



## Administrative Use Permit

### **HOW TO OBSERVE THE MEETING:**

Interested individuals may attend the meeting in-person at Atascadero City Hall. To observe remotely, the meeting may be livestreamed on Zoom. The video recording of the meeting will be available through the City's website and on the City's YouTube Channel. To observe remotely using the Zoom platform, please visit:

To join the virtual hearing:

<https://us02web.zoom.us/j/84567568854>

Webinar ID: 845 6756 8854

### **HOW TO SUBMIT PUBLIC COMMENT:**

Public comment may be provided in-person.

Written public comments are accepted at [aup-comments@atascadero.org](mailto:aup-comments@atascadero.org) by 5:00 pm the day before the meeting. Such email **comments must identify the Agenda Item Number in the subject line of the email**. The comments will be forwarded to the Administrative Hearing Officer and made a part of the administrative record. If a comment is received after the deadline for submission but before the close of the meeting, the comment will still be included as a part of the administrative record of the meeting but will be forwarded to the Zoning Administrator the next business day. ***Please note, email comments will not be read into the record.***

### **AMERICAN DISABILITY ACT ACCOMMODATIONS:**

Any member of the public who needs accommodations should contact the City Clerk's Office at [cityclerk@atascadero.org](mailto:cityclerk@atascadero.org) or by calling (805) 470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Administrative Use Permit agendas and staff reports may be viewed on the City's website: [www.atascadero.org](http://www.atascadero.org). Final Action Reports will be available after the meeting, and upon request from the Community Development Department.

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the Community Development Department and are available for public inspection on our website, [www.atascadero.org](http://www.atascadero.org). All documents submitted by the public during AUP meetings that are either read into the record or referred to in their statement will be noted in the audio recording and available for review by contacting the Community Development Department. All documents will be available for public inspection during City Hall business hours by appointment request.

Working together to **serve**, build **community** and enhance **quality of life**.



## Administrative Use Permit Hearing

# A G E N D A

The City of Atascadero's Administrative Hearing Officer will hold a public hearing at **11:15 a.m. on Tuesday, October 29, 2024** at City Hall in Room 104 to consider the following project:

**1. 3625 COLIMA ROAD (USE24-0095)**

The application is to allow for a 1,465 SF garage on APN 049-302-014. The project is exempt from the California Environmental Quality Act (CEQA) under Categorical Exemption §15303, Class 3 for new construction or conversion of small structures. Staff recommendation is to approve the project, subject to conditions. (*Erick Gomez, Associate Planner*)

PLEASE NOTE: Any court challenge to the actions taken at the public hearing may be limited to considering only those issues raised at the public hearing described in this notice or in written correspondence to the City of Atascadero at, or prior to, the public hearing.

Any decision of the Hearing Officer is final unless appealed to the Planning Commission within 14 days of the action. Any person aggrieved by the decision may file an appeal. Appeal forms are available in the Community Development Department or on the City's website ([www.atascadero.org](http://www.atascadero.org)). The fee for filing an appeal is \$1,668 (fee as of 7-29-24) and must accompany the appeal documentation.

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Working together to **serve**, build **community** and enhance **quality of life**.



**CITY OF ATASCADERO**  
**ADMINISTRATIVE HEARING**  
**STAFF REPORT**

ITEM #1  
Department: Community  
Development  
Date: 10/29/2024

**TO:** Phil Dunsmore, Administrative Hearing Officer  
**FROM:** Kelly Gleason, Planning Manager  
**PREPARED BY:** Erick Gomez, Associate Planner

**SUBJECT:** USE24-0095, Hogue Garage  
3625 Colima Road, Atascadero, CA 93422 (APN 049-302-014)

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**RECOMMENDATION:**

The Administrative Hearing Officer:

- Approve Administrative Use Permit USE24-0095 allowing the construction of a garage with a size exceeding 50% of the floor area of the primary residential structure on a nonconforming 0.77-acre lot, based on findings and subject to conditions of approval.

**DISCUSSION:**

**PROJECT SUMMARY**

Patrick Hogue proposes to construct a 1,465 SF garage on an 0.77-acre (ac) property in the Residential Estate (RE) zoning district located at 3625 Colima Road (APN 049-302-014). The garage is a prefabricated metal building with a maximum height of 24'. Access to the garage will be from a shared driveway within an access easement extending from Colima Road. The property is developed with an approximately 2,218 SF Single-Family Residence with a 478 SF attached garage (PMT #16559 & BLD-2014-11681).

**ANALYSIS**

Residential accessory structures, such as garages, are allowed in the RE Zoning District. Accessory structures exceeding 50% of the floor area of the primary structure are subject to additional development standards outlined in Atascadero Municipal Code (AMC) § 9-6.106(b)(3), including:

- Location on a conforming lot or on a lot that is at least 1-ac in size
- 10' setback from the side and rear lot lines
- 40' setback from residences on neighboring properties
- Minimal grading and disturbance of native trees
- Neighborhood compatibility and design compatibility with the primary structure
- Non-interference with sunlight or access necessary for adjacent properties

Projects unable to meet these standards may still be constructed subject to approval of an Administrative Use Permit (AUP). The subject property is a nonconforming, 0.77-acre lot. The proposed garage is 1,465 SF garage which equivalent 54% of the primary structure. An AUP is

required because the lot does not meet the minimum lot size requirement for properties zoned RE, nor does it meet the minimum (1)-acre lot size requirement.

The project complies with other applicable standards of Atascadero Municipal Code (AMC) § 9-6.106(b)(3). The proposed 1,465 SF garage will be located on a topographically flat location of the site which will reduce the need for grading. The structure is proposed 10' from the side and rear property lines. No tree removals are anticipated to occur due to this permit; compliance with tree protection standards of the Native Tree Ordinance will be required during construction. The structure will have a neutral tan metal siding with white trim to match the existing residence. An existing access easement provides access to the rear of the lot where the garage is proposed. Construction of the garage will not interfere with the easement.

### **FINDINGS:**

AMC 9-1.112 requires the Administrative Hearing Officer to make the following 4 findings:

1. *Modification of the applicable standard will not result in a project that is inconsistent with the General Plan.*

**Discussion:** The development of residential accessory uses is consistent with envisioned land uses for properties designated Suburban Estate.

2. *Modification of the applicable standards will not result in a project that is inconsistent with the character of the neighborhood or contrary to its orderly development.*

**Discussion:** The project is appropriately designed and sited given the context of the site and neighborhood. The structure is also compatible with neighboring development. Adjacent lots are developed with single family residences and accessory structures with the nearest neighboring residence being located approximately 50' away from the location of the proposed garage.

3. *Modification of the applicable standard will not result in a project that is not in compliance with any pertinent City policy or criteria adopted by ordinance or resolution of the City Council.*

**Discussion:** The project will not conflict with any applicable City policy or criteria and is consistent with all applicable provisions of the Atascadero Municipal Code.

