# TASCADERO

#### Administrative Use Permit

#### **HOW TO OBSERVE THE MEETING:**

Interested individuals may attend the meeting in-person at Atascadero City Hall. To observe remotely, the meeting may be livestreamed on Zoom. The video recording of the meeting will be available through the City's website and on the City's YouTube Channel. To observe remotely using the Zoom platform, please visit:

To join the virtual hearing: https://us02web.zoom.us/j/84567568854

Webinar ID: 845 6756 8854

#### **HOW TO SUBMIT PUBLIC COMMENT:**

Public comment may be provided in-person.

Written public comments are accepted at <a href="mailto:aup-comments@atascadero.org">aup-comments@atascadero.org</a> by 5:00 pm the day before the meeting. Such email comments must identify the Agenda Item Number in the subject line of the email. The comments will be forwarded to the Administrative Hearing Officer and made a part of the administrative record. If a comment is received after the deadline for submission but before the close of the meeting, the comment will still be included as a part of the administrative record of the meeting but will be forwarded to the Zoning Administrator the next business day. Please note, email comments will not be read into the record.

#### AMERICAN DISABILITY ACT ACCOMMODATIONS:

Any member of the public who needs accommodations should contact the City Clerk's Office at <a href="mailto:cityclerk@atascadero.org">cityclerk@atascadero.org</a> or by calling (805) 470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Administrative Use Permit agendas and staff reports may be viewed on the City's website: <a href="https://www.atascadero.org">www.atascadero.org</a>. Final Action Reports will be available after the meeting, and upon request from the Community Development Department.

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the Community Development Department and are available for public inspection on our website, <a href="https://www.atascadero.org">www.atascadero.org</a>. All documents submitted by the public during AUP meetings that are either read into the record or referred to in their statement will be noted in the audio recording and available for review by contacting the Community Development Department. All documents will be available for public inspection during City Hall business hours by appointment request.

Working together to serve, build community and enhance quality of life.



# Administrative Use Permit Hearing A G E N D A

The City of Atascadero's Administrative Hearing Officer will hold a public hearing at **11:15 a.m.** on **Tuesday, October 29, 2024** at City Hall in Room 104 to consider the following project:

### 1. 3625 COLIMA ROAD (USE24-0095)

The application is to allow for a 1,465 SF garage on APN 049-302-014. The project is exempt from the California Environmental Quality Act (CEQA) under Categorical Exemption §15303, Class 3 for new construction or conversion of small structures. Staff recommendation is to approve the project, subject to conditions. (*Erick Gomez, Associate Planner*)

PLEASE NOTE: Any court challenge to the actions taken at the public hearing may be limited to considering only those issues raised at the public hearing described in this notice or in written correspondence to the City of Atascadero at, or prior to, the public hearing.

Any decision of the Hearing Officer is final unless appealed to the Planning Commission within 14 days of the action. Any person aggrieved by the decision may file an appeal. Appeal forms are available in the Community Development Department or on the City's website (<a href="https://www.atascadero.org">www.atascadero.org</a>). The fee for filing an appeal is \$1,668 (fee as of 7-29-24) and must accompany the appeal documentation.

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Working together to serve, build community and enhance quality of life.



ITEM #1

**Department:** Community

Development

Date: 10/29/2024

TO: Phil Dunsmore, Administrative Hearing Officer

FROM: Kelly Gleason, Planning Manager

PREPARED BY: Erick Gomez, Associate Planner

**SUBJECT:** USE24-0095, Hogue Garage

3625 Colima Road, Atascadero, CA 93422 (APN 049-302-014)

#### **RECOMMENDATION:**

The Administrative Hearing Officer:

• Approve Administrative Use Permit USE24-0095 allowing the construction of a garage with a size exceeding 50% of the floor area of the primary residential structure on a nonconforming 0.77-acre lot, based on findings and subject to conditions of approval.

#### **DISCUSSION:**

#### **PROJECT SUMMARY**

Patrick Hogue proposes to construct a 1,465 SF garage on an 0.77-acre (ac) property in the Residential Estate (RE) zoning district located at 3625 Colima Road (APN 049-302-014). The garage is a prefabricated metal building with a maximum height of 24'. Access to the garage will be from a shared driveway within an access easement extending from Colima Road. The property is developed with an approximately 2,218 SF Single-Family Residence with a 478 SF attached garage (PMT #16559 & BLD-2014-11681).

#### **ANALYSIS**

Residential accessory structures, such as garages, are allowed in the RE Zoning District. Accessory structures exceeding 50% of the floor area of the primary structure are subject to additional development standards outlined in Atascadero Municipal Code (AMC) § 9-6.106(b)(3), including:

- Location on a conforming lot or on a lot that is at least 1-ac in size
- 10' setback from the side and rear lot lines
- 40' setback from residences on neighboring properties
- Minimal grading and disturbance of native trees
- Neighborhood compatibility and design compatibility with the primary structure
- Non-interference with sunlight or access necessary for adjacent properties

Projects unable to meet these standards may still be constructed subject to approval of an Administrative Use Permit (AUP). The subject property is a nonconforming, 0.77-acre lot. The proposed garage is 1,465 SF garage which equivalent 54% of the primary structure. An AUP is

required because the lot does not meet the minimum lot size requirement for properties zoned RE, nor does it meet the minimum (1)-acre lot size requirement.

The project complies with other applicable standards of Atascadero Municipal Code (AMC) § 9-6.106(b)(3). The proposed 1,465 SF garage will be located on a topographically flat location of the site which will reduce the need for grading. The structure is proposed 10' from the side and rear property lines. No tree removals are anticipated to occur due to this permit; compliance with tree protection standards of the Native Tree Ordinance will be required during construction. The structure will have a neutral tan metal siding with white trim to match the existing residence. An existing access easement provides access to the rear of the lot where the garage is proposed. Construction of the garage will not interfere with the easement.

#### **FINDINGS:**

AMC 9-1.112 requires the Administrative Hearing Officer to make the following 4 findings:

- Modification of the applicable standard will not result in a project that is inconsistent with the General Plan.
  - <u>Discussion</u>: The development of residential accessory uses is consistent with envisioned land uses for properties designated Suburban Estate.
- 2. Modification of the applicable standards will not result in a project that is inconsistent with the character of the neighborhood or contrary to its orderly development.
  - <u>Discussion</u>: The project is appropriately designed and sited given the context of the site and neighborhood. The structure is also compatible with neighboring development. Adjacent lots are developed with single family residences and accessory structures with the nearest neighboring residence being located approximately 50' away from the location of the proposed garage.
- 3. Modification of the applicable standard will not result in a project that is not in compliance with any pertinent City policy or criteria adopted by ordinance or resolution of the City Council.
  - <u>Discussion</u>: The project will not conflict with any applicable City policy or criteria and is consistent with all applicable provisions of the Atascadero Municipal Code.
- 4. Modification of the applicable standard will not result in the authorization of a use not otherwise allowed.
  - <u>Discussion</u>: Residential accessory structures, such as garages, are allowed in the RE Zoning District.

