsheltered persons to become sheltered | 1000 | |
| Number of people experiencing homelessness to be entering permanent housing | 250 | |
| Number of people experiencing Chronic Homelessness served | 265 | |
| Number of persons At-Risk of Homelessness served | 100 | |
| Number of Unaccompanied Youth served | 0 | |
| Number of Youth At-Risk of Homelessness served | 30 | |
| Number of persons in families with children served | 520 | |

| | | |
|-------|-------|---|
| Total | 2,165 | 0 |
|-------|-------|---|

D. Funding & Eligible Activities

Completed by becca@carselgroup.com on 10/4/2024 3:08 PM

Case Id: 30236

Name: ECHO - 2025

Address: 6370 Atascadero Avenue, Atascadero, CA 93422

D. Funding & Eligible Activities

Please provide the following information.

D.1. Total Funding Requested

\$909,737.00

D.1.a. Please upload the following documentation:

[Attachment H – Budget, Leveraged-Funds, and Budget Narrative](#): Attach a Budget and Budget Narrative for the project for which you are applying. The budget narrative should include FTEs to be provided. Please include the value of any matching funding. ***Required**

***No files uploaded*

D.2. Are you requesting HOME-TBRA funds?

No

D.3. Are you requesting CDBG funds?

Yes

D.3.a. Amount of CDBG funds requested:

\$127,036.00

D.3.b. Please indicate the amount you are requesting for each jurisdiction:

| Jurisdiction | Amount |
|-----------------|--------------|
| Arroyo Grande | \$0.00 |
| Atascadero | \$10,990.00 |
| Morro Bay | \$0.00 |
| Paso Robles | \$15,233.00 |
| Pismo Beach | \$0.00 |
| San Luis Obispo | \$0.00 |
| County | \$100,813.00 |
| Total | \$127,036.00 |

D.3.c. Estimated number of unduplicated persons to benefit from CDBG funds:

1,600

D.3.d. Estimated number of unduplicated households to benefit from CDBG funds:

1,090

D.3.e. Please select the national objective that best applies to the proposed project.

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Please refer to "[Basically CDBG](#)" or the "[CDBG Guide to National Objectives and Eligible Activities](#)" for more information regarding CDBG national objectives.

Low Moderate Income

LOW/MODERATE INCOME: Select which criteria the proposed project intends to qualify under to meet the Low/Moderate Income objective.

Low/Moderate Income Clientele

D.3.f. Identify all eligible activities that apply to the proposed project:

- Public Services -General
- Operating Costs of Homeless/AIDS Patients Programs
- Senior Services
- Handicapped Services
- Legal Services
- Youth Services
- Transportation Services
- Substance Abuse Services
- Services for Battered and Abused Spouses
- Crime Awareness or Neighborhood Cleanups
- Fair Housing Activities
- Tenant/Landlord/Housing Counseling
- Child Care Services
- Health Services
- Services for Abused and Neglected Children
- Mental Health Services
- Job Training and Job Placement Services
- Subsistence Payments, Homeless Assistance, Rental Housing Subsidies or Security Deposits
- Assistance to microenterprises (technical assistance, business support services, and other similar services to owners of microenterprises or persons developing microenterprises)
- Minor Home Repair

D.3.g. Explain how the proposed project meets the selected National Objective:

Services through ECHO's two Navigation Centers solely benefit clients who are homeless. This meets the LMI national objective because a specific group of people benefit who are all very low income.

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D.3.h. Will the services offered by your organization increase or expand as a result of CDBG assistance?

Yes

Explain how your services will increase or expand as a result of CDBG assistance:

Services will increase, with 20 beds being added at ECHO Atascadero by the end of 2025. This will include shelter coordination and case management for these additional shelter residents. Services will also increase through requested housing assistance funds that will expand ECHO's rapid rehousing and eviction prevention supports. CDBG funds will support a case manager, volunteer manager, supplies, and client direct aid as part of the overall operational costs of ECHO Atascadero and ECHO Paso Robles.

D.3.i. Describe how the project will directly benefit the populations identified.

This project directly benefits people experiencing homelessness by providing the shelter, outreach services, housing assistance funding, and case management support to connect to needed services, increase or stabilize income, and obtain permanent housing. Case managers help both shelter clients and unsheltered residents to eliminate barriers to stable housing, including medical and mental health care, transportation, budgeting and credit repair, career training, and more. For shelter clients, a safe intermediary living situation facilitates the path to stability. ECHO works to ensure that shelter clients do not need to return in the future. Clients receive the skills, tools, and information needed to maintain long-term financial stability, as well as the connections to community resources that can assist them before they might become homeless in the future.

D.4. Are you requesting PLHA funds?

Yes

D.4.a. Amount of PLHA funds requested:

\$268,098.00

D.4.b. Estimated number of unduplicated persons to benefit from PLHA funds:

1,600

D.4.c. Estimated number of unduplicated households to benefit from PLHA funds:

1,090

D.4.d. Identify all eligible activities that apply to the proposed project:

- Rapid Re-Housing
- Rental Assistance
- Supportive/Case Management
- Operating and Capital Costs for Navigation Centers
- Operating and Capital Costs for Emergency Shelters
- Operating and Capital Costs for New Construction, Rehabilitation, and Preservation of Permanent and Transitional Housing

D.4.e. Describe all eligible activities that apply to the proposed project:

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ECHO operates two Navigation Centers with overnight shelters and outreach staff, ECHO Atascadero and ECHO Paso Robles, that house residents from throughout San Luis Obispo County. Requested funds from PLHA will support operations manager and overnight coordinator staff, supplies and client direct aid as part of the overall operational costs of the two Navigation Centers. With this support, 600 outreach clients per year will receive services including navigation and case management, and 1,000 shelter clients will receive shelter, case management, and supportive services to help find permanent housing. Over 50% of clients in the 90-Day Emergency Shelter program find a stable home. ECHO Atascadero and ECHO Paso Robles are low-barrier shelters following Housing First practices. The sites are behavioral-based, with no drug or alcohol testing. People are not turned away for known issues. If someone is exited for safety violations they are welcome to reapply for services. Rules are based only on safety and there are no milestones that must be reached in order to access housing. ECHO also provides several levels of service based on the needs of the individual. Each level of service adheres to Housing First and low-barrier practices, which are embedded in policies, procedures, and staff training.

D.5. Are you requesting ESG funds?

Yes

D.5.a. Amount of ESG funds requested:

\$135,603.00

Attachment K – ESG Policies and Procedures for each activity you are applying for *Required

***No files uploaded*

D.5.b. Identify all eligible activities and their amounts that apply to the proposed project:

| Eligible Activities | Amount | Approximate Persons Served |
|-------------------------|---------------------|----------------------------|
| Emergency Shelter | \$0.00 | 0 |
| Street Outreach | \$57,200.00 | 300 |
| Rapid Re-Housing | \$20,000.00 | 10 |
| Homelessness Prevention | \$50,000.00 | 25 |
| HMIS | \$8,403.00 | 1600 |
| Total | \$135,603.00 | 1,935 |

D.5.c. ESG Matching Funds (1:1 Match Required)

| Funding Source | Amount |
|---------------------|---------------------|
| Community donations | \$135,603.00 |
| Total | \$135,603.00 |

D.6. Are you requesting General Fund Support funds?

Yes

D.6.a. Amount of GFS funds requested:

\$379,000.00

D.6.b. Estimated number of unduplicated persons to benefit from GFS funds:

1,600

D.6.c. Estimated number of unduplicated households to benefit from GFS funds:

1,090

D.6.d. Identify all eligible activities that apply to the proposed project:

- Emergency Shelters
- Warming Centers
- Safe Parking
- Street Outreach
- Essential Services for Persons Experiencing Homelessness
- Tenant Based Rental Assistance-TBRA

D.6.e. Describe all eligible activities that apply to the proposed project:

ECHO operates two Navigation Centers with overnight shelters, ECHO Atascadero and ECHO Paso Robles, housing residents from throughout San Luis Obispo County. Requested funds from GFS will support two case managers, an overnight coordinator, leadership staff, supplies, client direct aid, and shelter maintenance and utilities as part of the overall operational costs of the two Navigation Centers. With this support, 600 outreach clients per year will receive services including navigation and case management, and 1,000 shelter clients will receive shelter, case management, and supportive services to help find permanent housing. Over 50% of clients in the 90-Day Emergency Shelter program find a stable home.

E. Required Documents

Completed by becca@carselgroup.com on 10/4/2024 3:08 PM

Case Id: 30236

Name: ECHO - 2025

Address: 6370 Atascadero Avenue, Atascadero, CA 93422

E. Required Documents

Please provide the following information.

Documentation

Attachment L – Supplemental Documentation

***No files uploaded*

Submit

Completed by becca@carselgroup.com on 10/4/2024 3:13 PM

Case Id: 30236

Name: ECHO - 2025

Address: 6370 Atascadero Avenue, Atascadero, CA 93422

Submit

Please provide the following information.

The applicant certifies that all information contained in this application, and supporting documentation, given for the purpose of obtaining assistance, is true and complete to the best of the applicant's knowledge.

I hereby certify that our organization has complied with all applicable laws and regulations pertaining to the application and is an eligible applicant for the requested funding. The organization proposes to provide the program services or complete the project identified in this application. If this application is approved and this organization receives the requested funding this organization agrees to adhere to all relevant Federal, State, and local regulations and other assurances as required by the Commission.

I hereby certify that the organization is fully capable of fulfilling its obligation under this application, as stated herein.

I further certify that the information provided in this Funding Application is correct, accurate, and complete.

In addition, the content of the application shall be incorporated as part of the written agreement and, as such, will be used to monitor performance. Activities, commitments, and representations described in the written agreement that are not subsequently made a part of the program/project as funded shall be considered a material contract failure and may result in a repayment of all awarded funds and/or suspension from participation in future funding rounds.

Authorized Representative Signature

Rebecca Carsel

Electronically signed by becca@carselgroup.com on 10/4/2024 3:08 PM

Authorized Representative Title

Grant Writer

Overview

Completed by janna.nichols@5chc.org on 10/3/2024 3:55 PM

Case Id: 30246

Name: 5Cities Homeless Coalition - 2025

Address: 100 S 4TH ST, GROVER BEACH, CA 93433

Overview

Please provide the following information.