4. *Modification of the applicable standard will not result in the authorization of a use not otherwise allowed.*

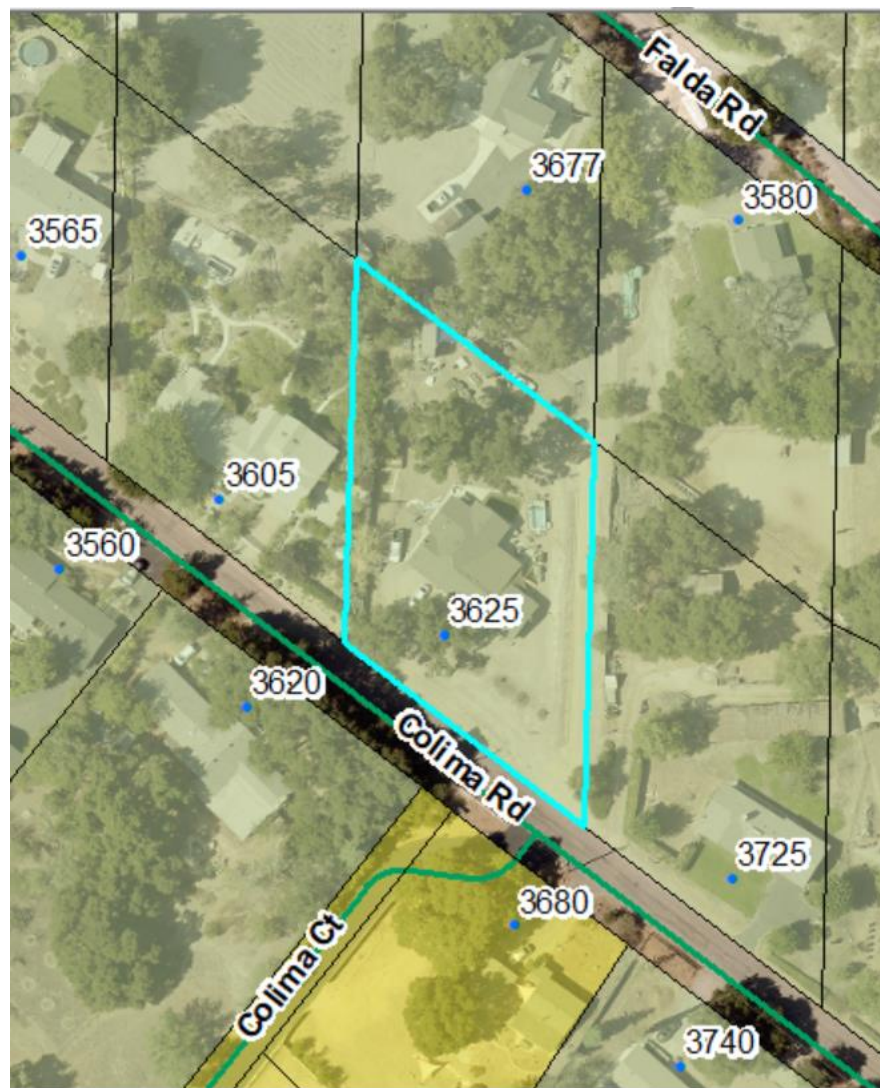
**Discussion:** Residential accessory structures, such as garages, are allowed in the RE Zoning District.

### **ENVIRONMENTAL DETERMINATION:**

The proposed project qualifies for a Class 3 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15301, which exempts new construction or conversion of small structures. This exemption is included in the draft resolution (Attachment 2).









# CITY OF ATASCADERO NOTICE OF EXEMPTION

6500 Palma Avenue Atascadero, CA 93422 805.461.5000

Date Received Stamp

TO: Clerk-Recorder Office  
County of San Luis Obispo  
1055 Monterey Street Suite D120  
San Luis Obispo, CA 93408

Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

FROM: City of Atascadero  
Community Development Department  
6500 Palma Avenue  
Atascadero, CA 93422

[Dashed box for Date Received Stamp]

**SUBJECT: Filing of Notice of Exemption in Compliance with Sections 15062 and 21152 of the Public Resources Code**

Project Title: USE24-0095, Hogue Garage

Project Applicant: Patrick Hogue, P.O. Box 1138, Paso Robles, CA 93447  
pat@hogueinc.com; (805) 712-7287

Project Location: 3625 Colima Road, Atascadero, CA 93422 (APN 049-302-014)

Project Description: Administrative Use Permit allowing the allowing the construction of a garage with a size exceeding 50% of the floor area primary residential structure on a nonconforming 0.77-acre lot in the Residential Estate zoning district. The proposed garage is a 1,465 SF prefabricated metal building with a maximum height of 24'. Access to the garage will be from a shared driveway within an access easement extending from Colima Road. The property is developed with an approximately 2,218 SF Single Family Residence with a 478 SF attached garage.

Name of Public Agency Approving Project: City of Atascadero

Name of Person or Agency Carrying Out Project: Patrick Hogue

Exempt Status:

- |  |  |
|--|--|
| <input type="checkbox"/> Ministerial (Sec. 15268);             | <input type="checkbox"/> General Rule Exemption (Sec. 15061. c);               |
| <input type="checkbox"/> Declared Emergency (Sec. 15269(a));   | <input checked="" type="checkbox"/> Categorically Exempt (Sec. 15301 - 15333); |
| <input type="checkbox"/> Emergency Project (Sec. 15269(b)(c)); | <input type="checkbox"/> Statutory Exemption (Sec. 15261 - 15285)              |

**10/29/2024 | Item 1 | Staff Report  
Attachment 2: Notice of Exemption**

Reasons why the project is exempt: The project is exempt from environmental review pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). The proposed project will install a new 1,465 SF garage in the rear yard of a developed property. The area of disturbance on the property is limited. There are no sensitive environmental resources on the project or unusual environmental circumstances surrounding the project site. There are no scenic or historical resources in the vicinity of the project site. The site is not a listed hazardous waste site property. There are no cumulative impacts from associated successive projects.

Lead Agency Contact Person: Erick Gomez, Planner  
(805) 470-3436  
egomez@atascadero.org

Date Exemption Accepted: 10/29/24

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10/29/24



SEE FOLLOWING SHEETS



**EROSION CONTROL**

1. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.
2. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED TO THE SATISFACTION OF THE BUILDING OFFICIAL AND PUBLIC WORKS DIRECTOR DURING ALL DEMOLITIONS, CONSTRUCTION AND GROUND DISTURBING ACTIVITIES.
3. THE ADJOINING STREET SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY.
4. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS, PLANTINGS AND FACILITIES ARE IN PLACE. TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION APPROVALS.
5. THE FOLLOWING PERSON SHALL BE RESPONSIBLE FOR IMPLEMENTING & MONITORING THE APPROVED EROSION & SEDIMENTATION CONTROL PLAN:

PATRICK HOGUE

**FIRE SAFETY PLAN**

THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THIS BUILDING PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS AS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THIS PERMIT. PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN ISSUED BY THE FIRE DEPARTMENT AND BECOME FULLY AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS.

1. WHEN FIRE SPRINKLERS ARE REQUIRED, A FIRE SPRINKLER PLAN AND PERMIT FOR RESIDENTIAL PROJECTS ARE REQUIRED. PROVIDE APPROVED PLANS TO BUILDING INSPECTOR PRIOR TO THE TIME OF FRAMING INSPECTION
2. PRIOR TO FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE. WHERE APPLICABLE, PROVIDE FIREBREAK WITHIN 30' AND 100' OF EACH BUILDING OR STRUCTURE. DOWNED LOGS, STUMPS, DEAD AND DYING WOODY SURFACE FUELS SHALL BE REMOVED. REMOVE SURFACE FUELS GREATER THAN 4 INCHES AND LOWER LIMBS OF TREES UP TO 6 FEET WITHIN AREAS OF CONTINUOUS TREE CANOPY