#### **ENVIRONMENTAL DETERMINATION:**

The proposed project qualifies for a Class 3 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15301, which exempts new construction or conversion of small structures. This exemption is included in the draft resolution (Attachment 2).

#### **CONCLUSION:**

- The request for Administrative Use Permit USE24-0095 allowing the construction of a 1,465 SF garage meets all applicable requirements of the City Municipal Code, except for the minimum lot size requirements for accessory structures exceeding 50% of the floor area of the principal structure.
- All applicable findings for approval can be made. The structure is compatible with other on-site structures and neighboring development.

#### **CONDITIONS:**

- 1. This approval of Administrative Use Permit USE24-0095 as depicted and described on the attached exhibits allows the construction of a garage with a size exceeding 50% of the floor area primary residential structure on a nonconforming 0.77-acre lot at 3625 Colima Road (APN 049-302-014). The approval of these entitlements project runs with the land, regardless of the owner.
- 2. The approval of these entitlements shall become final and effective for the purposes of issuing building permits fourteen (14) days after the Administrative Officer hearing unless an appeal is made in accordance with the Atascadero Municipal Code.
- 3. Approval of these entitlements shall be valid for twenty-four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless the project has received a time extension consistent with the Atascadero Municipal Code.
- 4. The Community Development Department shall have the authority to approve the following minor changes to the project that (1) modify the site plan project by less than 10%, and/or (2) result in a superior site design or appearance.
- 5. The Applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning this administrative use permit.

#### **ACTION:**

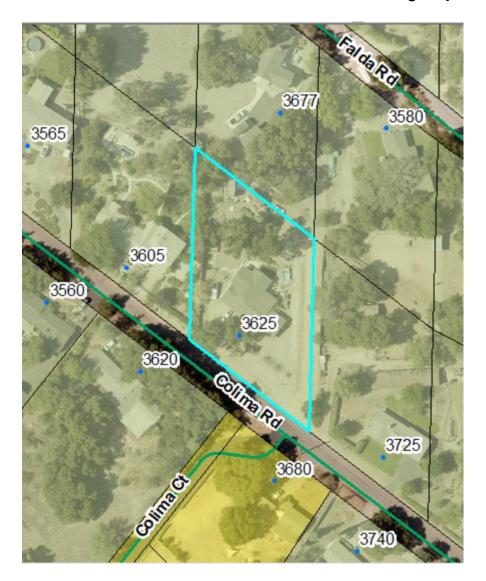
☐ APPROV	VE ☐ APPROVE AS MODIFIED IUE TO ALLOW	□ DENY	
SIGNED: _ P	hil Dunsmore, Administrative Hearing Officer	Date	

#### **ATTACHMENTS:**

- 1. Site and Zoning Map
- 2. Notice of Exemption
- 3. Project Plans

10/29/2024 | Item 1 | Staff Report Attachment 1: Site and Zoning Maps





### 10/29/2024 | Item 1 | Staff Report Attachment 2: Notice of Exemption



# CITY OF ATASCADERO NOTICE OF EXEMPTION

6500 Palma Avenue

Atascadero, CA 93422

805.461.5000

		Date Received Stamp		
TO:	Clerk-Recorder Office County of San Luis Obispo 1055 Monterey Street Suite D120 San Luis Obispo, CA 93408			
	Office of Planning and Research P.O. Box 3044, Room 113 Sacramento, CA 95812-3044			
FROM:	City of Atascadero Community Development Departmen 6500 Palma Avenue Atascadero, CA 93422	ıt		
SUBJECT:	UBJECT: Filing of Notice of Exemption in Compliance with Sections 15062 and 21152 of the Pu Resources Code			
Project Title:	USE24-0095, Hogue Garage			
Project Appli	icant: Patrick Hogue, P.O. Box 1138, pat@hogueinc.com; (805) 712-			
Project Locat	ion: 3625 Colima Road, Atascadero, C	CA 93422 (APN 049-302-014)		
size exceeding Residential Es maximum hei extending from	g 50% of the floor area primary resident state zoning district. The proposed garaght of 24'. Access to the garage will b	owing the allowing the construction of a garage with a structure on a nonconforming 0.77-acre lot in the age is a 1,465 SF prefabricated metal building with a see from a shared driveway within an access easement oped with an approximately 2,218 SF Single Family		
Name of Pub	olic Agency Approving Project: City	of Atascadero		
Name of Pers	son or Agency Carrying Out Project:	Patrick Hogue		
Exempt Statu	<u>ıs:</u>			
Declar	terial (Sec. 15268); red Emergency (Sec. 15269(a)); gency Project (Sec. 15269(b)(c));	General Rule Exemption (Sec. 15061. c);  X Categorically Exempt (Sec. 15301 - 15333);  Statutory Exemption (Sec. 15261 - 15285)		

# 10/29/2024 | Item 1 | Staff Report Attachment 2: Notice of Exemption

Reasons why the project is exempt: The project is exempt from environmental review pursuant to pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). The proposed project will install a new 1,465 SF garage in the rear yard of a developed property. The area of disturbance on the property is limited. The are no sensitive environmental resources on the project or unusual environmental circumstances surrounding the project site. There are no scenic or historical resources in the vicinity of the project site. The site is not a listed hazardous waste site property. There are no cumulative impacts from associated successive projects.

	(805) 470-3436 egomez@atascadero.org	
Date Exemption Accepted:	10/29/24	10/29/24

Lead Agency Contact Person: Erick Gomez, Planner

# 10/29/2024 | Item 1 | Staff Report Attachment 3: Project Plans

**SEE FOLLOWING SHEETS** 

## **EROSION CONTROL**

- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE
- 2. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED TO THE SATISFACTION OF THE BUILDING OFFICIAL AND PUBLIC WORKS DIRECTOR DURING ALL DEMOLITIONS, CONSTRUCTION AND GROUND DISTURBING
- 3. THE ADJOINING STREET SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY. 4. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS, PLANTINGS AND FACILITIES ARE IN PLACE.

TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION

5. THE FOLLOWING PERSON SHALL BE RESPONSIBLE FOR IMPLEMENTING & MONITORING THE APPROVED EROSION & SEDIMENTATION CONTROL PLAN:

PATRICK HOGUE

## FIRE SAFETY PLAN

THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THIS BUILDING PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS AS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THIS PERMIT. PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN ISSUED BY THE FIRE DEPARTMENT AND BECOME FULLY AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS.