County of San Luis
Obispo
Public Service Grants
Program

Department of Social Services
Adult and Homeless Services Branch
PO Box 8119
San Luis Obispo, CA 93403-8119
SS_HomelessGrants@co.slo.ca.us

For each Public Services (including Minor Home Repair) funding source, an overview is available that includes program description, federal award information, eligible applicants, eligible activities, eligible beneficiaries, and reporting in the County of San Luis Obispo Notice of Funding Availability, 2025 Action Plan:

- Section II.C for Community Development Block Grant (CDBG) Overview
- Section II.D for Emergency Solutions Grant (ESG) Overview
- Section II.E for HOME-TBRA Investment Partnerships Program (HOME) Overview
- Section II.F for Permanent Local Housing Allocation (PLHA) Overview
- Section II.H for General Fund Support (GFS) Overview

A. Applicant Information

Completed by janna.nichols@5chc.org on 10/6/2024 1:16 PM

Case Id: 30246

Name: 5Cities Homeless Coalition - 2025

Address: 100 S 4TH ST, GROVER BEACH, CA 93433

A. Applicant Information

Please provide the following information.

PRIMARY APPLICANT INFORMATION-LEAD AGENCY

A.1. Organization Name

5Cities Homeless Coalition

A.2. Type of Organization

Non-Profit

A.2.b. Please upload the following documentation:

Attachment A - Proof of Active SAM.gov Registration *Required

***No files uploaded*

A.3. UEI Number: For more information, visit [SAM.GOV](https://sam.gov)

KR8JGGKBKEP9

A.4. Address

100 S 4TH ST GROVER BEACH, CA 93433

A.5. Is the organization faith based?

No

A.6. Date of Incorporation

03/03/2009

A.6.a. Please upload the following documentation:

Attachment B – Incorporation Documents *Required

***No files uploaded*

Attachment C – Organization Mission Statement *Required

***No files uploaded*

A.7. Required Acknowledgement of Insurance Requirements. Has your organization read and understood the insurance requirements listed in “Example Exhibit D – General Conditions” in the Library?

Yes

A.8. Annual Operating Budget

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\$7,360,000.00

A.9. Number of Paid Staff

52

A.10. Number of Volunteers

200

CONTACT INFORMATION

A.11. Contact Person Name

JANNA NICHOLS

A.12. Contact Person Title

Executive Director

A.13. Phone Number

(180) 547-1740

A.14. Email

janna.nichols@5chc.org

B. Applicant Capacity

Completed by janna.nichols@5chc.org on 10/6/2024 1:20 PM

Case Id: 30246

Name: 5Cities Homeless Coalition - 2025

Address: 100 S 4TH ST, GROVER BEACH, CA 93433

B. Applicant Capacity

Please provide the following information.

B.1. Describe the organization's history of receiving and managing grants from County/State/Federal sources.

Currently 5CHC is contracted through 44 local, federal and state grants to provide nearly \$7 million in services. Through multiple grant monitoring activities to review 5CHC program and expenditure compliance for all local, state and federal grants, 5CHC has consistently received high praise for program quality and outcomes; reporting; compliance; and timeliness; and has never received a significant finding in an audit. Through CARES Act CV funds, 5CHC expended more than \$5 Million in services and facility development since 2021, including subcontracting with multiple other providers and ensuring their compliance. 5CHC is timely in providing required reports and its billing process, meeting all required expenditure deadlines. 5CHC's outcomes consistently exceed agreed upon program metrics.

B.2. Describe how the organization participates in HMIS, Coordinated Entry, and the San Luis Obispo County Continuum of Care.

5CHC has participated in HMIS since 2014 and has staff dedicated to this fulfill this activity in addition to program staff. In the past year more than 5 of the Coalition's staff have worked with the County to assess and invest in a new HMIS system, including the on-going HSOC Data Workgroup. 5CHC Executive Director is a member of the HMIS Project Steering Committee. The agency's Executive Director is currently an active member of HSOC, the Continuum of Care oversight body. 5CHC staff regularly participate in all standing committees and work groups. 5CHC is an engaged HSOC member, far exceeding the meeting attendance threshold of the HSOC bylaws, for both committee and full HSOC meetings. Historically 5CHC's Executive Director volunteered to serve as chair of both the Data/Finance and Service Coordination committees, and volunteered on the steering committee for the County's Homeless Services Strategic Plan. Beginning in 2019 5CHC joined with CAPSLO to participate in Coordinated Entry as a key intake partner. Annually 5CHC has far exceeded the number of CE's completed per contract requirements. 5CHC staff are among the most active members of the HSOC Coordinated Entry Advisory Committee, and the various workgroups addressing Coordinated Entry reform efforts. 5Cities Homeless Coalition has been a regional lead in every Point in Time Count conducted in the county since 2013, helping to both plan for the count as well as ensure effective regional volunteer recruitment and implementation. In each count, 5CHC has dedicated 10 or more staff members to assist in the count. Recently 5Cities Homeless Coalition, working with the CoC, has re-initiated a Transitional-Age Youth Advisory Board. The Youth Board held its inaugural meeting, under 5CHC's leadership, in September. The group is working to define its role, processes for YAB participation and membership, work plan topics and calendar, with the intent of presenting some recommendations to HSOC in the Spring of 2025.

B.3. Briefly describe your organization's auditing requirements, including those for the proposed project.

As outlined in 2 CFR § 200.500 and 24 CFR § 5.801

5CHC complies with all applicable federal laws, statutes, and regulations including the uniform financial reporting standards (24 CFR § 5.801) and the Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards (2 CFR Part 200). 5CHC annually engages multiple monitoring reviews for various government contracts. 5CHC has never received a significant finding in any monitoring review. 5CHC also contracts for an independent audit annually. For the past two years, since 2021-22 (due to increased federally sourced income) 5CHC has contracted for a

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more rigorous “Single Audit”. 5CHC's Single Audit for 2022-23 is attached; as in the prior year, there were no significant findings by the auditor. 5CHC has engaged a local accounting firm, Glenn-Burdette, to undertake an audit for our most recent fiscal year 2023-24. This audit is expected to be completed by February 2025.

B.3.a. Please upload the following documentation:

Attachment D - Most Recent Audit *Required

***No files uploaded*

B.4. Describe the organization’s experience delivering related programs/projects.

Through three interim housing navigation centers and one drop-in access service center, 5Cities Homeless Coalition (5CHC) assists people experiencing homelessness and those at risk of homelessness to obtain and retain housing by offering a spectrum of wrap-around supportive services including coordinated entry and diversion (including funding for immediate needs and relocation); street outreach; emergency shelter and interim housing; and housing stabilization services to obtain or retain housing (including application fees, deposit, rent, past rent, utility assistance and case management). 5Cities Homeless Coalition began offering services in 2012, initially at a single office location. Since that time, 5CHC has expanded with a multi-service access center and three navigation centers. 5CHC’s programs have expanded in partnership with our community to include a comprehensive array of services to meet the needs of the continuum. 5CHC has built its program looking at best practices from multiple providers; including a special focus of hiring those with lived experience as homeless and/or incarcerated. 5CHC endeavors to build trust, develop a sense of community, and respect. We serve as a client advocate, reducing barriers to services, follow evidence based-models of care, motivational interviewing. See 5CHC's year-end service report (2023-24), and examples of recently submitted program reports (by funding source) in the supplemental documents.

B.5. How will you document and maintain income status or presumed benefit status of each beneficiary in compliance with regulations?

5CHC has several methods for verifying income. Initial steps include self-certification of income by the client during intake assessment. This is followed by documentation collection, in which clients provide proof of income (e.g. employment pay stubs, Cash-Aid report, child support, SSA Benefits award letter, etc.). If a client is working a cash-only job, we allow them to submit an employment verification form signed by their employer with appropriate contact information. Once documents are collected, case managers complete the Income Calculation sheet which calculates gross income for the household; calculations are then approved by the program supervisor. Annual gross income is used to determine AMI level based on household size. 5CHC understands documentation collection may be a barrier to some households and assists in whatever ways possible to obtain necessary documentation. Those verified to be currently homeless with no income documentation are presumed to be low-income. Re-determination for program eligibility occurs every 3 months for homelessness prevention clients and annually for rapid re-housing clients.

B.6. Briefly describe your agency’s record keeping system with relevance to the proposed project.

In keeping with our policies and procedures for this program, all client files are compiled and maintained according to a detailed program activity checklist, utilizing standard forms for all services. Included in this are reference notes for any required periodic updates or re-certifications. All applicable information is entered in HMIS at program entry, exit, and as appropriate for the project. 5CHC has staff dedicated to reviewing all client files regularly for accuracy and completeness. All payment requests include a detail of the client info, activity, funding source, and purpose. These requests for financial assistance become part of the client file and are cross referenced for appropriate documentation in the invoicing process. 5CHC also maintains a client walk-in and call log at our Access Center, noting the purpose of the call/visit. This is updated daily and is maintained by 5CHC’s Coordinated Entry, Resource and Referral Specialists. Data from this log is often used to cross-reference prior contact with an individual who was not previously entered into a

project in HMIS by 5CHC. All files are maintained electronically on 5CHC's secure server, which is securely backed up daily off-site.

B.7. Identify all budgeted funds for project related costs. Include leveraged funding to exhibit financial sustainability of the project beyond the grant term if awarded.

It should be noted that the sustainability of this program is wholly determined by funding levels. As the majority of funds are spent on direct financial assistance, averaging approximately \$3,000 per household, the success of the program and its future sustainability, are dependent on funding support for which there are limited sources. Sources: CDBG, HOME, and CalAIM (HHIP 3). Additionally in-kind matching funds will be provided through case management services by Consortium members. The impact of CalAIM's soon to roll-out "Transitional Rent" Community Support is not yet clear, as eligibility and guidelines are yet to be finalized.

B.8. Does your organization comply with the Generally Accepted Accounting Principles?

As outlined in 2 CFR § 200

Yes

Required Acknowledgement for Federal Grants or Contracts

B.9. Does your organization certify that, if awarded funds, it will comply with the requirements as shown as [Example Exhibit D-General Conditions](#) and [Example Exhibit E- Special Conditions](#)?

Yes

C. Proposed Project & Project Details

Case Id: 30246
Name: 5Cities Homeless Coalition - 2025
Address: 100 S 4TH ST, GROVER BEACH, CA 93433

Completed by *janna.nichols@5chc.org* on 10/6/2024 1:48 PM

C. Proposed Project & Project Details

Please provide the following information.