**GENERAL GRADING NOTES**

1. ANY AND ALL SITE WORK AND GRADING SHALL BE IN ACCORDANCE WITH CBC CHAPTER 18 AND CBC APPENDIX J AND ANY APPLICABLE LOCAL ORDINANCES.
2. A SOILS ENGINEER SHALL DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE(S).
3. THE BOTTOM OF ALL EXCAVATIONS SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PROCESSING OR PLACING FILL.
4. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK DONE WITHIN A RIGHT OF WAY MAINTAINED BY THE PRESIDING JURISDICTION.
5. MAXIMUM CUT AND FILL SLOPE TO BE 2:1.
6. THE EXISTING GROUND SURFACE SHOULD BE PREPARED FOR GRADING BY REMOVING ALL VEGETATION, TREES, LARGE ROOTS, DEBRIS, NON-COMPLYING FILL, AND ALL OTHER ORGANIC MATERIAL. Voids created by removal of such materials should not be backfilled until the underlying soil has been observed by a soils engineer.
7. FILL AND BACKFILL SHOULD BE PLACED AT NEAR OPTIMUM MOISTURE IN LAYERS WITH LOOSE THICKNESS NOT GREATER THAN EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY OBTAINABLE BY TEST METHOD ASTM-D 1557, AND CERTIFIED BY A SOILS ENGINEER.
8. IMPORT SOILS USED TO RAISE SITE GRADE SHOULD BE EQUAL TO OR BETTER THAN ON-SITE SOILS IN STRENGTH, EXPANSION AND COMPRESSIBILITY CHARACTERISTICS. IMPORT SOIL CAN BE EVALUATED BUT WILL NOT BE PRE-QUALIFIED BY THE GEOTECHNICAL ENGINEER. FINAL COMMENTS ON THE CHARACTERISTICS OF THE IMPORT SOIL WILL BE PROVIDED AFTER THE MATERIAL IS STOCKPILED AT THE PROJECT SITE.
9. FINAL SITE GRADE SHOULD BE SUCH THAT ALL WATER IS DIVERTED AWAY FROM THE STRUCTURE(S) A MINIMUM OF 5% FOR 10 FEET. WATER SHALL NOT POND. ALL SURFACE WATER SHOULD BE DIRECTED INTO APPROVED DISCHARGE STRUCTURES.
10. ACCESS ROAD/DRIVEWAYS: ANY ROAD GRADE IN EXCESS OF 12% SHALL BE PAVED WITH A NON-SKID MATERIAL. GRADE FOR FIRE ACCESS SHALL NOT EXCEED 20%.
11. ALL NON-PERMITTED FILL SHALL BE REMOVED BY CONTRACTOR.
12. ELECTRICAL, TELECOMMUNICATIONS, AND OTHER UTILITIES SHALL BE INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION. THIS REGULATION APPLIES TO UTILITIES ON SITES THAT ARE 5 ACRES OR LESS AND SERVING NEW STRUCTURES AND/OR NEW UTILITY DISTRIBUTIONS.
13. UTILITY TRENCH BACKFILL SHOULD BE GOVERNED BY THE PROVISIONS OF THIS REPORT RELATING TO MINIMUM COMPACTION STANDARDS. IN GENERAL, SERVICE LINES INSIDE THE PROPERTY LINES MAY BE BACKFILLED WITH NATIVE SOILS COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY. BACKFILL OF OFF SITE SERVICE LINES WILL BE SUBJECT TO THE SPECIFICATIONS OF THE JURISDICTIONAL AGENCY OR THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER.
14. LINED DRAINAGE SWALES AND DOWN DRAINS SHOULD BE PROVIDED AT THE TOPS OF CUT AND FILL SLOPES TO DIVERT DRAINAGE AWAY FROM SLOPE FACES.
15. FILL SLOPES SHOULD BE KEYS AND BENCHED INTO FIRM NATURAL GROUND WHEN THE EXISTING SLOPE TO RECEIVE FILL IS 5:1 OR STEEPER, HORIZONTAL TO VERTICAL. THE KEYS SHOULD BE TILTED INTO THE SLOPE A MINIMUM OF 2%. SHOULD BE A MINIMUM OF ONE EQUIPMENT WIDTH AND SHOULD BE A MINIMUM OF THREE (3) FEET DEEP ON THE OUTSIDE EDGE. ALL KEYS AND BENCHES SHOULD BE OBSERVED AND VERIFIED BY THE GEOTECHNICAL ENGINEER.

# ARCHITECTURAL PLANS FOR A NEW METAL BUILDING 3625 COLIMA ROAD



**AIR QUALITY CONTROL**

DURING CONSTRUCTION/GROUND DISTURBING ACTIVITIES, THE FOLLOWING PARTICULATE (DUST) CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR OR BUILDER SHALL BE DESIGNATED TO MONITOR THE DUST CONTROL PROGRAM AND ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THEIR CONTACT INFORMATION SHALL BE PRESENTED TO THE APCD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

1. REDUCE THE AMOUNT OF DISTURBED AREA WHERE POSSIBLE
2. USE OR WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY WOULD BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NONPOTABLE) WATER SHOULD BE USED WHENEVER POSSIBLE;
3. ALL DIRT STOCK-PILE AREAS SHOULD BE SPRAYED DAILY AS NEEDED;
4. ALL ROADWAYS, DRIVEWAYS, SIDEWALKS, ETC TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE; AND
5. BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.

DURING INITIAL GRADING/SCRAPING, BURNING SHALL NOT BE ALLOWED, OR IF AN ALTERNATIVE IS AVAILABLE, THE APPLICANT SHALL OBTAIN A BURN PERMIT FROM THE APCD AND COUNTY FIRE/CALIFORNIA DEPARTMENT OF FORESTRY, AND COMPLY WITH ALL CONDITIONS REQUIRED BY THESE AGENCIES.

**SEPARATE PERMIT REQUIREMENTS**

1. FIRE SPRINKLERS

**STATEMENT OF SPECIAL INSPECTIONS:**

(22 CBC Section 1704.3):

SPECIAL INSPECTIONS ARE REQUIRED FOR THIS PROJECT SEE SHEET (1) OF METAL BUILDING PLANS

**PROJECT DESCRIPTION**

NEW 1,465 SQ FT METAL BUILDING PER PLANS ATTACHED. THE BUILDING WILL HAVE ELECTRIC AND PLUMBING

**SHEET INDEX**

- T-1.1 TITLE SHEET, PROJECT INFORMATION
- C-1.1 SITE PLAN
- A-1.1 FLOOR PLAN, ELECTRIC PLAN
- A-2.1 ELEVATIONS
- A-3.1 PERSPECTIVE VIEW