- WHEN FIRE SPRINKLERS ARE REQUIRED, A FIRE SPRINKLER PLAN AND PERMIT FOR RESIDENTIAL PROJECTS ARE REQUIRED. PROVIDE APPROVED PLANS TO BUILDING INSPECTOR PRIOR TO THE TIME OF FRAMING INSPECTION.
- . PRIOR TO FINAL APPROVAL. THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE. WHERE APPLICABLE, PROVIDE FIREBREAK WITHIN 30 AND 100' OF EACH BUILDING OR STRUCTURE. DOWNED LOGS, STUMPS, DEAD AND DYING WOODY SURFACE FUELS SHALL BE REMOVED. REMOVE SURFACE FUELS GREATER THAN 4 INCHES AND LOWER LIMBS OF TREES UP TO 6 FEET WITHIN AREAS OF CONTINUOUS TREE CANOPY

## **GENERAL GRADING NOTES**

- ANY AND ALL SITE WORK AND GRADING SHALL BE IN ACCORDANCE WITH CBC CHAPTER 18 AND CBC APPENDIX J AND ANY APPLICABLE LOCAL ORDINANCES.
- A SOILS ENGINEER SHALL DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE(S).
- THE BOTTOM OF ALL EXCAVATIONS SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PROCESSING OR PLACING FILL.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK DONE WITHIN A
- RIGHT OF WAY MAINTAINED BY THE PRESIDING JURISDICTION. MAXIMUM CUT AND FILL SLOPE TO BE 2:1.
- THE EXISTING GROUND SURFACE SHOULD BE PREPARED FOR GRADING BY REMOVING ALL VEGETATION, TREES, LARGE ROOTS, DEBRIS, NON-COMPLYING FILL. AND ALL OTHER ORGANIC MATERIAL. VOIDS CREATED BY REMOVAL OF SUCH MATERIALS SHOULD NOT BE BACKFILLED UNTIL THE UNDERLYING SOIL
- HAS BEEN OBSERVED BY A SOILS ENGINEER. FILL AND BACKFILL SHOULD BE PLACED AT NEAR OPTIMUM MOISTURE IN LAYERS WITH LOOSE THICKNESS NOT GREATER THAN EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY OBTAINABLE BY TEST METHOD ASTM-D 1557, AND CERTIFIED BY A SOILS
- IMPORT SOILS USED TO RAISE SITE GRADE SHOULD BE EQUAL TO OR BETTER THAN ON-SITE SOILS IN STRENGTH, EXPANSION AND COMPRESSIBILITY CHARACTERISTICS. IMPORT SOIL CAN BE EVALUATED BUT WILL NOT BE PRE-QUALIFIED BY THE GEOTECHNICAL ENGINEER. FINAL COMMENTS ON THE CHARACTERISTICS OF THE IMPORT SOIL WILL BE PROVIDED AFTER THE MATERIAL IS STOCKPILED AT THE PROJECT SITE.
- 9. FINAL SITE GRADE SHOULD BE SUCH THAT ALL WATER IS DIVERTED AWAY FROM THE STRUCTURE(S) A MINIMUM OF 5% FOR 10 FEET. WATER SHALL NOT POND. ALL SURFACE WATER SHOULD BE DIRECTED INTO APPROVED DISCHARGE STRUCTURES.
- 10. ACCESS ROAD/DRIVEWAYS: ANY ROAD GRADE IN EXCESS OF 12% SHALL BE PAVED WITH A NON-SKID MATERIAL. GRADE FOR FIRE ACCESS SHALL NOT
- 11. ALL NON-PERMITTED FILL SHALL BE REMOVED BY CONTRACTOR. 12. ELECTRICAL, TELECOMMUNICATIONS, AND OTHER UTILITIES SHALL BE
- INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION. THIS REGULATION APPLIES TO UTILITIES ON SITES THAT ARE 5 ACRES OR LESS AND SERVING NEW STRUCTURES AND/OR NEW UTILITY DISTRIBUTIONS.
- 13. UTILITY TRENCH BACKFILL SHOULD BE GOVERNED BY THE PROVISIONS OF THIS REPORT RELATING TO MINIMUM COMPACTION STANDARDS. IN GENERAL, SERVICE LINES INSIDE THE PROPERTY LINES MAY BE BACKFILLED WITH NATIVE SOILS COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY. BACKFILL OF OFF SITE SERVICE LINES WILL BE SUBJECT TO THE SPECIFICATIONS OF THE JURISDICTIONAL AGENCY OR THE GEOTECHNICAL REPORT, WHICHEVER IS
- 14. LINED DRAINAGE SWALES AND DOWN DRAINS SHOULD BE PROVIDED AT THE TOPS OF CUT AND FILL SLOPES TO DIVERT DRAINAGE AWAY FROM SLOPE
- 15. FILL SLOPES SHOULD BE KEYED AND BENCHED INTO FIRM NATURAL GROUND WHEN THE EXISTING SLOPE TO RECEIVE FILL IS 5:1 OR STEEPER, HORIZONTAL TO VERTICAL. THE KEYS SHOULD BE TILTED INTO THE SLOPE A MINIMUM OF 2%, SHOULD BE A MINIMUM OF ONE EQUIPMENT WIDTH AND SHOULD BE A MINIMUM OF THREE (3) FEET DEEP ON THE OUTSIDE EDGE. ALL KEYS AND BENCHES SHOULD BE OBSERVED AND VERIFIED BY THE GEOTECHNICAL ENGINEER.

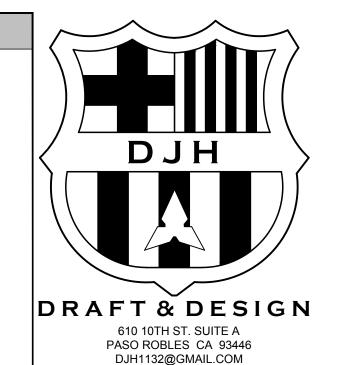
# ARCHITECTURAL PLANS FOR A NEW METAL BUILDING 3625 COLIMA ROAD



### SHEET INDEX

- T-1.1 TITLE SHEET, PROJECT INFORMATION
- C-1.1 SITE PLAN
- A-1.1 FLOOR PLAN, ELECTRIC PLAN
- A-2.1 ELEVATIONS
- A-3.1 PERSPECTIVE VIEW

PROJECT ADDRESS



# **PROJECT INFORMATION**

PATRICK HOGUE 3625 COLIMA ROAD ATASCADERO, CA 93422 LEGAL DESCRIPTION CY ATAS ATAS COL BL 19 LT 124 049-302-014 805-712-7287