C.1. Name of Proposed Project

Homeless Prevention – Countywide Services

C.2. Project/Program Address

100 S 4TH ST GROVER BEACH, CA 93433

C.3. Areas Served-Select all that apply

- City of Arroyo Grande
- City of Atascadero
- City of Grover Beach
- City of Morro Bay
- City of Paso Robles
- City of Pismo Beach
- City of San Luis Obispo
- Unincorporated Community

Name of Unincorporated Community:

All eligible communities in San Luis Obispo County.

- Countywide

C.4. Provide a brief narrative of the proposed project, including projected outcomes:

5CHC seeks to continue its highly successful Homeless Prevention program to help families at-risk of homeless remain in their home, with an anticipated 165 households receiving assistance. 5CHC's track record has demonstrated that less than 2% of those served in the prior 24 months have fallen into homelessness after receiving assistance.

- Attachment E – If applicable, attach most recent annual performance report

***No files uploaded*

C.5. What is the level of need for this activity within SLO County? Please include data to support your answer.

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It is abundantly documented that stable housing, health and self-sufficiency are the keys to addressing the challenges of homelessness. 5CHC is a community leader in providing these services to residents of San Luis Obispo County who are experiencing homelessness or who are at-risk; however, we are seeing an alarming spike in requests for assistance. According to a 2022 data analysis by Porch, an online home improvement and home-buying advice website, the San Luis Obispo area is the now second least affordable small metro area in the entire United States. It is estimated that, just since the on-set of COVID, that area rental rates have increased more than 30%. The high cost of housing here in San Luis Obispo County is approximately 53% higher than the national average, according to Zillow with the median rental rate having increased \$400. One of the six policy recommendations made in the UCSF study, California Statewide Study of People Experiencing Homelessness, is to “expand targeted homelessness prevention (e.g., financial support, legal assistance) at service settings (e.g., social service agencies, healthcare settings, domestic violence services, community organizations) for both leaseholders and non-lease holders. Expand prevention and transition services at institutional exits (jails, prisons). Expand and strengthen eviction protections.” More than 80% of participants in this study, who were experiencing homelessness, believed receiving a one-time payment of \$5,000-\$10,000 would have prevented their homelessness. Those experiencing homelessness who lack rental history, have poor credit, lower income, or criminal history are especially challenged in the current housing market. 5CHC has utilized landlord incentives in prior projects and it has proved to be a vital component to secure housing for this population. 5CHC has assisted 77 individuals re-gain housing, who would not have otherwise been able to secure housing, with the landlord incentive program. Beyond assisting with rental assistance to prevent eviction, 5CHC also puts considerable resources towards utility assistance, car repairs, food assistance, etc. that are often symptomatic of growing financial instability. Without early intervention these issues can easily compound and lead to increased housing instability and risk of homelessness. For the current year these requests have skyrocketed, as several utility assistance programs were cut (both federally and by the State). In fiscal year 2023-24, 5CHC invested more than \$500,000 in direct financial assistance, plus case management services, to help 479 residents (206 households) throughout San Luis Obispo County to keep their home and not fall into homelessness (see 5CHC’s year-end report fy 23-24). The average investment per household is less than \$2,800. In tracking the outcomes of this program, less than 2% of those served in the last 24 months have fallen into homelessness. 5CHC attempted to include multiple hyperlinks in this response to provide requested data. These hyperlinks are available upon request.

C.5.a. Please upload the following documentation:

Attachment F – Timeline: Attach a timeline for key steps of project implementation. *Required

***No files uploaded*

C.6. Is this effort new, continuing, or expanding? Please describe.

While this is a continuing program, 5CHC is seeking increased support. For the current fiscal year (24-25) funding for homeless prevention services was reduced by more than \$200,000. This equates to approximately a reduction in 5CHC’s ability to assist approximately 75 families.

C.7. Describe how the project will align with a (or multiple) Line(s) of Effort to support the [San Luis Obispo Countywide Plan to Address Homelessness \(2022-2027\)](#).

The proposed project is directly aligned with Line of Effort 2 and Line of Effort 3 in the plan. Line of Effort 2: Focus efforts to reduce or eliminate the barriers to housing stability for those experiencing homelessness or at risk of homelessness, including prevention, diversion, supportive services, and housing navigation efforts. In particular this program addresses Line of Effort 2.D. which calls for preventing “homelessness through expanded diversion efforts (also known as housing problem solving or family reunification) and homeless prevention capacity.” In order to stem the flow of those falling into homelessness in our county, and reach the County’s goal of reducing homelessness by 50%, additional resources are necessary to ensure fewer people enter the homeless services system. Homeless

prevention is one of the most cost-effective strategies to reduce the incidence of homelessness in a community. According to the 2023 study by Notre Dame University's Wilson Sheehan Lab for Economic Opportunities (LEO), in addition to helping individuals and families maintain their housing, the LEO study suggests this community-wide prevention program is cost-effective and yields benefits to the broader community. Researchers estimated that the Homelessness Prevention System produces \$2.47 in estimated benefits for every \$1 dollar spent on emergency financial assistance. 5CHC attempted to include multiple hyperlinks in this response to provide requested data. These hyperlinks are available upon request.

C.8. Select all population(s) expected to be served through this project:

- Adults with children
- Adults without children
- Elderly/Senior
- Parenting Youth
- Persons Experiencing Chronic Homelessness
- Persons At Risk of Homelessness
- Veterans
- Domestic Violence Survivors
- Persons with Disabilities
- Unaccompanied Youth (under 25 years of age)
- Individuals with Co-occurring Disorders (Substance Use and Mental Health)
- Low – Moderate Income Persons or Households

C.9. How does your program/service complement and collaborate with existing efforts in the County? Describe how the program/project will increase capacity of services/housing for persons experiencing homelessness and at-risk persons in the County.

5CHC Homeless Services program is integrated in the local Continuum of Care (CoC), focusing on collaboration and strategic action. Homeless Prevention strategies are one of the initial efforts provided, throughout the compendium of services. 5CHC receives referrals from agencies across the service continuum, not solely those who provide Coordinated Entry assessments. In an effort to build core competencies of service providers within the CoC, 5CHC collaborates with area partners on evidence-based trainings (Mental Health First Aid, Trauma-Informed Care, Motivational Interviewing, etc.) 5CHC also has a program of providing staff trainings monthly with other service professionals and partner agencies. 5CHC seeks to streamline services through collaborative work with service providers throughout the County. By coordinating efforts and providing consistent services throughout the County, 5CHC ensures the ability to maximize resources and prevent duplication of services and benefits.

C.10. Describe any consultation with local jurisdictions to gain support for the project. Describe any support you have from local jurisdictions.

Please see the attached letters of support from South County cities of Grover Beach, Pismo Beach and Grover Beach. While 5CHC works most closely with these jurisdictions, 5CHC homeless prevention efforts have been provided

county-wide, as demonstrated in the table below. 2023-24 Homeless Prevention Assistance Per Jurisdiction Arroyo Grande Households: 33 Total: \$134,173 % of Dollars Spent in this Jurisdiction: 26% Pismo Beach Households: 8 Total: \$20,920 % of Dollars Spent in this Jurisdiction: 4% SLO Households: 23 Total: \$83,169 % of Dollars Spent in this Jurisdiction: 16% Morro Bay Households: 5 Total: \$22,423 % of Dollars Spent in this Jurisdiction: 4% Atascadero Households: 10 Total: \$30,292 % of Dollars Spent in this Jurisdiction: 6% Paso Robles Households: 38 Total \$144,665 % of Dollars Spent in this Jurisdiction: 28% County Households: 18 Total: \$75,500 % of Dollars Spent in this Jurisdiction: 15%

Attachment G – Letters of Support: Please attach any letters of support or commitment from local governments or community partners.

***No files uploaded*

C.11. Describe how you will ensure that the proposed project is accessible to communities of color which are disproportionately impacted by homelessness, particularly Black, Latinx, Asian, Pacific Islander, and Native and Indigenous communities. If you have previously received a grant to serve any of the affected communities, please provide a brief description of those grant activities and the outcomes you achieved.

5CHC has a policy of promoting inclusiveness and diversity to enrich its programmatic effectiveness, which is reflected in the composition and language skills of our staff. 5CHC has received multiple awards through UnDocuSupport, and worked extensively on the 2020 Census to survey hard-to-reach populations. 5CHC is a member of the Diversity Coalition San Luis Obispo County. 5CHC maintains strong partnerships with other members of the UndocuSupport Coalition and fosters relationships with new and emerging efforts to serve the immigrant population, such as Immigrant Hope – Arroyo Grande.

C.13. Indicate the predicted, unduplicated performance outcome listed below:

| Population | Number of Individuals Served | Number of Households Served |
|---|------------------------------|-----------------------------|
| Number of unsheltered persons to become sheltered | | |
| Number of people experiencing homelessness to be entering permanent housing | | |
| Number of people experiencing Chronic Homelessness served | | |
| Number of persons At-Risk of Homelessness served | 426 | 165 |
| Number of Unaccompanied Youth served | | |
| Number of Youth At-Risk of Homelessness served | | |
| Number of persons in families with children served | | |
| Total | 426 | 165 |

D. Funding & Eligible Activities

Completed by janna.nichols@5chc.org on 10/6/2024 2:07 PM

Case Id: 30246

Name: 5Cities Homeless Coalition - 2025

Address: 100 S 4TH ST, GROVER BEACH, CA 93433

D. Funding & Eligible Activities

Please provide the following information.

D.1. Total Funding Requested

\$881,049.00

D.1.a. Please upload the following documentation:

[Attachment H – Budget, Leveraged-Funds, and Budget Narrative](#): Attach a Budget and Budget Narrative for the project for which you are applying. The budget narrative should include FTEs to be provided. Please include the value of any matching funding. ***Required**

***No files uploaded*

D.2. Are you requesting HOME-TBRA funds?

Yes

D.2.a. Amount of HOME-TBRA funds requested:

\$769,779.00

D.2.b. Estimated number of unduplicated persons to benefit from HOME-TBRA funds:

372

D.2.c. Estimated number of unduplicated households to benefit from HOME-TBRA funds:

144

D.2.d. Provide proposed funding amounts and approximate number of households to be served:

| Funding Type | Amount | Approximate Households Served |
|--------------------------|--------|-------------------------------|
| Rental Subsidy | \$0.00 | 371 |
| Utility Deposit Subsidy | \$0.00 | |
| Security Deposit Subsidy | \$0.00 | |
| Total | \$0.00 | 371 |

D.2.e. Please describe your organization’s client application, intake, and preliminary assessment process.