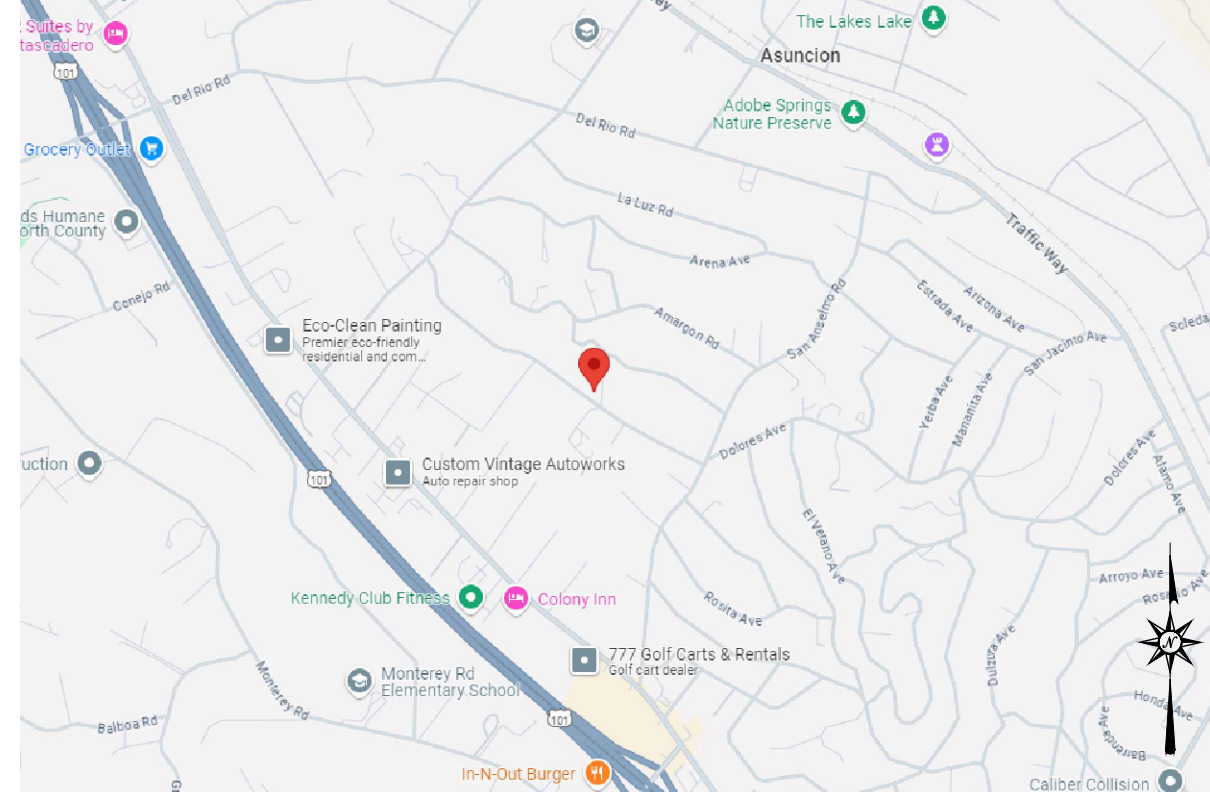
**PROJECT INFORMATION**

OWNER: PATRICK HOGUE  
 PROJECT ADDRESS: 3625 COLIMA ROAD, ATASCADERO, CA 93422  
 LEGAL DESCRIPTION: CY ATAS ATAS COL BL 19 LT 124  
 APN: 049-302-014  
 PHONE: 805-712-7287  
 EMAIL: PAT@HOGUEINC.COM

**PROJECT STATISTICS**

LOT SIZE: 93 ACRES  
 OCCUPANCY (CBC 310.1): U  
 CONSTRUCTION TYPE: VB  
 (EX) RESIDENCE: 2,203 SQ FT  
 (N) METAL BUILDING GARAGE: 1,465 SQ FT  
 FIRE SPRINKLERS: YES  
 WUI: NO

**VICINITY MAP**



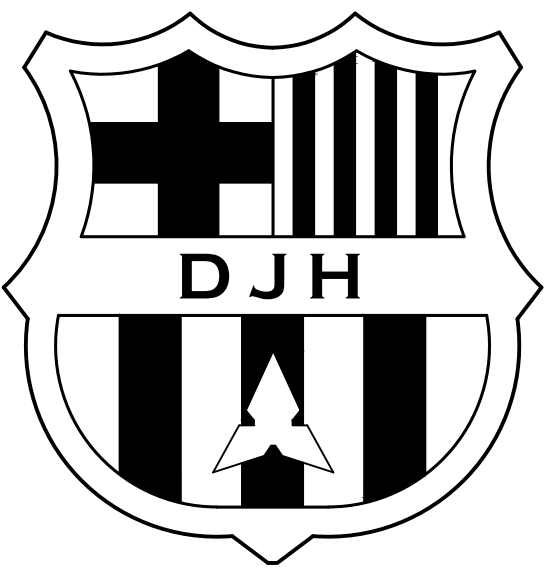
**CONSULTANTS**

METAL BUILDING  
 STAR METAL BUILDINGS

CONTRACTOR  
 DUECK CONSTRUCTION INC  
 TIM DUECK

STRUCTURAL ENGINEERING  
 KUDLA ENGINEERING  
 DARRELL KUDLA  
 610 10TH ST, SUITE A  
 PASO ROBLES, CA 93446  
 805-423-4844

DESIGN AND DRAFTING  
 DH DRAFT AND DESIGN  
 610 10TH ST, SUITE A  
 PASO ROBLES, CA 93446  
 805.975.3071



**DRAFT & DESIGN**

610 10TH ST. SUITE A  
 PASO ROBLES CA 93446  
 DJH1132@GMAIL.COM  
 805.975.3071

PLAN PREPARED FOR:

**PAT HOGUE**  
**3625 COLIMA ROAD**  
**ATASCADERO, CA 93422**

**REVISION LOG**

| REV. | DESCRIPTION | DATE |
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These drawings are the exclusive property of D.H. Drafting design and shall be used solely for the purpose of this project on this site. Any use other than the project upon which it is intended for without the written consent of D.H. Drafting design and Dana Humphrey is prohibited.

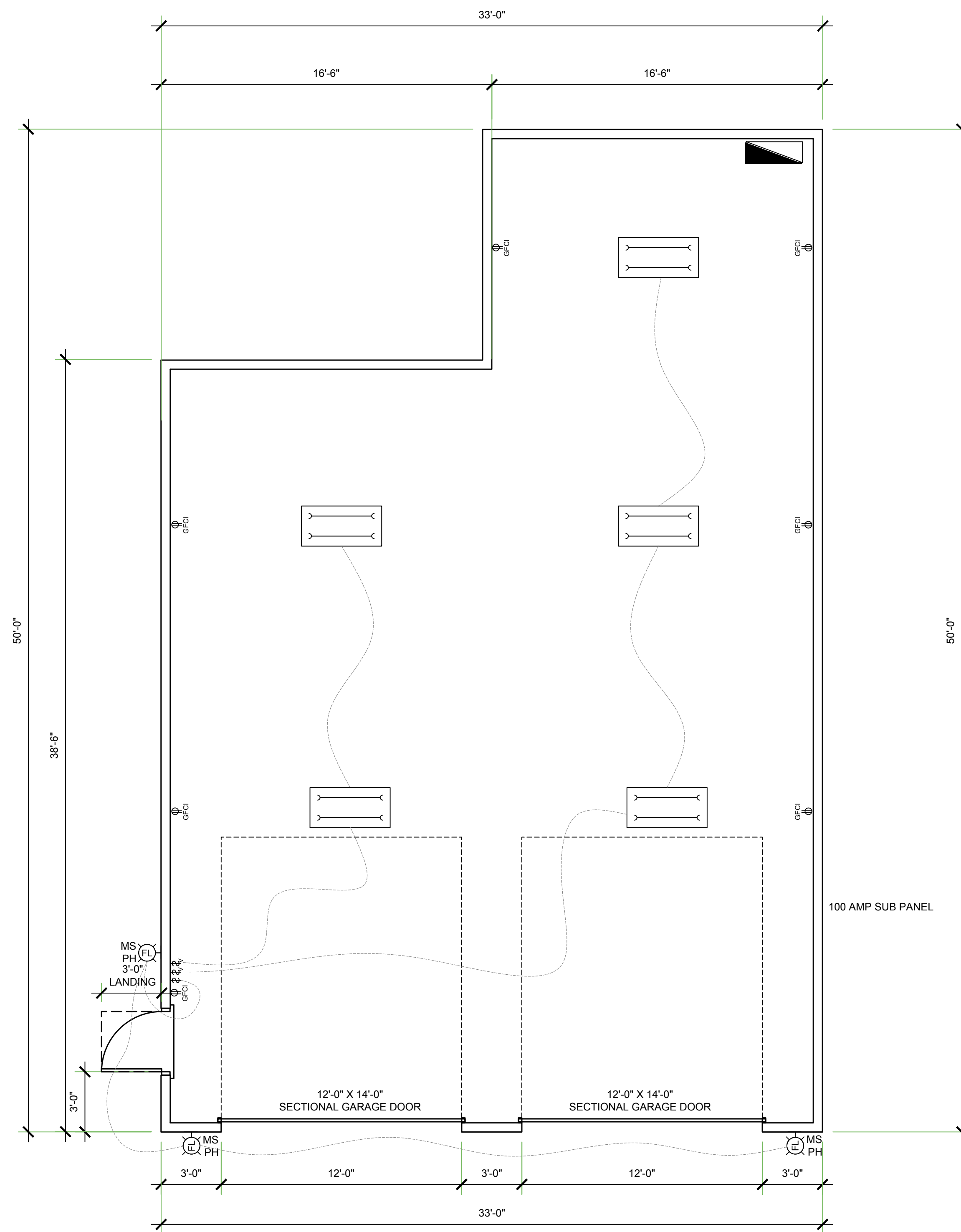
PROJECT NO. ---  
 FILE NAME T-1.1 TITLE SHEET.DWG  
 DRAWN BY DJH  
 DATE 8/30/2024 10:12 AM