PHONE PAT@HOGUEINC.COM

# **PROJECT STATISTICS**

OCCUPANCY (CBC 310.1) **CONSTRUCTION TYPE** (EX) RESIDENCE 2,203 SQ FT (N) METAL BUILDING GARAGE 1,465 SQ FT FIRE SPRINKLERS

# **VICINITY MAP**

# AIR QUALITY CONTROL

DURING CONSTRUCTION/GROUND DISTURBING ACTIVITIES. THE FOLLOWING PARTICULATE (DUST) CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR OR BUILDER SHALL BE DESIGNATED TO MONITOR THE DUST CONTROL PROGRAM AND ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THEIR CONTACT INFORMATION SHALL BE PRESENTED TO THE APCD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- 1. REDUCE THE AMOUNT OF DISTURBED AREA WHERE POSSIBLE
- 2. USE OR WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY WOULD BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NONPOTABLE) WATER SHOULD BE USED WHENEVER POSSIBLE; 3. ALL DIRT STOCK-PILE AREAS SHOULD BE SPRAYED DAILY AS NEEDED;
- 4. ALL ROADWAYS, DRIVEWAYS, SIDEWALKS, ETC TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE; AND
- 5. BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.

DURING INITIAL GRADING/SCRAPING, BURNING SHALL NOT BE ALLOWED, OR IF NO ALTERNATIVE IS AVAILABLE, THE APPLICANT SHALL OBTAIN A BURN PERMIT FROM THE APCD AND COUNTY FIRE/CALIFORNIA DEPARTMENT OF FORESTRY, AND COMPLY WITH ALL CONDITIONS REQUIRED BY THESE AGENCIES.

# SEPARATE PERMIT REQUIREMENTS

STATEMENT OF SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS ARE REQUIRED FOR THIS PROJECT

SEE SHEET (1) OF METAL BUILDING PLANS

FIRE SPRINKLERS

# PROJECT DESCRIPTION

NEW 1.465 SQ FT METAL BUILDING PER PLANS ATTACHED. THE BUILDING WILL HAVE ELECTRIC AND PLUMBING

# CONSULTANTS

METAL BUILDING STAR METAL BUILDINGS

CONTRACTOR DUECK CONSTRUCTION INC TIM DUECK

STRUCTURAL ENGINEERING **KUDLA ENGINEERING** DARRELL KUDLA 610 10TH ST, SUITE A PASO ROBLES, CA 93446

805-423-4844

**DESIGN AND DRAFTING** DH DRAFT AND DESIGN 610 10TH ST, SUITE A PASO ROBLES, CA 93446 805.975.3071

# **GENERAL CONSTRUCTION NOTES**

ALL WORK SHALL CONFORM WITH THE: 2022 CBC (2021 IBC AND CALIFORNIA AMENDMENTS) 2022 CEC (2020 NEC AND CALIFORNIA AMENDMENTS) 2022 CMC (2021 IAPMO UMC AND CALIFORNIA AMENDMENTS) 2022 CPC (2021 IAPMO UPC AND CALIFORNIA AMENDMENTS)

2022 CENC AND T-24. 2022 CALIFORNIA GREEN BUILDING CODE 2022 CFC (2021 IFC AND CALIFORNIA AMENDMENTS) 2022 ATASCADERO MUNICIPAL CODE

THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARHCITECT/ ENGINEER BY THE GENERAL CONTRACTOR

BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. 2. ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL

COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR AND/OR MATERIALS TO BRING TO THE ATTENTION OF THE ARCHITECT/ENGINEER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

- 3. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- 4. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE
- SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

('22 CBC Section 1704.3):

CONTRACTOR HEREBY GUARANTEES TO THE OWNER AND THE ARCHITECT/ENGINEER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM ANY FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, UNLESS A GREATER WARRANTY OR GUARANTEE IS REQUIRED BY THE PROJECT SPECIFICATIONS. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK.

ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN

WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK.

- COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL
- 7. REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR DEPRESSED SLABS CURB, FINISHES, TEXTURES, CLIPS, GROUNDS, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.
- SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS. 9. MORE DETAILED INFORMATION SHALL TAKE PRECEDENCE OVER

8. ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY

- LESSER DETAILED INFORMATION. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS. 10. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS
- SHALL COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES. 11. THE CONTRACTOR AND ALL SUB-CONTRACTORS WILL BE HELD ACCOUNTABLE TO THE ABOVE GENERAL NOTES FOR THE CONSTRUCTION OF THE PROJECT.
- ANY EXCESS MATERIAL FROM PROJECT SITE.
- 13. THIS SET OF PLANS TO BE ON JOB SITE AT ALL TIMES DURING

- CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED
- THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS. [CBC 108] 14. ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE ON FILE WITH
- THE BUILDING DEPARTMENT, A LIST OF ALL SUCH CONTRACTORS AND SUB-CONTRACTORS WITH APPROPRIATE CURRENT BUSINESS LICENSE NUMBERS. 15. UNLESS NOTED OTHERWISE, ALL VESTIBULES, CLOSETS, COLUMNS,

TO AND APPROVED BY THE BUILDING OFFICIAL. THE ISSUANCE OF A

PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING

- PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREA SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR. 16. CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, CONTOURS
- AND BUILDING PAD PRIOR TO CONSTRUCTION. 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE 17. TRUSS CALCULATIONS FOR APPROVED PROJECTS ARE REQUIRED TO BE ON THE JOB SITE AT TIME OF FRAMING INSPECTION WITH THE APPROPRIATE REQUIRED SIGNATURES AND STATEMENT AS FOLLOWS:

TRUSS CALCULATIONS SHALL INCLUDE THE WET-STAMP AND SIGNATURE OF THE TRUSS DESIGN ENGINEER. IN ADDITION, THEY SHALL INCLUDE ON THE COVER SHEET A WET- SIGNED STATEMENT FROM THE PROJECT'S DESIGN ENGINEER THAT TRUSS CALCULATIONS AND LAYOUTS ARE IN SUBSTANTIAL CONFORMANCE WITH THE STRUCTURAL DESIGN AND INTENT OF THE STRUCTURE. FAILURE TO PROVIDE THEM AS STATED WILL RESULT IN A CORRECTION AND A FAILURE TO PASS FRAMING INSPECTION. [BSP]

- 18. VERIFY LOCATION OF ALL UTILITY TIE-INS AT STREET AND POINT OF CONNECTIONS AT BUILDING PRIOR TO CONSTRUCTION. 19. A COPY OF SOILS REPORT SHALL BE ON SITE DURING FOUNDATION
- 20. ALL PROPERTY CORNERS SHOULD BE ESTABLISHED AT THE TIME OF

FOUNDATION INSPECTION WITH THE MARK OF A LICENSED SURVEYOR.