5CHC is a member of the Coordinated Entry collaborative, a system utilized by Homeless Service Providers throughout the County that provides a standardized intake assessment and referrals to ensure a more consistent and streamlined experience for those seeking services. During this initial intake, clients complete a comprehensive needs assessment, identify barriers to employment or housing, and develop an immediate action plan. Additionally, this assessment provides an opportunity to identify what services or resources a client is already connected to in an effort to reduce duplication of services. Clients are screened for homeless status (homeless certification forms) and income eligibility.

D.2.f. Describe your organizational collaboration with other local organizations to assist TBRA income eligible households.

5CHC engages with a broad spectrum of community partners to provide housing assistance, working extensively with the more than 20 member organizations of the Supportive Housing Consortium. In particular 5CHC partners with ECHO and CAPSLO, as part of the coordinated entry system. Additionally, 5CHC has built an even more extensive referral network with the Legal Assistance Foundation, and Family Resource Centers throughout the County, and Family Care Network. 5CHC has become the hub for Rapid Re-housing and Homeless Prevention services, serving clients from San Miguel to Cambria to Nipomo with the help of our partners. This referral network has allowed us to maximize our resources, coordinate efforts, and prevent duplication of services and benefits.

D.2.g. HOME-TBRA Matching Funds

| Funding Source | Amount |
|--|--------------|
| In-Kind Case Management - Supportive Housing Consortium Estimate \$38.57/hour (including fringe) X 500 Hours | \$192,445.00 |
| Total | \$192,445.00 |

Please upload the following documentation:

Attachment I – Match Certification Letter: 25% match required for HOME TBRA ***Required**

***No files uploaded*

Attachment J – HOME-TBRA Policies and Procedures

***No files uploaded*

D.3. Are you requesting CDBG funds?

Yes

D.3.a. Amount of CDBG funds requested:

\$9.00

D.3.b. Please indicate the amount you are requesting for each jurisdiction:

| Jurisdiction | Amount |
|-----------------|-------------|
| Arroyo Grande | \$9,600.00 |
| Atascadero | \$3,600.00 |
| Morro Bay | \$3,000.00 |
| Paso Robles | \$17,150.00 |
| Pismo Beach | \$5,000.00 |
| San Luis Obispo | \$9,920.00 |
| County | \$13,000.00 |
| Total | \$61,270.00 |

D.3.c. Estimated number of unduplicated persons to benefit from CDBG funds:

30

D.3.d. Estimated number of unduplicated households to benefit from CDBG funds:

11

D.3.e. Please select the national objective that best applies to the proposed project.

Please refer to "[Basically CDBG](#)" or the "[CDBG Guide to National Objectives and Eligible Activities](#)" for more information regarding CDBG national objectives.

Low Moderate Income

LOW/MODERATE INCOME: Select which criteria the proposed project intends to qualify under to meet the Low/Moderate Income objective.

Limited Clientele

D.3.f. Identify all eligible activities that apply to the proposed project:

- Public Services -General
- Operating Costs of Homeless/AIDS Patients Programs
- Senior Services
- Handicapped Services
- Legal Services
- Youth Services
- Transportation Services
- Substance Abuse Services
- Services for Battered and Abused Spouses
- Crime Awareness or Neighborhood Cleanups
- Fair Housing Activities
- Tenant/Landlord/Housing Counseling
- Child Care Services
- Health Services
- Services for Abused and Neglected Children
- Mental Health Services
- Job Training and Job Placement Services
- Subsistence Payments, Homeless Assistance, Rental Housing Subsidies or Security Deposits
- Assistance to microenterprises (technical assistance, business support services, and other similar services to owners of microenterprises or persons developing microenterprises)
- Minor Home Repair

D.3.g. Explain how the proposed project meets the selected National Objective:

Printed By: Nathan Lenski on 10/9/2024

13 of 16

Assistance will be provided to benefit a clientele who are generally presumed by HUD to be principally L/M income persons - those who are homeless. This population is among those who are currently presumed by HUD to be made up principally of L/M income persons: Reference: §570.208(a)(2)(i)(A) Additionally, as some assistance will be provided to those of imminent threat of homelessness, 5CHC's program additionally requires information on family size and income so that it is evident that at least 51% of the clientele are persons whose family income does not exceed the L/M income limit. Reference: §570.208(a)(2)(i)(B) and (C)

D.3.h. Will the services offered by your organization increase or expand as a result of CDBG assistance?

Yes

Explain how your services will increase or expand as a result of CDBG assistance:

While this is a continuing program, 5CHC is seeking increased support. For the current fiscal year (24-25) funding for homeless prevention services was reduced by more than \$200,000. This equates to approximately a reduction in 5CHC's ability to assist approximately 75 families.

D.3.i. Describe how the project will directly benefit the populations identified.

Funding will be used to provide short-term rental assistance, coupled with supportive services, to enable low-income families to remain in their home and not fall into homelessness. 5CHC has documented that less than 2% of those served in the last 24 months in this program have fallen into homelessness.

D.4. Are you requesting PLHA funds?

No

D.5. Are you requesting ESG funds?

No

D.6. Are you requesting General Fund Support funds?

No

E. Required Documents

Completed by janna.nichols@5chc.org on 10/6/2024 2:08 PM

Case Id: 30246

Name: 5Cities Homeless Coalition - 2025

Address: 100 S 4TH ST, GROVER BEACH, CA 93433

E. Required Documents

Please provide the following information.

Documentation

Attachment L – Supplemental Documentation

***No files uploaded*

Submit

Completed by janna.nichols@5chc.org on 10/6/2024 2:08 PM

Case Id: 30246

Name: 5Cities Homeless Coalition - 2025

Address: 100 S 4TH ST, GROVER BEACH, CA 93433

Submit

Please provide the following information.

The applicant certifies that all information contained in this application, and supporting documentation, given for the purpose of obtaining assistance, is true and complete to the best of the applicant's knowledge.

I hereby certify that our organization has complied with all applicable laws and regulations pertaining to the application and is an eligible applicant for the requested funding. The organization proposes to provide the program services or complete the project identified in this application. If this application is approved and this organization receives the requested funding this organization agrees to adhere to all relevant Federal, State, and local regulations and other assurances as required by the Commission.

I hereby certify that the organization is fully capable of fulfilling its obligation under this application, as stated herein.

I further certify that the information provided in this Funding Application is correct, accurate, and complete.

In addition, the content of the application shall be incorporated as part of the written agreement and, as such, will be used to monitor performance. Activities, commitments, and representations described in the written agreement that are not subsequently made a part of the program/project as funded shall be considered a material contract failure and may result in a repayment of all awarded funds and/or suspension from participation in future funding rounds.

Authorized Representative Signature

Janna Nichols

Electronically signed by janna.nichols@5chc.org on 10/6/2024 2:08 PM

Authorized Representative Title

Executive Director

Overview

Completed by aperez@atascadero.org on 10/2/2024 9:15 AM

Case Id: 30254

Name: City of Atascadero - 2025

Address: 6500 Palma Avenue, Atascadero, CA 93422

Overview

Please provide the following information.



Neighborhoodly Administration and Capacity Building Application Urban County of San Luis Obispo

Department of Social Services
Adult and Homeless Services Branch
PO Box 8119
San Luis Obispo, CA 93403-8119
SS_HSDinfo@co.slo.ca.us

Please review the Notice of Funding Availability (NOFA) and Application Guidelines before submitting your application. All applications must meet the eligibility criteria and requirements set forth in the NOFA. The Urban County of San Luis Obispo receives funding from local, state, and federal sources including Community Development Block Grant (CDBG), HOME Investment Partnership (HOME), and Emergency Solutions Grant (ESG). Please be aware that the CDBG, HOME, and ESG fund sources are not permitted to support activities or projects located in the City of Grover Beach.

Cities participating in the Urban County of San Luis Obispo are eligible to apply for funding from the CDBG grant for Administration and/or Capacity Building projects.

A. Applicant Information

Completed by mrcastle@co.slo.ca.us on 10/4/2024 9:11 AM

Case Id: 30254

Name: City of Atascadero - 2025

Address: 6500 Palma Avenue, Atascadero, CA 93422

A. Applicant Information

Please provide the following information.

PRIMARY APPLICANT INFORMATION-LEAD AGENCY

A.1. Organization Name

City of Atascadero

A.2. Type of Organization

Government Or Public Entity

A.3. UEI Number: For more information, visit [SAM.GOV](https://sam.gov)

J4ZKW85KJ1H8

A.3.a. Please upload the following documentation:



Attachment A - Proof of Active SAM.gov Registration ***Required**

***No files uploaded*

A.4. Address

6500 Palma Avenue
Atascadero, CA 93422

CONTACT INFORMATION

A.5. Contact Person Name

Ryan Hayes

A.6. Contact Person Title

Deputy Director/ Principal Civil Engineer

A.7. Phone Number

(805) 470-3424

A.8. Email

rhayes@atascadero.org

B. Proposed Project & Project Details

Case Id: 30254
Name: City of Atascadero - 2025
Address: 6500 Palma Avenue, Atascadero, CA 93422

Completed by mrcastle@co.slo.ca.us on 10/4/2024 9:12 AM

B. Proposed Project & Project Details

Please provide the following information.

B.1. Name of Proposed Project

2025 CDBG Administration

B.2. Project/Program Address

6500 Palma Avenue
Atascadero, CA 93422

B.3. Areas Served-Select all that apply

- City of Arroyo Grande
- City of Atascadero
- City of Morro Bay
- City of Paso Robles
- City of Pismo Beach
- City of San Luis Obispo

B.4. Proposed Project Type-A separate application must be submitted for each project type.

Administration (24 CFR 570.206)

B.5. Provide a brief narrative of the proposed project and how funds will be used for administration or planning and capacity building.

CDBG administration and oversight is necessary for the award and execution of CDBG projects.

B.6. Required Acknowledgement for Federal Grants or Contracts. Does your organization certify that, if awarded funds, it will comply with the requirements as shown as ["Example Exhibit D-General Conditions"](#) and ["Example Exhibit E-Special Conditions"](#)?

Yes

C. Funding & Eligible Activities

Completed by mrcastle@co.slo.ca.us on 10/4/2024 9:13 AM

Case Id: 30254

Name: City of Atascadero - 2025

Address: 6500 Palma Avenue, Atascadero, CA 93422

C. Funding & Eligible Activities

Please provide the following information.