**TITLE SHEET**

SHEET NUMBER:  
**T-1.1**







**FLOOR PLAN NOTES**

1. IN ACCORDANCE WITH CRC R311.3 LANDINGS AT DOORS ARE TO HAVE A LENGTH IN THE DIRECTION OF TRAVEL OF AT LEAST 36 INCHES ON EACH SIDE OF THE DOOR.

**ELECTRICAL NOTES**

1. GFCI OUTLETS ON ALL ABOVE COUNTER OUTLETS IN GARAGE MOUNTED AT 44" ABOVE FINISH FLOOR (TYP). ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED \*TAMPER-RESISTANT RECEPTACLES (CEC 210.12(A))  
 2. CEILING MOUNTED OUTLET FOR GARAGE DOOR OPENER. PROVIDE AND INSTALL APPROVED GARAGE DOOR OPENER WITH REMOTE CONTROL.  
 \*\*\* ALL ELECTRICAL SWITCHES, FIXTURES, LUMINARIES, RECEPTACLES SHALL MEET AND CONFORM WITH THE 2013 CALIFORNIA ELECTRICAL CODE.

**LEGEND**

- 115 V GFCI DUPLEX RECEPTACLE +44'-0"
- SWITCH W/ VACANCY SENSOR
- ON AND OFF SWITCH
- WALL MOUNTED EXTERIOR FIXTURE, DOWNCAST, MOTION SENSOR
- 2X4 LED STRIP LIGHT FIXTURE
- 100 AMP SUBPANEL



**DRAFT & DESIGN**  
 610 10TH ST. SUITE A  
 PASO ROBLES CA 93446  
 DJH1132@GMAIL.COM  
 805.975.3071

PLAN PREPARED FOR:

**PAT HOGUE**  
 3625 COLIMA ROAD  
 ATASCADERO, CA 93422

**REVISION LOG**

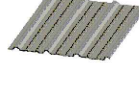



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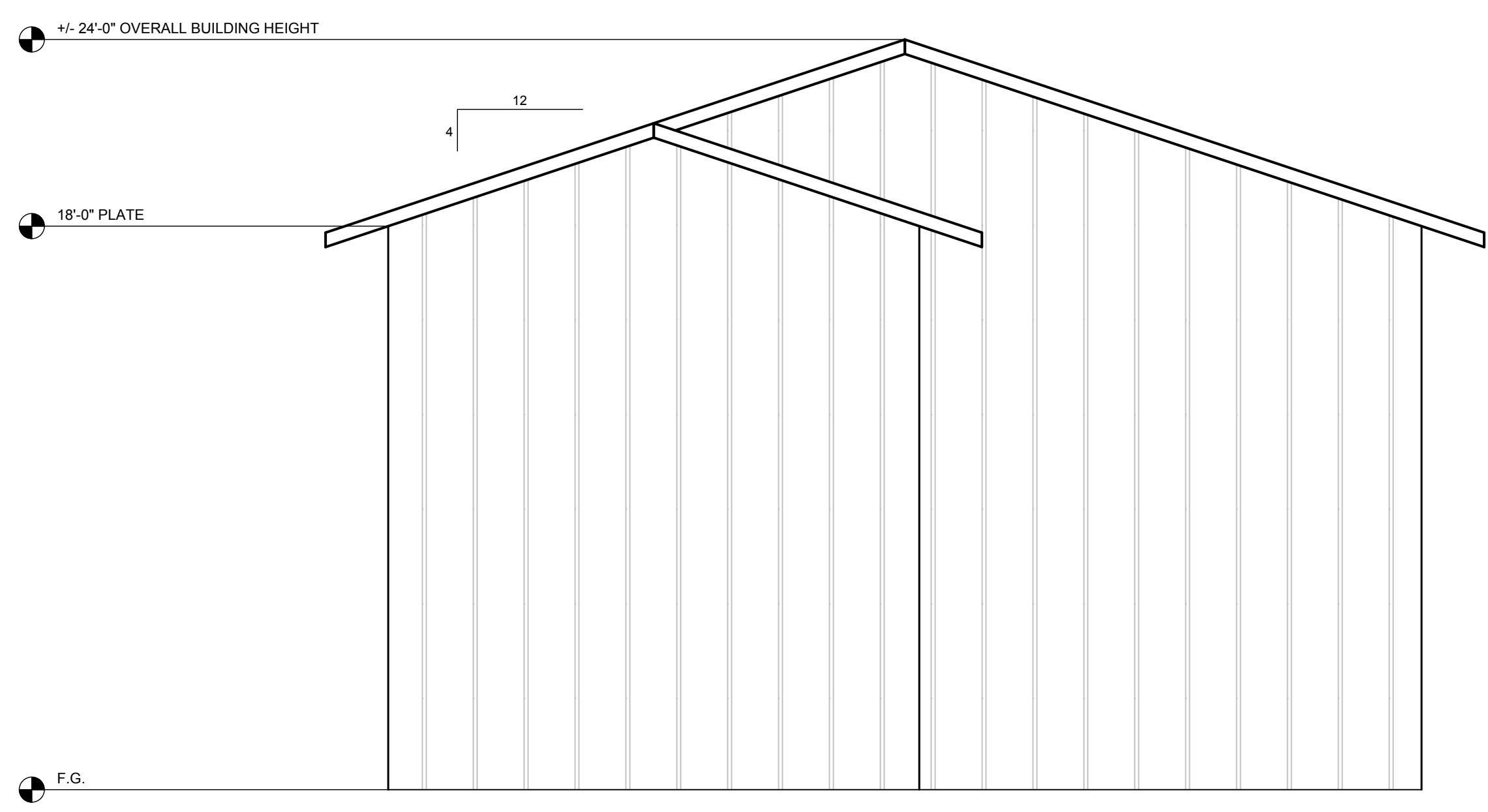
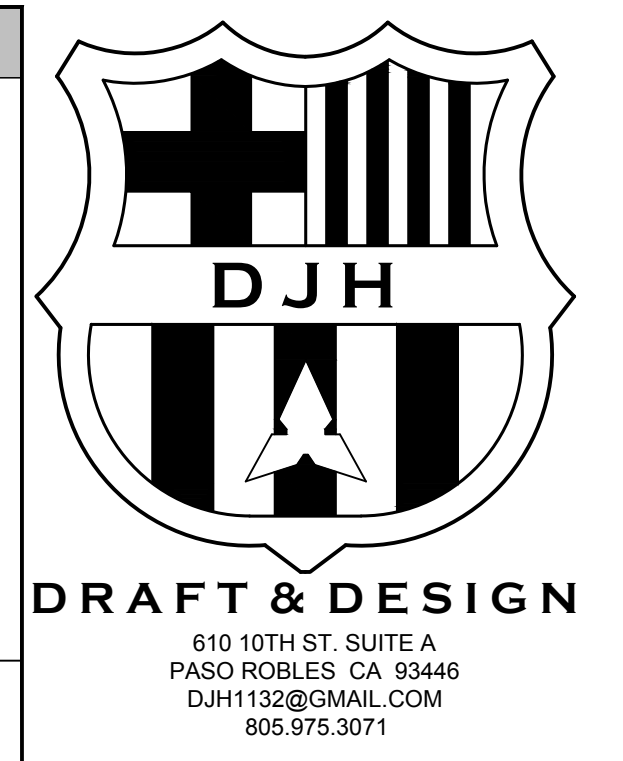
These drawings are the exclusive property of D.H. Drafting design and shall be used solely for the purpose of this project on this site. Any use other than the project upon which it is intended for without the written consent of D.H. Drafting design and Dana Humphrey is prohibited.