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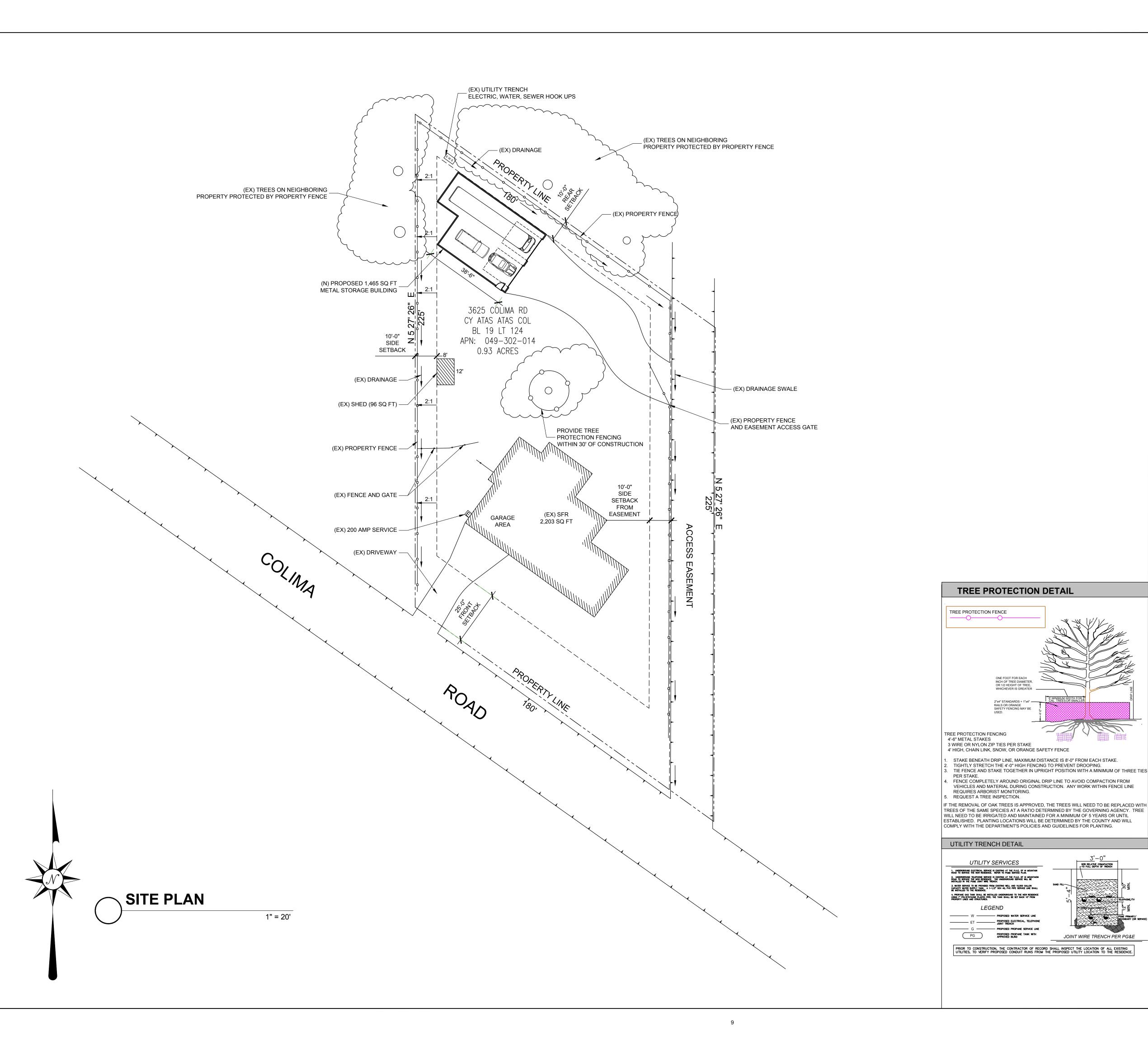
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### GENERAL SITE PLAN NOTES

- 1. SLOPE GRADE AWAY FROM BUILDING AT 5% FOR 10' DISTANCE. EXISTING GRADE TO REMAIN UNLESS NOT ABLE TO MEET THIS REQUIREMENT. NOTIFY ARCHITECT IMMEDIATELY.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF WIND EROSION AND DUST WITHIN THE AREAS OF OPERATION. METHOD OF CONTROL SHALL BE SELECTED BY THE CONTRACTOR BUT SHALL SATISFY
- REQUIREMENTS. HAY BALES WILL BE PLACED AS AN EROSION CONTROL MEASURE AS DIRECTED BY THE COUNTY PUBLIC WORKS DEPARTMENT IF THE CONSTRUCTION IS NOT COMPLETED PRIOR TO 180 DAYS FROM DATE OF CONSTRUCTION.
- INFORMATION PERTAINING TO EXISTING UNDERGROUND FACILITIES AS SHOWN HEREIN IS FOR INFORMATION BE SHOWN IN PROFILE. IT SHALL BE THE RESPONSIBILITY OF DRAFT & DESIGN THE CONTRACTOR TO CONTACT "UNDERGROUND SERVICE ALERT" AT 1-800-642-2444 FOR LOCATION OF ALL UNDERGROUND FACILITIES. ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE DELINEATED BASED ON THE BEST AS-BUILT INFORMATION AVAILABLE AT THE TIME THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACTUAL LOCATIONS OF THE CABLE TV., FIBER OPTIC, WATER, SEWER, DRAINAGE, OR OTHER UNDERGROUND FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT THAT POTENTIAL CONFLICTS OR INTERFACES ARE DISCOVERED.
- 5. ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- 6. NEW ADDRESS IDENTIFICATION AT STREET GATE. PER CBC 501.2, PROVIDE ADDRESS LETTERS (MIN. 6" HIGH AND 1/2" WIDE). THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND OR VISIBLE ENOUGH FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- SEE CIVIL ENGINEERING DRAWINGS FOR SEPTIC SYSTEM
- DESIGN AND LOCATION. NOT ON ARCHITECTURAL. SOIL ENGINEER SHALL INSPECT FOUNDATION PRIOR TO
- PLACEMENT OF CONCRETE FOR THE FOUNDATION. SOIL COMPACTION REPORT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT THE JOB SITE PRIOR TO
- PLACEMENT OF CONCRETE FOR THE FOUNDATION. 10. A CERTIFICATION FOR 90% COMPACTION OF BACKFILL FROM A GEOTECHNICAL ENGINEER SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FINAL SIGN OFF AND
- ACCEPTANCE OF RETAINING WALL. 11. NEW AND EXISTING BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY AND OF REFLECTIVE MATERIAL WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED BY AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS HALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 6" HIGH FOR RESIDENTIAL BUILDINGS, WITH A MINIMUM STROKE WIDTH OF 0.5". REVISE NOTE ON TITLE SHEET SPECIFYING 4" HIGH.