C.2.a. Please upload the following documentation:

Attachment B - Most Recent Audit ***Required**

***No files uploaded*

D. Required Documents

Completed by aperez@atascadero.org on 10/2/2024 9:18 AM

Case Id: 30254

Name: City of Atascadero - 2025

Address: 6500 Palma Avenue, Atascadero, CA 93422

D. Required Documents

Please provide the following information.

Documentation

Attachment C - Supplemental Documentation

***No files uploaded*

Submit

Completed by aperez@atascadero.org on 10/2/2024 1:54 PM

Case Id: 30254

Name: City of Atascadero - 2025

Address: 6500 Palma Avenue, Atascadero, CA 93422

Submit

Please provide the following information.

The applicant certifies that all information contained in this application, and supporting documentation, given for the purpose of obtaining assistance, is true and complete to the best of the applicant's knowledge.

I hereby certify that our organization has complied with all applicable laws and regulations pertaining to the application and is an eligible applicant for the requested funding. The organization proposes to provide the program services or complete the project identified in this application. If this application is approved and this organization receives the requested funding this organization agrees to adhere to all relevant Federal, State, and local regulations and other assurances as required by the Commission.

I hereby certify that the organization is fully capable of fulfilling its obligation under this application, as stated herein.

I further certify that the information provided in this Funding Application is correct, accurate, and complete.

Authorized Representative Signature

Anel Perez

Electronically signed by aperez@atascadero.org on 10/2/2024 1:52 PM

Authorized Representative Title

Administrative Assistant

Overview

Completed by aperez@atascadero.org on 10/1/2024 11:53 AM

Case Id: 30253
Name: City of Atascadero - 2025
Address: Viejo Camino, Atascadero, CA 93422

Overview

Please provide the following information.



County of San Luis Obispo Public Facilities and Infrastructure Program

**Department of Social Services
Adult and Homeless Services Branch**
PO Box 8119
San Luis Obispo, CA 93403-8119
SS_HomelessGrants@co.slo.ca.us

Please review the Notice of Funding Availability (NOFA) and Application Guidelines before submitting your application. All applications must meet the eligibility criteria and requirements set forth in the NOFA. The Urban County of San Luis Obispo receives funding from local, state, and federal sources including Community Development Block Grant (CDBG), HOME Investment Partnership (HOME), and Emergency Solutions Grant (ESG). Please be aware that the CDBG, HOME, and ESG fund sources are not permitted to support activities or projects located in the City of Grover Beach.

Public Facilities and Improvements- CDBG funds may be used by the grantee or other public or private nonprofit entities for the acquisition (including long term leases for periods of 15 years or more), construction, reconstruction, rehabilitation (including removal of architectural barriers to accessibility), emergency shelters, transitional housing, or installation of public improvements or facilities (except for buildings for the general conduct of government). Reference: § 570.201(c). Subject to site visit during application review.

Eligible types of facilities and improvements include:

- Infrastructure improvements (construction or installation) including, but not limited to streets, curbs, water and sewer lines;
- Neighborhood facilities including, but not limited to public schools, libraries, recreational facilities, parks, playgrounds; and
- Facilities for persons with special needs such as facilities for the homeless or domestic violence shelters, nursing homes, or group homes for the disabled.

A. Applicant Information

Completed by aperez@atascadero.org on 10/2/2024 9:35 AM

Case Id: 30253
Name: City of Atascadero - 2025
Address: Viejo Camino, Atascadero, CA 93422

A. Applicant Information

Please provide the following information.

PRIMARY APPLICANT INFORMATION-LEAD AGENCY

A.1. Organization Name

City of Atascadero

A.2. Type of Organization

Government Entity

A.3. UEI Number: For more information, visit [SAM.GOV](https://sam.gov)

J4ZKW85KJ1H8

Please upload the following documentation:

Attachment A - Proof of Active SAM.gov Registration ***Required**

***No files uploaded*

A.4. Address

6500 Palm Avenue
Atascadero, CA 93422

A.5. Is the organization faith based?

No

CONTACT INFORMATION

A.11. Contact Person Name

Ryan Hayes

A.12. Contact Person Title

Deputy Director/ Principal Civil Engineer

A.13. Phone Number

(805) 470-3424

A.14. Email

rhayes@atascadero.org

B. Applicant Capacity

Completed by aperez@atascadero.org on 10/2/2024 11:15 AM

Case Id: 30253

Name: City of Atascadero - 2025

Address: Viejo Camino, Atascadero, CA 93422

B. Applicant Capacity

Please provide the following information.

B.1. Describe the organization's history of receiving and managing grants from County/State/Federal sources.

Atascadero City staff in the Public Works department and Administrative Services will work together to provide oversight, prepare staff report and provide quarterly reporting to San Luis Obispo County. The Deputy Public Works Director and Public Works Inspector will be responsible for the design and construction oversight. Atascadero has successfully completed similar CDBG projects such as; Traffic Way ADA Project South El Camino Real Sidewalk Infill CDBG Atascadero Mall Sidewalk Infill CDBG Traffic Way Architectural Barrier Removal CDBG Atascadero Lake Park Architectural Barrier Removal

B.2. Briefly list any recent development projects your organization has proposed, is currently working on, and has completed. Regardless of funding source.

The City of Atascadero is currently in the construction phase of the following capital projects: Downtown Infrastructure Enhancement, 9.6 million Measure F-14 Road Projects, 42 miles of roads paved, 14 million funded by Measure F-14 sales tax Traffic Way North Pavement Rehabilitation Project, 1 million funded by Local Transportation Funds Santa Lucia Road Pavement Rehabilitation Project, 3 million funded by Local Transportation Funds

B.3. Briefly describe your organization's auditing requirements, including those for the proposed project.

As outlined in 2 CFR § 200.500 and 24 CFR § 5.801

An independent auditing firm conducts an annual audit of all City funds, including the Community Development Block Grant (CDBG) fund. An independent audit firm also conducts the Single Audit per OMB Circular A-133, Schedule of Expenditures of Federal Awards, which includes all CDBG funding information

B.3.a. Please upload the following documentation:



Attachment E – Most Recent Financial Audit *Required

***No files uploaded*

B.4. Describe project staffs' experience with Section 3.

Section 3 requirements are included in all Capital Project bid documents and construction contracts.

B.5. Briefly describe your agency's record keeping system with relevance to the proposed project.

The City of Atascadero administers its CDBG program in conformance with 2 CFR 200 (e)(F), adhering to the accounting principles and procedures, utilizing adequate internal controls and maintaining required source documentation for all costs incurred. All staff members involved with this CDBG project will track/log their CDBG activities and time spent. Our Administrative Services department keeps copies of the time tracking sheets and payroll records.

B.6. Do you have any funds remaining from prior Fiscal Year allocations? If so, please list the project you received funding for, the fiscal year(s) you received the funding, and the remaining amount(s) for each fiscal year(s).

Printed By: Anel Perez on 11/4/2024

3 of 13

Award of 2021 CDBF funds of \$68,683.00. \$78.02 expended in 2023 leaving a current balance of \$68,604.98 available. Any remaining funds not fully expended on the upcoming Santa Rosa project will be reallocated to the Viejo Camino project. The availability of additional funding is unknown until the Santa Rosa project is complete.

B.7. How do you plan to fund the operation and maintenance costs (if any) associated with this project? Are these funds available now? If not, when will they be available?

Operation and maintenance of public facilities is included in the City budget for Public Works facilities.

**B.8. Does your organization comply with the Generally Accepted Accounting Principles?
As outlined in 2 CFR § 200**

Yes

B.9. Required Acknowledgement for Federal Grants or Contracts.

Does your organization certify that, if awarded funds, it will comply with the requirements as shown as ["Example D-General Conditions"](#) and ["Example Exhibit E-Special Conditions"](#) in the library?

Yes

C. Proposed Project & Project Details

Case Id: 30253
Name: City of Atascadero - 2025
Address: Viejo Camino, Atascadero, CA 93422

Completed by aperez@atascadero.org on 10/2/2024 11:23 AM

C. Proposed Project & Project Details

Please provide the following information.

C.1. Name of Proposed Project

2025 Viejo Camino Sidewalk CDBG Barrier Removal Project

C.2. Project/Program Address

Viejo Camino
Atascadero, CA 93422

C.3. Accessor's Parcel Number.

Additional information available on the [County Website](#).

No APN, Project within Public Right-of-Way

C.4. Areas Served-Select all that apply

- City of Arroyo Grande
- City of Atascadero
- City of Morro Bay
- City of Paso Robles
- City of Pismo Beach
- City of San Luis Obispo
- Unincorporated Community

C.5. Please select which eligible category applies to the project:

Neighborhood Improvement Projects – Curb and sidewalk replacement, major storm water management improvements, street reconstruction, or water main and sewer main replacement.

C.6. Number of Proposed Units Created or Rehabilitated:

0

C.7. Describe the proposed project in detail. What activities are to be undertaken?

This project will improve two locations within the public right-of-way on Viejo Camino between El Camino Real and Halcon Road. 1. Location 1 proposes approximately 300 linear feet of 5' wide concrete sidewalk, curb & gutter, and a bus pullout, bench and cover. Additional improvements include a crosswalk near the bus stop with enhanced crossing signs.

Printed By: Anel Perez on 11/4/2024

5 of 13

2. Location 2 proposes to construct approximately 150 linear feet of 5' wide concrete walkway, connecting the existing sidewalk on the eastern edge of Viejo Camino, with the parking lot and walkway surrounding Paloma Park. Walkway would be at grade.

C.7.a. Please upload the following documents:

Attachment I – Maps, Photos, Drawings, Plans *Required

***No files uploaded*

C.8. Provide a timeline for key steps of project implementation here or attach a timeline for project implementation as Attachment B.

Attachment G – Timeline: Attach a timeline for key steps of project implementation.

***No files uploaded*

C.9. Will residential or commercial occupants be displaced by the project?

No

C.13. What is the current zoning of the project site?

Project will be within public road right-of-way.

C.14. Is the project site zoned correctly for the proposed activity?

Yes

C.15. Have necessary Land Use Permits and/or Have necessary Land Use Permits and/or Construction Building Permits have been issued? have been issued?

No

C.15a. What is their current expiration date(s)?

12/31/2025

C.15b. Indicate when the permit(s) will be applied for or issued:

Encroachment Permit

C.16. Is the project required to pay a prevailing wage:

Yes

C.17. Explain how Section 3 benchmarks will be met.

C.18. Explain how your project will be marketed towards MBE/WBE.