PROJECT NO. ---  
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**FLOOR PLAN**

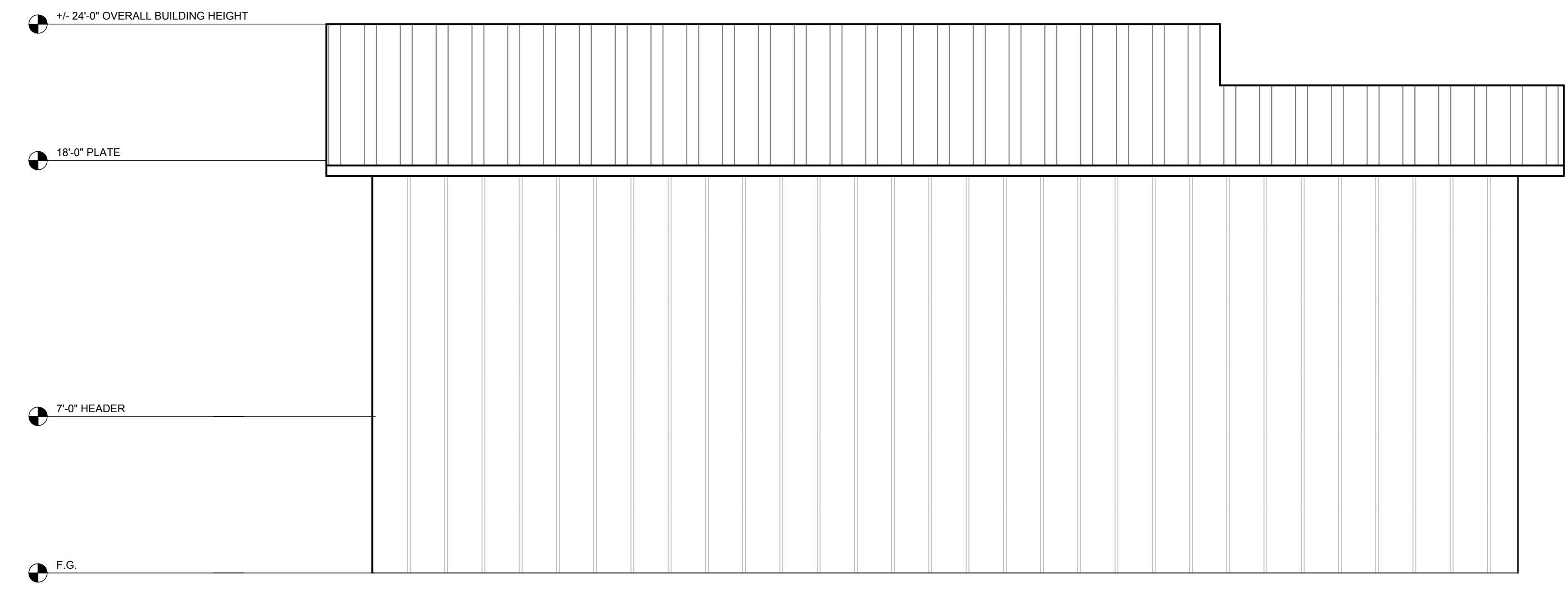
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**A-1.1**



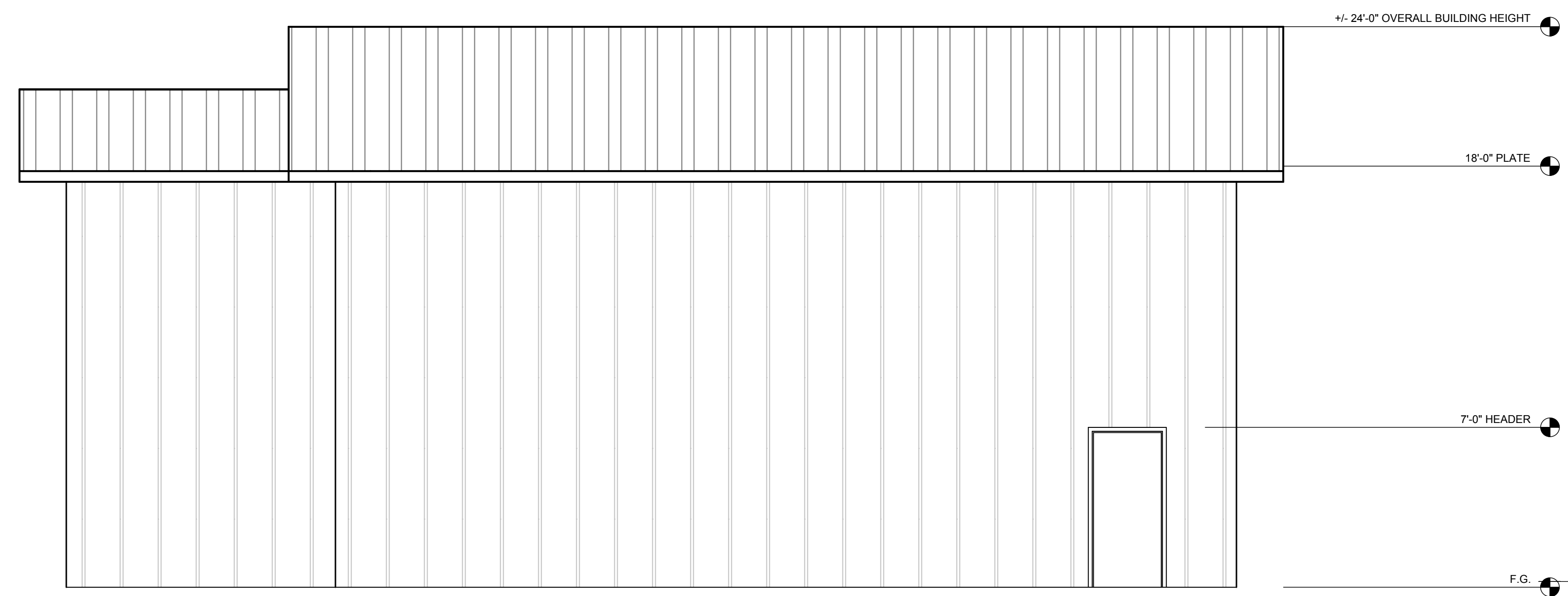
| ELEVATION MATERIALS AND NOTES   |  |
|---|--|
|  | = PBR PANEL FOR SIDING AND ROOF                              |
|  | = SIDING COLOR<br>SIGNATURE 200 "LIGHT STONE"                |
|  | = ROOF COLOR<br>SIGNATURE 300 "TUNDRA"                       |
|  | = TRIM AND GARAGE DOOR COLOR<br>SIGNATURE 200 "BRIGHT WHITE" |