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PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING

WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA. AND TRAINING EMPLOYEES AND SUBCONTRACTORS. APPROACH: THE FOLLOWING STEPS WILL HELP REDUCE STORM WATER POLLUTION FROM CONCRETE WASTES: - STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS. - AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE. -PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED AREAS ONLY. -DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. - DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS. - FOR ON-SITE WASHOUT: - LOCATE WASHOUT AREA AT LEAST FIFTY FEET (50') FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. - WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY. - WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND

EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER TO BE BERMED OR LEVEL AREA. - DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN THE TRASH.

CONCRETE WASHOUT

**DESCRIPTION:** 

JOINT WIRE TRENCH PER PG&E

90% RELATIVE COMAPACTION TO FULL DEPTH OF TRENCH

PRIOR TO CONSTRUCTION, THE CONTRACTOR OF RECORD SHALL INSPECT THE LOCATION OF ALL EXISTING UTILITIES, TO VERIFY PROPOSED CONDUIT RUNS FROM THE PROPOSED UTILITY LOCATION TO THE RESIDENCE.

UTILITY SERVICES

LEGEND

PROPOSED PROPANE TANK WITH APPROVED BLIND

WATER WATER —— GAS ——— GAS ——— \_\_\_\_\_\_

LEGEND

UNDERGROUND WATER SUPPLY FROM CITY CONNECTION GAS LINE UNDER SLAB PROPERTY LINE

(E) ELECTRICAL UNDERGROUND.

(E) DRIVEWAY

**PLAN** 

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**GENERAL SITE** 

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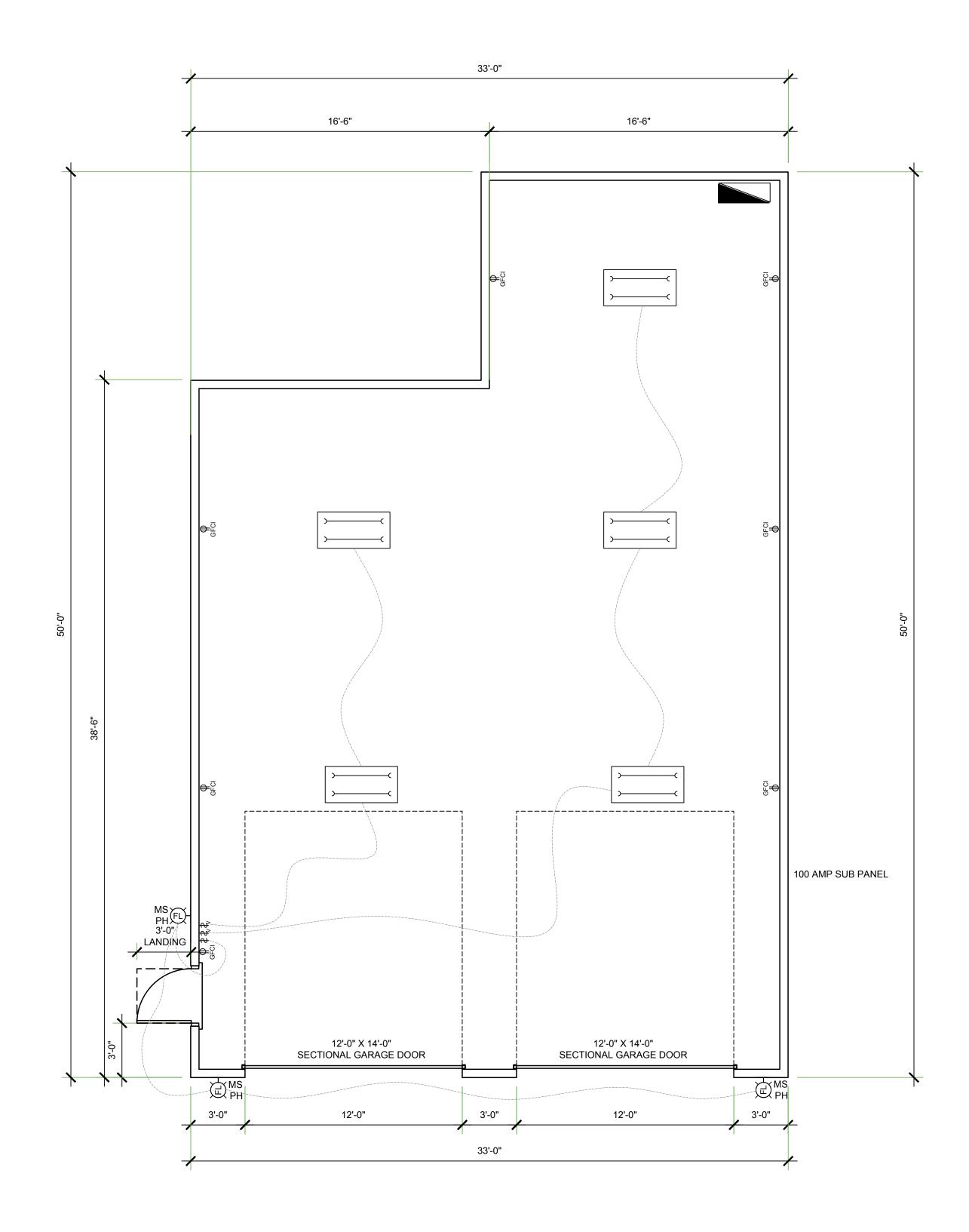
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purpose of this project on this site.

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# FLOOR PLAN NOTES

IN ACCORDANCE WITH CRC R311.3 LANDINGS AT DOORS ARE TO HAVE A LENGTH IN THE DIRECTION OF TRAVEL OF AT LEAST 36 INCHES ON EACH SIDE OF THE DOOR.

# **ELECTRICAL NOTES**

- GFCI OUTLETS ON ALL ABOVE COUNTER OUTLETS IN GARAGE MOUNTED AT 44" ABOVE FINISH FLOOR (TYP). ALL 125-VOLT, 15-AND 20- AMPERE RECEPTACLES SHALL BE LISTED "TAMPER-RESISTANT RECEPTACLES. (CEC 210.12(A))
- CEILING MOUNTED OUTLET FOR GARAGE DOOR OPENER. PROVIDE AND INSTALL APPROVED GARAGE DOOR OPENER WITH REMOTE CONTROL
- \*\*\* ALL ELECTRICAL SWITCHES, FIXTURES, LUMINARIES, RECEPTACLES SHALL MEET AND CONFORM WITH THE 2013 CALIFORNIA ELECTRICAL CODE.