C.19. Describe how the project will align with a (or multiple) Line(s) of Effort to support the [San Luis Obispo Countywide Plan to Address Homelessness](#).

Proposed public improvements address connections between low to moderate-income housing and public transportation.

C.20. Select all population(s) expected to be served through this project:

- Low-/moderate-income households
- Multifamily
- Age Restricted (including seniors)
- Persons Experiencing Homelessness
- Persons Experiencing Chronic Homelessness
- Persons with Disabilities
- Veterans
- Domestic Violence Survivors
- Unaccompanied Youth (under 25 years of age)

C.21. Does the proposed project complement and collaborate with existing efforts in the county?

Yes

C.21a. If yes, please the name partner agencies and how they will participate:

This project complements City efforts to provide residents with outdoor recreational areas (Paloma Park), and alternative transportation options. This project will remove physical barriers, resulting in a direct connection between multiple apartment buildings and low-income housing areas to Paloma Park and the southbound RTA bus stop. Letter of support from RTA is included with this application.

C.22. Describe any consultation with local jurisdictions to gain support for the project. Describe any support you have from local jurisdictions.

Project owner/manager is the City of Atascadero, which is also the local jurisdiction for the project.

C.22a. Please upload the following documents:

- Attachment K – Letters of Support

***No files uploaded*

C.23. How will you collect demographic data on the beneficiaries of the proposed project?

N/A

C.24. Describe how you will ensure that the proposed project is accessible to communities of color which are disproportionately impacted by homelessness, particularly Black, Latinx, Asian, Pacific Islander, and Native and Indigenous communities. If you have previously received a grant to serve any of the affected communities, please provide a brief description of those grant activities and the outcomes you achieved.

This project provides benefits to residents of nearby senior and low income farmworker housing, providing significantly increased opportunities for pedestrian usage of the regional bus stop and City park. Currently, there is no sidewalk, only a dirt shoulder for pedestrians and the mobility impaired to access the regional bus stop. Access for the elderly and mobility impaired traveling along this path is currently extremely difficult. Subsequently, the elderly and mobility impaired will continue to have limited transportation options, which has financial, health and efficiency impacts.

C.25. Has your organization previously received a grant to serve any of the affected communities?

No

C.26. Has an environmental review been completed, CEQA?

No – CEQA review not complete

C.27. Has NEPA environmental review been completed?

No – NEPA review not complete

C.28. Has a Phase I or Phase II archeological/historical survey been conducted at the project site?

No

C.28a. If yes, please upload the following documentation:

Attachment L – Archeological/Historical Survey, Phase I or II

***No files uploaded*

C.29. Has a Phase I or Phase II environmental assessment been conducted for the property?

No

C.29a. If yes, please upload the following documentation:

Attachment M – Environmental Assessment, Phase I or II

***No files uploaded*

C.30. List and describe any known hazards-e.g., asbestos, lead-based paint, storage tanks – aboveground, underground. Please enter “N/A” if not applicable.

None.

C.31. Is the project on a property designated or been determined to be potentially eligible for designation as a local, state, or national historical site?

No

C.32. Are the building(s)/structure(s) located on a historic site or within a local historic district?

No

C.33. Is the project located within a 100-year flood plain?

No

C.34. Will demolition or excavation be required?

No

C.35. Are there any existing buildings on the project property that were constructed prior to 1978?

No

C.36. Describe how the project will meet ADA and Section 504 standards for accessibility by the disabled. Describe the methods, funding, and timetable to be utilized to address the problems.

Printed By: Anel Perez on 11/4/2024

N/A

D. Funding & Eligible Activities

Completed by aperez@atascadero.org on 10/2/2024 4:09 PM

Case Id: 30253

Name: City of Atascadero - 2025

Address: Viejo Camino, Atascadero, CA 93422

D. Funding & Eligible Activities

Please provide the following information.

D.1. Total Project Funding (include all sources and uses of funding)

\$160,125.00

D.1.a. Please upload the following documentation:

Attachment N – Sources and Uses ***Required**

***No files uploaded*

Attachment O – Commitment Letters for Funds

***No files uploaded*

D.2. Amount of CDBG funds requested:

\$100,000.00

D.3. Estimated number of unduplicated persons to benefit from CDBG funds:

150

D.4. Estimated number of unduplicated persons in Low – Moderate Income, 80% or less of the County Median Income, will benefit from CDBG funds:

125

D.5. Please select the national objective that best applies to the proposed project.

Please refer to "[Basically CDBG](#)" or the "[CDBG Guide to National Objectives and Eligible Activities](#)" in [The Library](#) for more information regarding CDBG national objectives.

Low Moderate Income

LOW/MODERATE INCOME: Select which criteria the proposed project intends to qualify under to meet the Low/Moderate Income objective.

Area Benefit

E. Required Documents

Completed by aperez@atascadero.org on 10/2/2024 4:29 PM

Case Id: 30253

Name: City of Atascadero - 2025

Address: Viejo Camino, Atascadero, CA 93422

E. Required Documents

Please provide the following information.

Documentation

Attachment N - Sources and Uses: This should include a summary of where the capital used to fund a development will come from (the sources) and what this capital will be used for (the uses). ***Required**

***No files uploaded*

Attachment H – Timeline: Attach a timeline for key steps of project implementation.

***No files uploaded*

Attachment I – Any Maps, Photos, Drawings, Plans

***No files uploaded*

Attachment E – Most Recent Financial Audit ***Required**

***No files uploaded*

Attachment A - Proof of Active SAM.gov Registration ***Required**

***No files uploaded*

Attachment B – Organizational Chart ***Required**

***No files uploaded*

Attachment C – Incorporation Documents ***Required**

***No files uploaded*

Attachment D – General Liability Insurance ***Required**

***No files uploaded*

Attachment L – Archeological/Historical Survey, Phase I or II

***No files uploaded*

Attachment M – Environmental Assessment, Phase I or II

***No files uploaded*

Attachment P – Pro Forma (20-year)

***No files uploaded*

Attachment F – Appraisal of Property

***No files uploaded*

Attachment G – Relocation Plan

***No files uploaded*

Attachment O – Commitment Letters for Funds

***No files uploaded*

Attachment R – Supplemental Information

***No files uploaded*

Attachment K – Letters of Support: Please attach any letters of support or commitment from local governments or community partners.

***No files uploaded*

Attachment Q – Relocation Plan

***No files uploaded*

Submit*Completed by aperez@atascadero.org on 10/2/2024 4:30 PM***Case Id:** 30253**Name:** City of Atascadero - 2025**Address:** Viejo Camino, Atascadero, CA 93422

Submit

Please provide the following information.

The applicant certifies that all information contained in this application, and supporting documentation, given for the purpose of obtaining assistance, is true and complete to the best of the applicant's knowledge.

I hereby certify that our organization has complied with all applicable laws and regulations pertaining to the application and is an eligible applicant for the requested funding. The organization proposes to provide the program services or complete the project identified in this application. If this application is approved and this organization receives the requested funding this organization agrees to adhere to all relevant Federal, State, and local regulations and other assurances as required by the Commission.

I hereby certify that the organization is fully capable of fulfilling its obligation under this application, as stated herein.

I further certify that the information provided in this Funding Application is correct, accurate, and complete.

In addition, the content of the application shall be incorporated as part of the written agreement and, as such, will be used to monitor performance. Activities, commitments, and representations described in the written agreement that are not subsequently made a part of the program/project as funded shall be considered a material contract failure and may result in a repayment of all awarded funds and/or suspension from participation in future funding rounds.

Authorized Representative Signature

Anel Perez

*Electronically signed by aperez@atascadero.org on 10/2/2024 4:30 PM***Authorized Representative Title**

Administrative Assistant



CITY OF ATASCADERO

CITY COUNCIL STAFF REPORT

Item C1

Department: Community Development
Date: 11/12/2024
Placement: Management Report

TO: JAMES R. LEWIS, CITY MANAGER
FROM: PHIL DUNSMORE, COMMUNITY DEVELOPMENT DIRECTOR
PREPARED BY: PHIL DUNSMORE, COMMUNITY DEVELOPMENT DIRECTOR
KELLY GLEASON, PLANNING MANAGER
SUBJECT: General Plan Update – Policy Discussion

RECOMMENDATION:

Council receive an update on the General Plan Update project, provide direction to staff on policy questions, and inform the Council and Community of next steps.

BACKGROUND:

The City began the four-phased General Plan Update process in July 2021. At the City Council’s March 2024 meeting, the City was at the end of phase three titled, “Exploring Alternatives.” Since then, staff has been working on developing the updated 2045 General Plan document by preparing policy discussions and initiating the environmental review process (Phase 4) as required by CEQA.

As a reminder, the following is an overview of General Plan Update Phases:

- Phase 1: Scoping: included project process refinements and development of a community outreach strategy **(done)**.
- Phase 2: Discovery: included development of the Existing Conditions Report, Vision and Guiding Principles, and a range of community engagement meetings and activities to hear early feedback on the City’s assets, challenges, and opportunities **(done)**.
- Phase 3: Exploring Alternatives: included the development of growth and policy alternatives for Atascadero’s future. This phase includes the selection of a draft land use map, projected population and growth estimates, and general policy direction **(done)**.
- Phase 4: A Plan for Atascadero 2045: Involves development of the draft General Plan document and Draft Environmental Impact Report **(in progress)**.

- Phase 5: *Celebrating our Future*: Final outreach on the draft plan, creation of the final General Plan document and final Environmental Impact Report (**early 2025**).

In addition to the General Plan Update effort, the City is commencing a comprehensive Zoning Code update. The Zoning Code update is intended to dovetail into the 2045 General Plan Update to minimize the gap between General Plan adoption and corresponding Zoning Code updates. A number of the topics discussed below will inform General Plan policy and assist in creating development standards and zoning districts that will be integrated into the zoning code update.

REPORT IN BRIEF:

At the March 2024 hearing, City Council provided general direction on the key policy approaches and identified a Preferred Land Use Alternative Map as the basis for EIR, policy, and fiscal analysis. As the project team has moved toward refining the levels of analysis, several policy topics have arisen that need Council discussion and direction. Topics include:

1. Development Standards for Mixed-Use Zones
2. Building Heights in Downtown
3. Visioning Within Service and Industrial Areas
4. Lot Sizes in Single-family Zones
5. Traffic Analysis Approach

DISCUSSION:

The updated General Plan refines placetypes (land use) and policies that correspond to the goals and vision identified by the Council and community. Direction on the following policy topics will inform specific General Plan programs and assist with zoning parameters for the zoning code update.