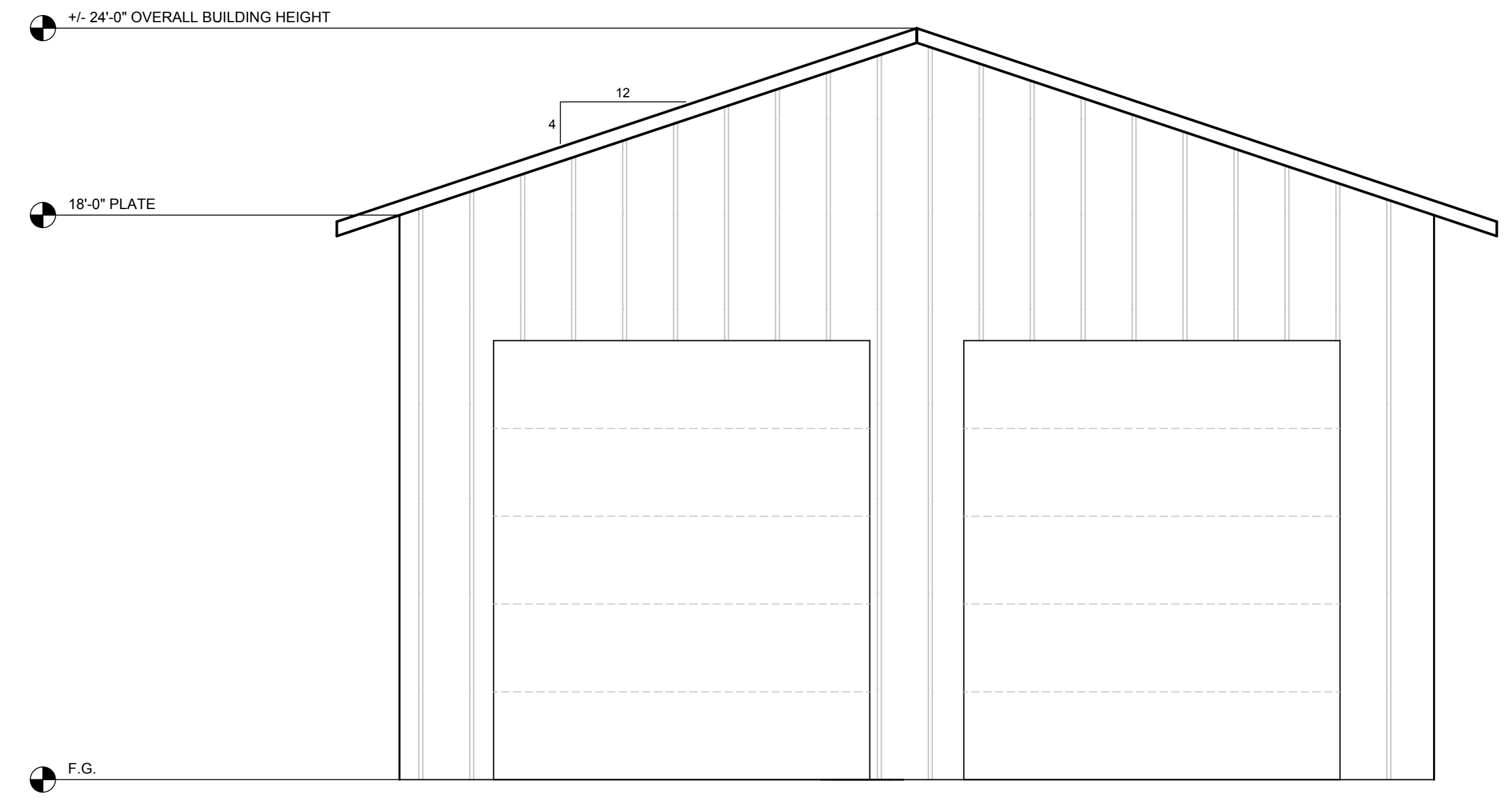
**BACK ELEVATION**  
 1/4" = 1'



**RIGHT SIDE ELEVATION**  
 1/4" = 1'



**LEFT SIDE ELEVATION**  
 1/4" = 1'



**FRONT ELEVATION**  
 1/4" = 1'

PLAN PREPARED FOR:  
**PAT HOGUE**  
 3625 COLIMA ROAD  
 ATASCADERO, CA 93422

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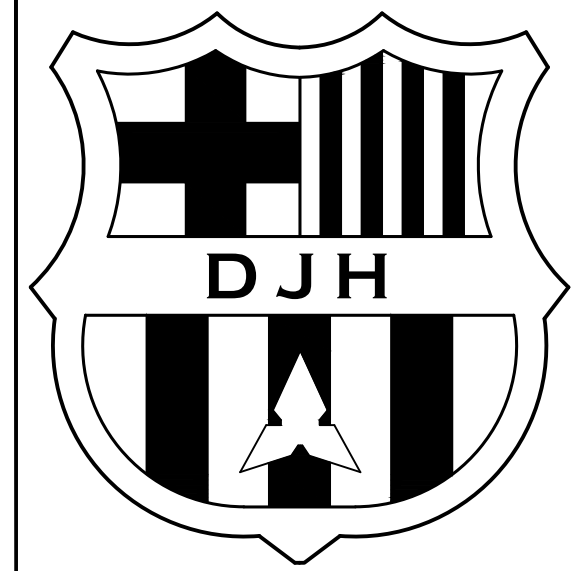
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PROJECT NO. ---  
 FILE NAME A-2.1 ELEVATIONS.DWG  
 DRAWN BY DJH  
 DATE 8/30/2024 10:12 AM  
 SHEET TITLE:  
**ELEVATIONS**

SHEET NUMBER:  
**A-2.1**

C:\Users\DJH1\Documents\Projects\2024\Hogue\_Park\000000\Project\_Template\Sheet\A-2.1 ELEVATIONS.dwg Dana Humphrey 8/30/2024 10:12 AM