# LEGEND

© ⊕ 115 V GFCI DUPLEX RECEPTACLE +44-0"

SWITCH W/ VACANCY SENSOR ON AND OFF SWITCH

WALL MOUNTED EXTERIOR FIXTURE, DOWNCAST, MOTION SENSOR

100 AMP SUBPANEL

2X4LED STRIP LIGHT FIXTURE



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FILE NAME A-1.1 FLOOR PLAN.DWG DRAWN BY DJH

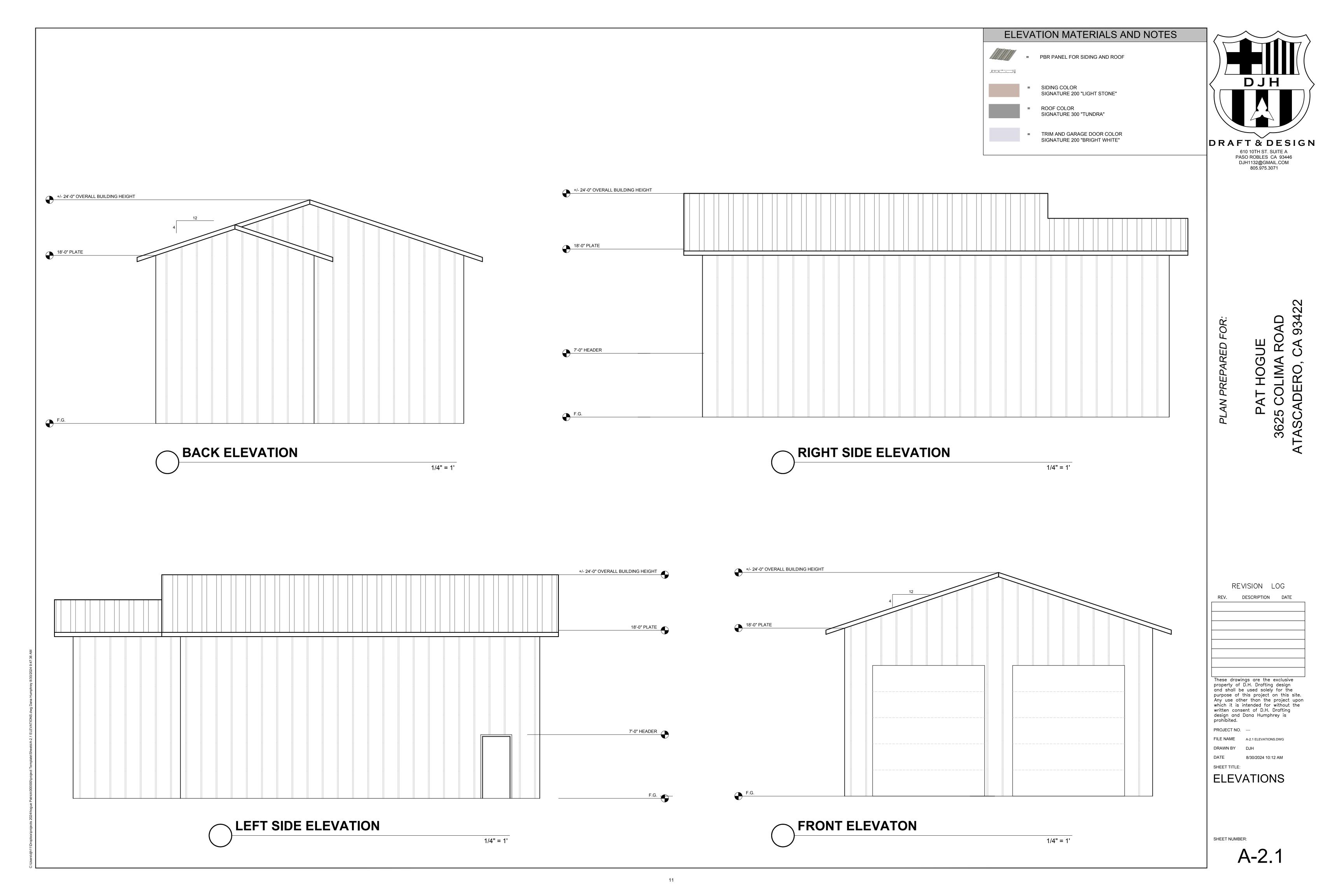
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FLOOR PLAN