1. DEVELOPMENT STANDARDS FOR MIXED USE ZONES

During the development of the Draft Land Use Map, a new “Mixed-Use” “placetype”(land use designation) was identified. This placetype was applied to the Morro Rd corridor, smaller parcels along El Camino Real outside of Downtown, and at specific commercial nodes where the addition of residential units could bolster redevelopment and support commercial growth. These new Mixed-Use areas can, and should, have different standards that dictate the amount and location of residential units that can be combined with commercial land uses.

Mixed-use projects can be vertical, with all residential units above ground floor, or horizontal, with a mix of commercial and residential units on the ground floor. The City’s current code allows for mixed-use in all general commercial districts, however the code prohibits ground floor residential unless required to accommodate an accessible unit. The 2002 General Plan noted that some commercial sites would be suitable for ground floor residential, however the zoning to allow for that was never implemented.

Staff recommends a focused discussion occur regarding ground floor residential in three districts within the Mixed-Use placetype in the City. The locations are:

- A. **Major Commercial Nodes (areas at or near major intersections)**
- B. **Morro Road and Secondary Commercial Nodes**
- C. **Mid-block Areas Along ECR**

The draft land use map is included as Attachment 1 for reference.

A. **Major Commercial Nodes**

No ground floor residential:

Within the draft land use map, some commercial nodes do not allow for residential uses while others are designated to allow for mixed-use developments. Similar to downtown, commercial nodes are at key centers of activity and are major tax revenue and job centers. Staff recommends that Mixed-Use sites at these locations allow for vertical mixed-use but retain all ground floor space for commercial. Examples of these areas include the Del Rio/ECR intersection (Mission Oaks and Marketplace), sites east of ECR at San Anselmo, and the Curbaril area shopping centers.

B. **Morro Road and Secondary Commercial Nodes**

Some ground floor residential:

Horizontal mixed-use with ground floor residential may be suitable in certain locations, specifically the Morro Road corridor or other locations that are dominated by a residential character and will not support intensive commercial uses. Many of these sites have secondary frontage on residential streets.

Options for this zone could include requiring a certain percentage of the site be commercial or implementing standards for minimum commercial tenant spaces and appropriate siting of commercial spaces to maintain an active streetscape.

Specific requirements might include:

- **Percentage:** *Example:* Require 25% to 75% of ground floor to be retained for commercial. This percentage is generally higher in higher-density zones and may be lower in low-density areas, where viable intensive commercial space is less likely.
- **Depth of ground-floor commercial space.** *Example:* Maintain at least 20 to 40 feet depth. This requirement ensures that the space can accommodate a variety of commercial uses (e.g., retail, dining, or office spaces).
- **Minimum percentage of commercial tenant frontage:** *Example:* Minimum of 60 percent of the length of the building façade measured parallel to the property line must be reserved for commercial tenant spaces.
- **Minimum commercial space size:** A minimum square footage can be applied, either on its own, or in addition to a percentage requirement, to ensure a viable space. For example, 1,000 square feet is often seen as a minimum viable commercial space for a restaurant with restrooms and a kitchen and dining area.

These standards can be combined or separated to ensure that development in these areas meets City goals.

C. Mid-block Areas Along ECR

Ground floor residential if frontage is retained for Commercial:

One of the key focus areas identified in the General Plan update process were the mid-block areas along El Camino Real outside of Downtown. These areas are part of the El Camino Real “commercial strip” and are typically comprised of smaller, more narrow parcels, some having a decent degree of slope. Many of these sites are developed with strip malls, a mixture of non-conforming residences, and office uses.

Similar to the Morro Road corridor, this area may be appropriate for horizontal mixed-use. However, based on development constraints, the standards for mixed-use development may be different than those applied along Morro Rd and secondary nodes. The Council may consider focusing on appearance from the street to allow for flexibility of use and viability of development. These standards could be applied to the entirety of the area or greater flexibility could be allowed on smaller or more sloped parcels, reserving larger parcels for greater commercial presence (i.e. Adobe Plaza or Plaza de Pueblo).

Questions for City Council

1. Are the three types of mixed-use areas appropriate for the unique areas identified?
2. Is the residential approach recommended for each zone/area appropriate?
 - a. For the Morro Rd and secondary node areas, are there preferred strategies for the amount of ground floor commercial required (percentage, minimum tenant square-footage, minimum tenant space depth, prominent location on site, etc)?
 - b. For the mid-block areas, are there preferred strategies for the amount of ground floor commercial required? Should larger parcels be treated different than smaller and/or sloped parcels?

2. BUILDING HEIGHTS IN DOWNTOWN

The current height limit in Downtown is 45 feet, which allows a 3-story development with typical ceiling heights. Additional height is required to encourage new development within this district. Downtown should have an allowance for the tallest building heights in the City to define the center of town and set it apart from other commercial areas. The maximum height for Downtown could be increased to 55-feet to allow for a potential of 4-stories. Standards could be established for upper floors and roof projections to ensure that City Hall remains the focal piece of Downtown. City Hall is approximately 90-feet or more in height from Sunken Gardens to the top of the dome.

Questions for City Council

1. Is 55-feet and/or four stories an acceptable height for Downtown and should this maximum height be limited to specific areas?

- a. Should standards be established, such as an upper floor setback and/or roof projection limitations to reduce the appearance of height?

3. VISIONING WITHIN SERVICE AND INDUSTRIAL AREAS

The City has limited areas that can accommodate industrial or semi-industrial service type uses. There are two distinctive land uses that rely on these areas:

- **“Commercial service”** oriented uses are generally located on the west side of El Camino Real between Curbaril and Santa Rosa Road or along Traffic Way. These include automotive service uses and related uses that need outdoor storage space and frequent visitation.
- **Industrial land uses** are generally located within the Industrial Zone along Traffic Way with a portion along Sycamore adjacent to the Salinas River. These uses typically include fabrication and outdoor storage with minimum public visitation.

These areas are adjacent to retail oriented commercial uses on El Camino Real as well as residential uses along Traffic Way. As the City looks toward a vision for the next 25 years, some uses may not be appropriate or necessary given our land constraints and goals for economic development, such as:

- Recycling and Scrap
- High Intensity Manufacturing (that has large outdoor components)
- Storage, Recycling and Dismantling of Vehicles and Material
- Vehicle and Equipment Storage
- Vehicle and Freight Terminals

Within the General Plan, the Council could consider policies aimed at limiting the types of uses allowed in these zones to those with the greatest economic and community benefit. Outdoor storage uses could be reduced or very limited to ensure adequate land availability for service, start-up business space, or other community serving uses in addition to tech and light manufacturing. Appropriate Industrial uses might be focused toward indoor manufacturing, wholesale distribution, innovation, and related land uses that shift to primarily indoor operations. This could provide greater compatibility with neighboring uses and maintain appropriate spaces for uses that support the local economy and residents, given the limited amount of land inventory for our future.

The new “Flex” placetype will accommodate a mix of light industrial, office, restaurant, and retail uses, however, the industrial and service areas are for those uses that need some level of separation from more active, pedestrian oriented uses.

Questions for City Council

1. Does the City want to restrict the location and extent of indoor or outdoor storage facilities that do not generate jobs or sales tax or provide community benefit?

2. Are there any uses the City would like to prohibit from establishing in the industrial or commercial services zones in the future?
3. What uses are most appropriate in industrial zones along the Traffic Way corridor near residential uses and within the corridor near the Salinas River?
 - a. Are there particular uses or business that the City should reserve space for or prioritize within the industrial area, given that we have limited land area, to focus on new, higher wage job and industry growth?

4. LOT SIZES IN SINGLE FAMILY ZONES

The preferred alternative land use plan consolidates the single-family designation and differentiates between larger rural properties outside the urban services line (Rural Residential) and properties within the urban services line (Single-Family Residential). The established density range for the Single-Family residential designation is between 1 and 4 dwelling units per acre.

Three different single-family districts are proposed: one-acre minimum lot size, one-half acre minimum lot size, and 4 units per acre. These districts remain consistent with City goals to increase elbow room as you get farther from the urban core and respond to sewer availability. These areas are primarily near Atascadero Avenue south of Hwy 41 and some of the neighborhoods east of Hwy 101 and El Camino Real. Some areas within this district may not currently have access to sewer and would remain as one acre and above.

In locations eligible for smaller lot sizes, a traditional small-lot single-family subdivision could be allowed. These would be subdivisions similar to the Colony Homes development on the north end of town, which is based on units per acre rather than a minimum lot size. The overall density would be 4 units per acre, but lot sizes may be smaller than $\frac{1}{4}$ acre to accommodate for roads and shared open space areas. Standards can be developed to ensure that each lot meets development standards.

It is important to note that ADUs and Urban Dwelling Units **would be allowed within these zones.*

Questions for City Council

1. Is it appropriate to split the Single-Family land use designation into 3 distinct zoning districts or is more or less variation desired?
2. Should the smallest single-family lot size be based on an overall density (4 units/acre) or a minimum lot size (1/4 acre)?

5. TRAFFIC ANALYSIS APPROACH

The City's current General Plan uses LOS (Level of Service) to identify traffic impacts and mitigation requirements. LOS measures traffic delays and is generally analyzed for the peak 15-minute window in the morning or afternoon. In 2013, the State passed a bill (SB743) requiring that jurisdictions no longer use delay in their analysis under CEQA and instead use Vehicle Miles

Traveled (VMT), however, many jurisdictions still use LOS to determine traffic impacts and planning for road improvements as VMT does not capture traffic and safety factors.

LOS is measured in levels from A-F, with A being the least amount of delay. The current General Plan requires LOS C or better with LOS D acceptable with City Council approval. Because this metric focuses on the most congested 15-minute period of the day there can be multiple unintended consequences which result in oversized improvements for a majority of the day. The City does not have adequate funds to expand and maintain roadways based on this overburdensome metric and new development cannot feasibly mitigate deficiencies identified under this method. This method also worsens safety for all users by increasing vehicle speeds, conflicts, and pedestrian/cyclist exposure. It discourages infill development since these areas tend to experience more congestion and do not have opportunities to mitigate congestion at this threshold. It also limits the City's ability to design infrastructure that responds to community character and placemaking efforts.