**DRAFT & DESIGN**

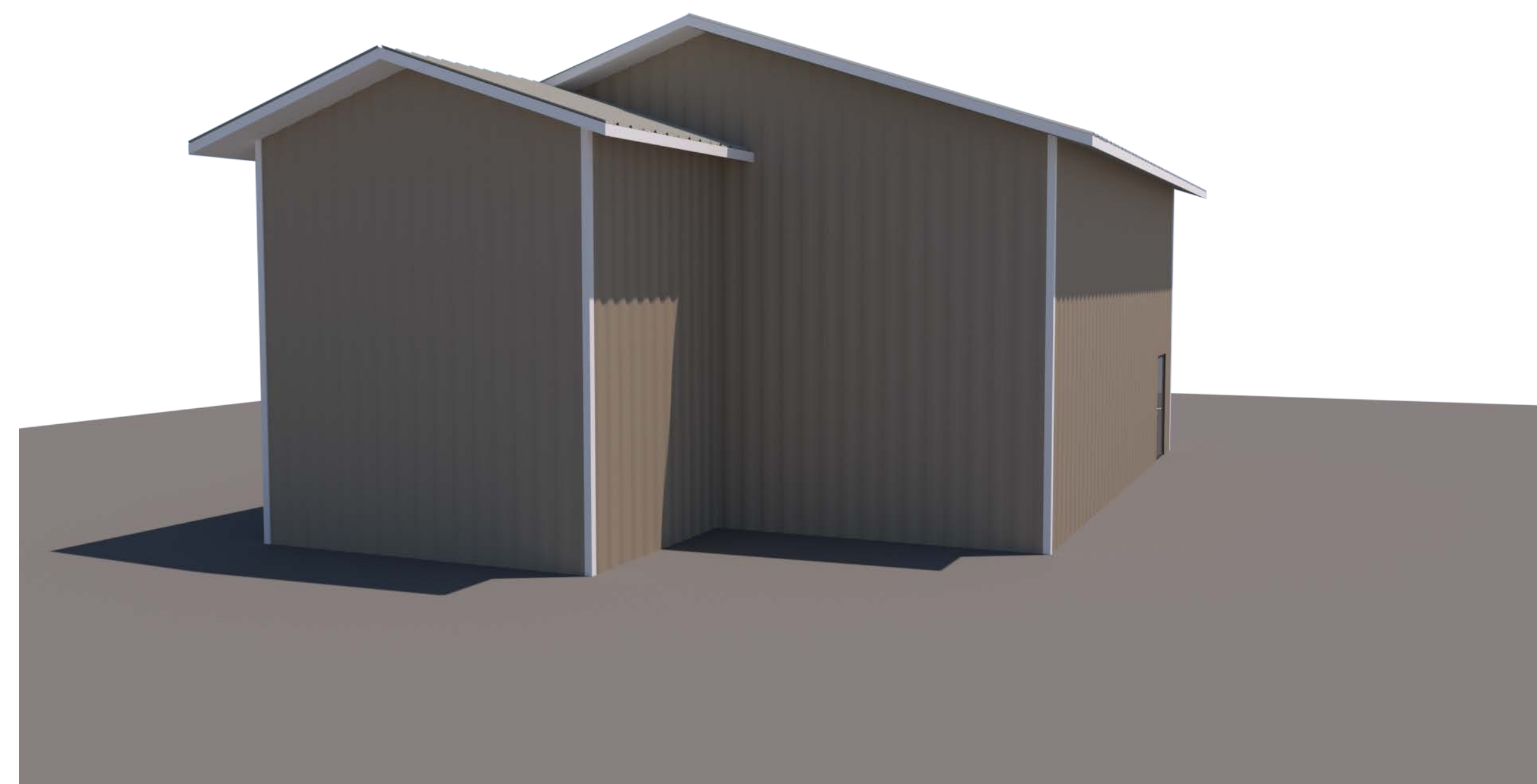
610 10TH ST. SUITE A  
PASO ROBLES CA 93446  
DJH1132@GMAIL.COM  
805.975.3071



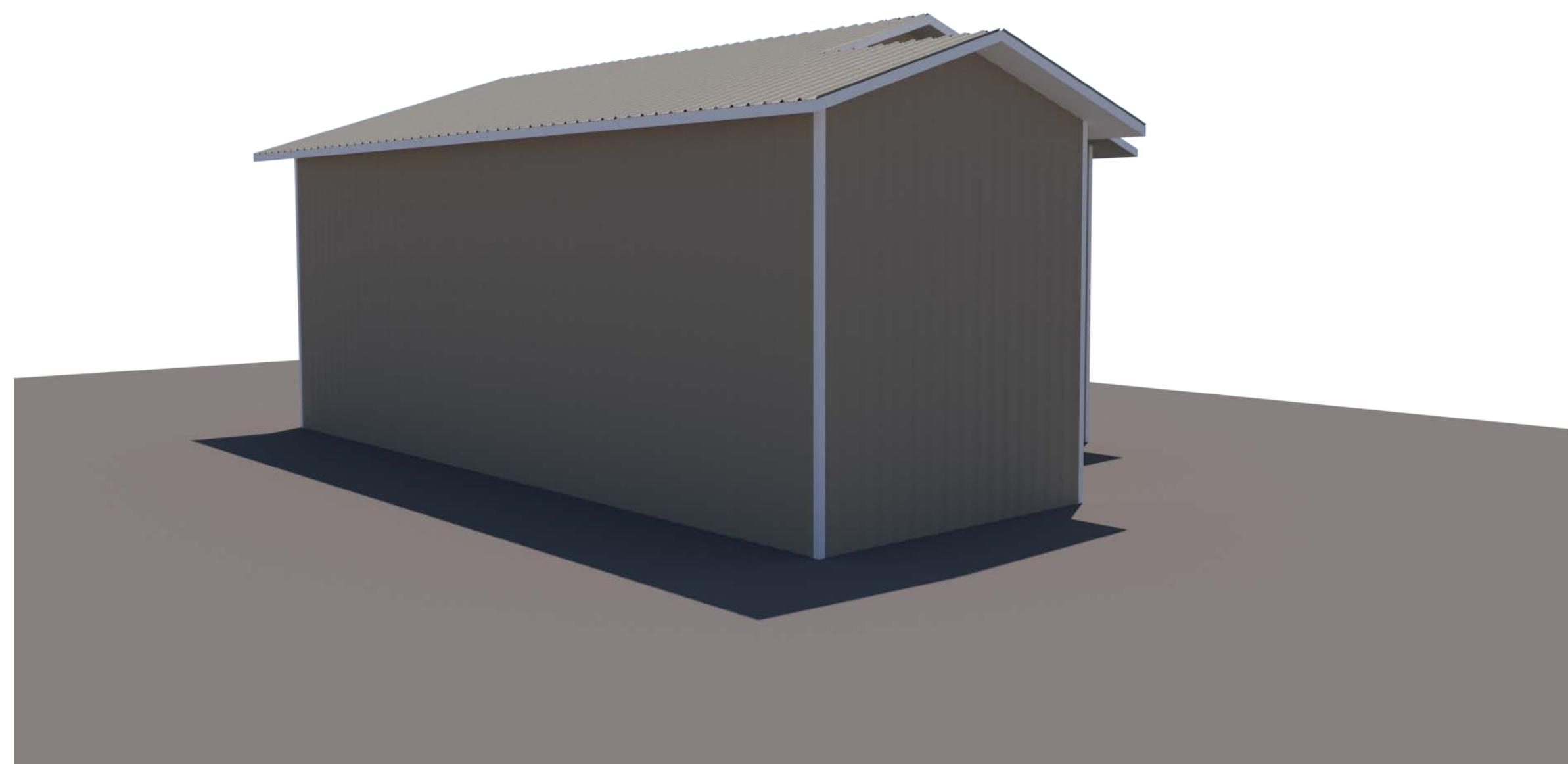
FRONT-LEFT ELEVATION



FRONT-RIGHT ELEVATION



BACK-LEFT ELEVATION



BACK-RIGHT ELEVATION

PLAN PREPARED FOR:

**PAT HOGUE**  
3625 COLIMA ROAD  
ATASCADERO, CA 93422

REVISION LOG

| REV. | DESCRIPTION | DATE |
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PROJECT NO. ---  
FILE NAME A-3.1 ELECTRICAL PLAN.DWG  
DRAWN BY DJH  
DATE 8/30/2024 10:12 AM

SHEET TITLE:  
**PERSPECTIVE VIEW**

SHEET NUMBER:  
**A-3.1**