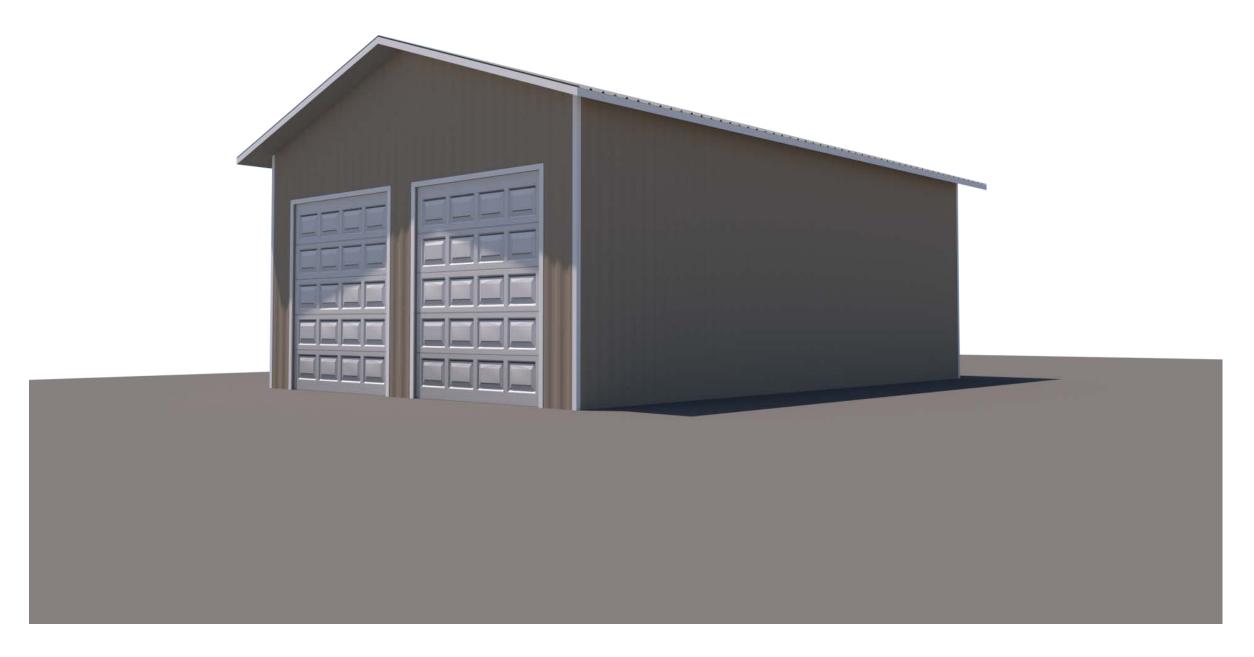
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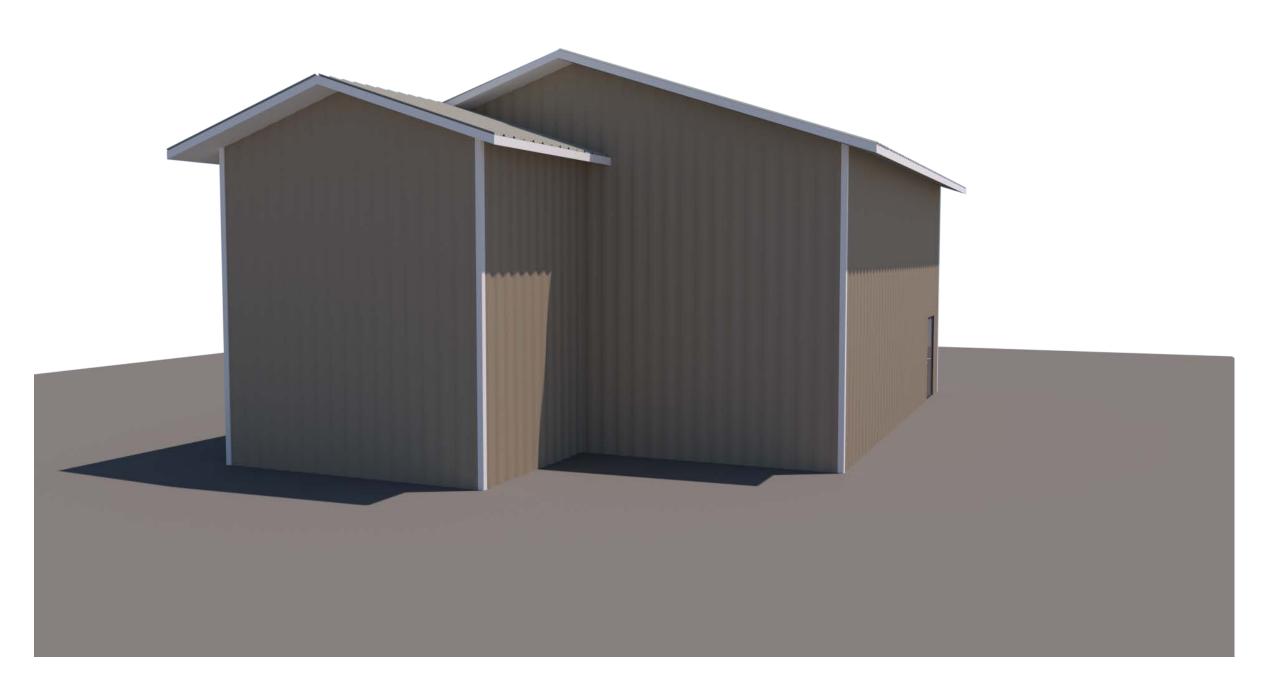




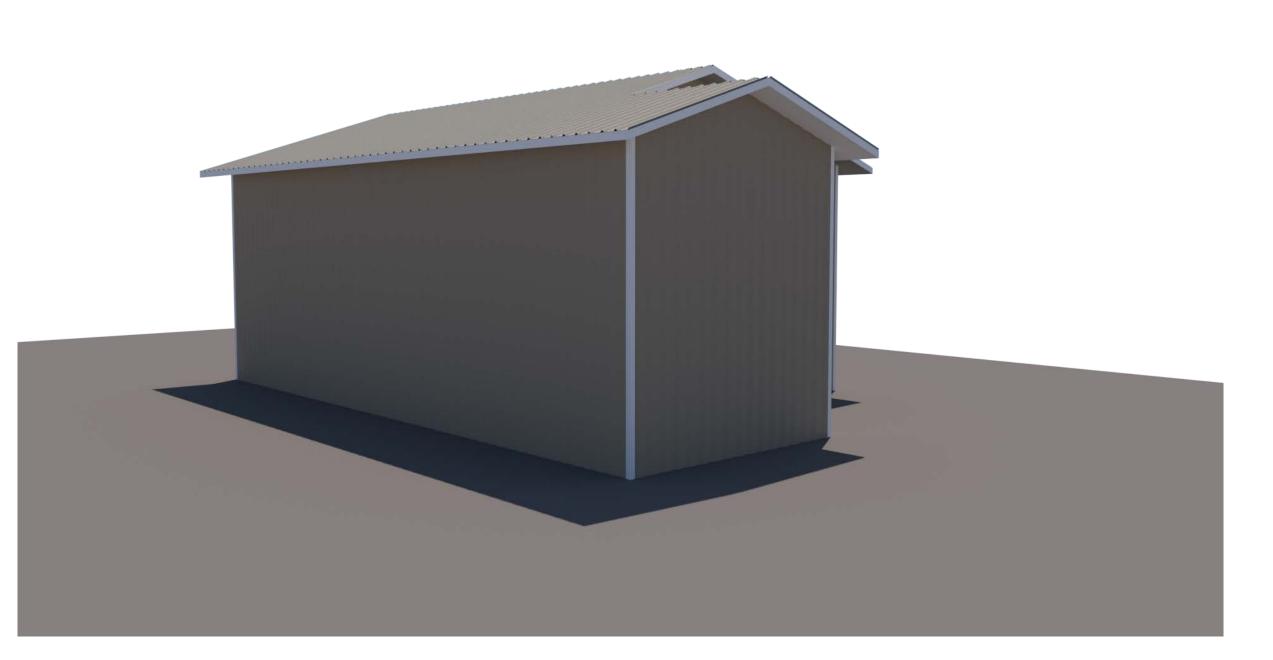
FRONT-LEFT ELEVATION



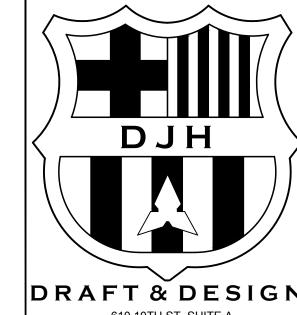
FRONT-RIGHT ELEVATION



**BACK-LEFT ELEVATION** 



BACK-RIGHT ELEVATION



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FILE NAME A-3.1 ELECTRICAL PLAN.DWG

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SHEET TITLE:

PERSPECTIVE **VIEW** 

SHEET NUMBER:

A-3.1