Alternative strategies could prioritize transportation safety and accessibility over vehicle speeds and optimize network operations to address key bottlenecks and existing infrastructure. Factors can be identified to ensure that infrastructure is not oversized to accommodate the busiest times of the day and that all modes of transportation are included. These factors can also help support neighborhood compatibility and placemaking.

Policies in the General plan will be higher level to allow flexibility moving forward, however, these factors should help inform the General Plan traffic and infrastructure analysis and future project requirements to meet City goals and needs. Factors to consider include:

- Convenience
- Safety
- Sense of place
- Pedestrian and multi-modal facilities
- Cost of improvements

There could also be different priorities in different areas of town to respond to unique areas of community character and purpose. Alternative analysis methodologies could include, either in part or in combination, the following:

- A. Retaining LOS standards at specific locations, but with thresholds based on queuing as it relates to safety and to identify when traffic control changes (e.g. signal, roundabouts, or turn lanes) are warranted. These methods are useful to identify spot improvements (lane configuration changes, signal timing changes, etc) that could address project impacts to congestion. However, these analyses need to be balanced with goals of pedestrian safety and multi-modal transportation instead of a sole focus on road widening to lessen congestion and are likely most appropriate for key areas such as connectors to interchanges.
- B. Some agencies apply multi-modal LOS thresholds, with different areas having different priorities. For example, pedestrian LOS is a higher priority downtown than vehicular LOS. This approach requires substantial additional analysis and can have more limited value. Similar approaches could include the pedestrian/bicycle environmental quality index,

used by Pasadena, and/or bicycle level of traffic stress, used by SLO City and Arroyo Grande. However, similar outcomes are achieved more efficiently by establishing a city-wide multi-modal network and requiring frontage improvements consistent with the adopted plan as projects develop or as funds become available. Standards would focus more subjectively on the need for continuous sidewalks, enhanced crosswalks, speed reduction measures, and completing the City's bike plan facilities.

- C. Capacity utilization is another way to describe roadway use and is useful for long-range planning for roadway expansions. This would analyze the adequacy of a road based on daily trips, rather than peak hour, and establishing efficiency of road capacity as a percentage of capacity used to ensure that infrastructure cost and investment are of the greatest value. For example, the City may establish a capacity utilization target of 85% to ensure that roadway expansion is not considered until capacity utilization exceeds this level. This is useful where roadway segment widenings are under consideration but there is likely not much need for additional lanes on a majority of roads in Atascadero. This methodology is also not appropriate for project specific analysis as it requires a more comprehensive road network analysis.
- D. Many jurisdictions require neighborhood traffic analysis based on established thresholds where projected volumes and speeds are compared to adopted thresholds designed for livability, not vehicular capacity. These typically require before and after monitoring of volumes and speeds.

Traffic Analysis Questions for Council

- 1. Infrastructure planning is a balance between mitigating traffic congestion and enhancing the pedestrian and multi-modal experience with a focus on complete streets and placemaking.
 - a. How should the General Plan prioritize these competing factors?
 - b. Is the City willing to accept higher traffic congestion in certain areas (prioritize pedestrian and sense of place in designated areas)?

CONCLUSION:

Staff is seeking input and direction from the Council on the key policy questions (Council Action Items) outlined in this report and summarized as follows:

- 1. Development standards for mixed-use zones
- 2. Building heights in Downtown
- 3. Visioning within I and CS zones
- 4. Lot sizes in single-family zones
- 5. Traffic Analysis Approach

Feedback on these items be used to further refine the draft 2045 General Plan.

NEXT STEPS:

The City and consultant team are working to complete drafts of the General Plan chapters and EIR. The following milestones and timeframes are anticipated for the next phase of the project:

1. Draft General Plan (Fall 2024)

Staff and the consultants are currently developing detailed goals, policies, actions, and programs for the updated 2045 General Plan. Council feedback and direction on the above policy questions will be used to further refine this material before they are presented to the community and Council in early 2025.

2. Draft Environmental Impact Report (Fall 2024)

Staff and consultants are currently preparing the Draft EIR. The Draft EIR will analyze a range of potential environmental impacts associated with implementation of the 2045 General Plan. Mitigation of these potential impacts will be developed as new or refined policies for the 2045 General Plan.

3. Community Engagement Series #3 (Winter 2024/25)

With the draft document in hand, and the draft map solidified, additional outreach, study sessions, a Staff Technical Advisory Committee Meeting, and other discussions will be crucial to finalize the draft plan.

4. The Grand Finale (Spring 2025)

The culmination of the update will be City Council adoption of the new General Plan and certification of the EIR. We hope to be at the finish line by Spring 2025. Following EIR certification and plan adoption, we will need to move immediately into preparing a new zoning ordinance and zoning map that corresponds to the new General Plan.

EIR TIERING FOR FUTURE PROJECTS

The updated General Plan and Environmental Impact Report (EIR) will provide a framework that the City can leverage to streamline future environmental review for individual projects. The General Plan and EIR will establish baseline conditions, thresholds, and policies that can be directly referenced in subsequent project-specific environmental analysis, streamlining projects and providing consistency across all projects within the City. Individual projects will benefit from a more efficient approval process as they can tier off the EIR analyses and mitigation strategies. By leveraging this analysis, the City can facilitate a more predictable and streamlined development process ensuring that future development contributes positively to the City's long-term objectives.

Additional outreach and coordination will also occur with the comprehensive zoning code update to ensure that the proposed standards and requirements implement the identified goals and policies outlined in the final 2045 General Plan.

FISCAL IMPACT:

None.

REVIEWED BY OTHERS:

This item has been reviewed by the Community Development Director and City Engineer.

REVIEWED AND APPROVED FOR COUNCIL AGENDA



James R. Lewis, City Manager

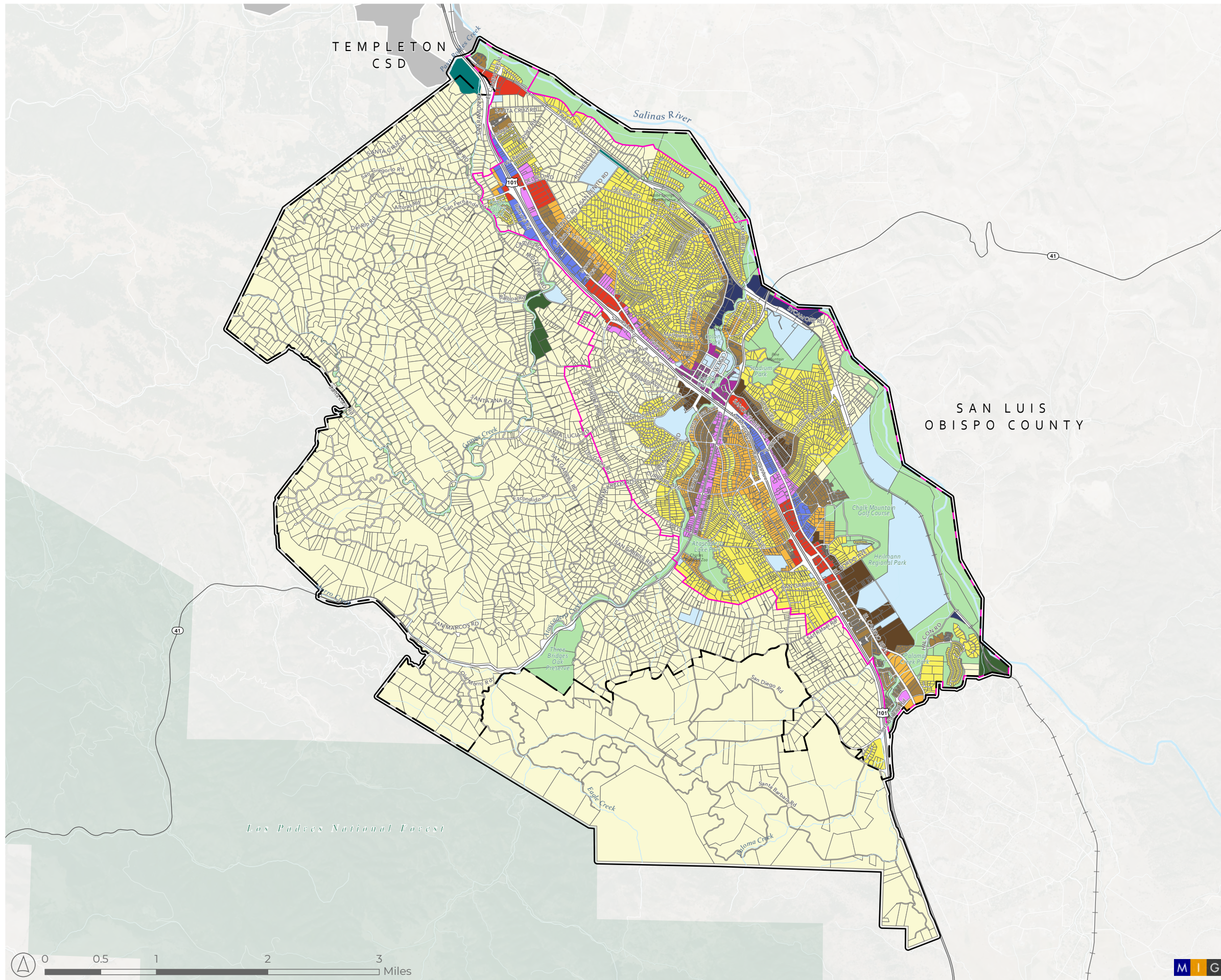
ATTACHMENTS:

Draft Preferred Land Use Map

AGPU Existing Conditions Reports and additional information available online at:
www.atascadero2045.org/documents



Figure 4-1
Land Use Plan

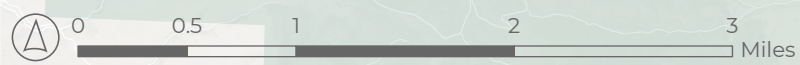


Basemap Features

- Atascadero Planning Area
- Atascadero City Limit
- Urban Services Line
- Parks + Open Space
- Rivers + Waterbodies

Placetypes

- Rural Residential
- Single-Family Residential
- Low Density Multi-Family
- Medium Density Multi-Family
- High Density Multi-Family
- Mixed Use
- Downtown Mixed Use
- Commercial
- Innovation/Flex
- Industrial
- Public/Quasi Public
- Community Recreation
- Conservation/Parks/Open Space
- Agriculture
- R.O.W.
- SOI - Eagle Ranch



Source(s): Esri, USDA, CADOT, CNRA, County of San Luis Obispo Open Data, City of Atascadero, 2024.