



## CITY OF ATASCADERO PLANNING COMMISSION AGENDA

### **HYBRID MEETING INFORMATION:**

The Planning Commission meeting will be available via teleconference for those who wish to participate remotely. The meeting will also be held in the City Council Chambers and in-person attendance will be available at that location.

### **HOW TO OBSERVE THE MEETING REMOTELY:**

To participate remotely, residents can livestream the meeting on **Zoom**. The video recording of the meeting will repeat daily on Channel 20 at 1:00 am, 9:00 am, and 6:00 pm and will be available through the City's website and on the City's YouTube Channel. To participate remotely using the Zoom platform please visit:

<https://us02web.zoom.us/j/83250238111>

Planning Commission – Meeting ID: 832 5023 8111 (No Passcode Required)

### **HOW TO SUBMIT PUBLIC COMMENT:**

Public comment may be provided in-person or remotely. Call **(669) 900-6833** (Meeting ID: 832 5023 8111) to listen and provide public comment via phone or via the **Zoom** platform using the link above.

Written public comments are accepted at [pc-comments@atascadero.org](mailto:pc-comments@atascadero.org). **Comments should identify the Agenda Item Number in the subject line of the email.** Such comments will be forwarded to the Planning Commission and made a part of the administrative record. ***To ensure distribution to the Planning Commission before consideration of an item, please submit comments not later than 12:00 p.m. the day of the meeting.*** All correspondence will be distributed to the Planning Commission, posted on the City's website, and be made part of the official public record of the meeting. ***Please note, comments will not be read into the record.*** Please be aware that communications sent to the Planning Commission are public records and are subject to disclosure pursuant to the California Public Records Act and Brown Act unless exempt from disclosure under applicable law. Communications will not be edited for redactions and will be printed/posted as submitted.

### **AMERICAN DISABILITY ACT ACCOMMODATIONS:**

Any member of the public who needs accommodations should contact the City Clerk's Office at [cityclerk@atascadero.org](mailto:cityclerk@atascadero.org) or by calling 805-470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Planning Commission agendas and minutes may be viewed on the City's website:

[www.atascadero.org/agendas](http://www.atascadero.org/agendas).

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the Community Development Department and are available for public inspection on our website, [www.atascadero.org](http://www.atascadero.org). Contracts, Resolutions and Ordinances will be allocated a number once they are approved by the Planning Commission. The Minutes of this meeting will reflect these numbers. All documents submitted by the public during Planning Commission meetings that are either read into the record or referred to in their statement will be noted in the Minutes and available for review by contacting the Community Development Department. All documents are available for public inspection during City Hall business hours by appointment.



# **CITY OF ATASCADERO PLANNING COMMISSION AGENDA**

---

**REGULAR MEETING  
Tuesday, May 21, 2024  
6:00 P.M.**

**City Hall Council Chambers  
6500 Palma Avenue, 4<sup>th</sup> Floor  
Atascadero, California 93422**

## **CALL TO ORDER**

Pledge of Allegiance

**ROLL CALL:** Chairperson Tori Keen  
Vice Chairperson Jeff van den Eikhof  
Commissioner Jason Anderson  
Commissioner Victoria Carranza  
Commissioner Greg Heath  
Commissioner Randy Hughes  
Commissioner Dennis Schmidt

## **APPROVAL OF AGENDA**

**PUBLIC COMMENT** (This portion of the meeting is reserved for persons wishing to address the Commission on any matter not on this agenda and over which the Commission has jurisdiction. Speakers are limited to three minutes. Please state your name for the record before making your presentation. The Commission may take action to direct the staff to place a matter of business on a future agenda.)

**CONSENT CALENDAR** (All items on the consent calendar are considered to be routine and non-controversial by City staff and will be approved by one motion if no member of the Commission or public wishes to comment or ask questions.)

## **1. APPROVAL OF THE DRAFT MINUTES OF MAY 7, 2024**

- **Recommendation:** Commission approve the May 7, 2024 Minutes.

**WEBSITE:**



Find us on  
Facebook



Follow us on  
Twitter

[www.atascadero.org](http://www.atascadero.org)

<http://www.facebook.com/planningatascadero>

[@atownplanning](https://twitter.com/atownplanning)

Scan this QR Code  
with your smartphone  
to view the Planning  
Commission Website.





**PLANNING COMMISSION BUSINESS****COMMUNITY DEVELOPMENT STAFF REPORTS**

None

**PUBLIC HEARINGS**

(For each of the following items, the public will be given an opportunity to speak. After a staff report, the Chair will open the public hearing and invite the applicant or applicant's representative to make any comments. Members of the public will be invited to provide testimony to the Commission following the applicant. Speakers should state their name for the record and can address the Commission for three minutes. After all public comments have been received, the public hearing will be closed, and the Commission will discuss the item and take appropriate action(s).

**DISCLOSURE OF EX PARTE COMMUNICATIONS:**

Prior to a project hearing, Planning Commission Members must disclose any communications they have had on any quasi-judicial agenda items. This includes, but is not limited to, Tentative Subdivision Maps, Parcel Maps, Variances, Conditional Use Permits and Planned Development Permits. This does not disqualify the Planning Commission Member from participating and voting on the matter, but gives the public and applicant an opportunity to comment on the ex parte communication.

**2. 11600/11700 EL CAMINO REAL (DOVE CREEK MIXED-USE)**

The project includes a request for Amendments to the Dove Creek Master Plan of Development, PD overlay zone text amendment, and a Tentative Tract Map to establish a mixed-use development containing commercial tenant spaces, a hotel, and residential units on a vacant parcel (DEV23-0079).

- CEQA: The proposed project is consistent with the previously certified Mitigated Negative Declaration 2004-0026.
- Recommendation: Staff's recommendation is for the Planning Commission to adopt the Draft Resolution recommending that the City Council take the following actions:
  - i. Introduce for the first reading, by title only, an ordinance that would approve a Zoning Text Amendment to modify Planned Development Overlay Zone No.12 for the Dove Creek Mixed-Use project area; and
  - ii. Approve an Amendment to the Conditional Use Permit (CUP 2003-0099, as amended) that established a Master Plan of Development for The Villages of Dove Creek, approving the Dove Creek Mixed-Use project; and
  - iii. Approve Tentative Tract Map TR 3229, for a commercial and residential condominium subdivision for the Dove Creek Mixed-Use project area, and take such additional, related, action that may be desirable.

**WEBSITE:** [www.atascadero.org](http://www.atascadero.org)<http://www.facebook.com/planningatascadero>[@atownplanning](https://twitter.com/atownplanning)

Scan this QR Code  
with your smartphone  
to view the Planning  
Commission Website.



**3. 7625 SAN LUIS AVE (BARBER AUTOMOTIVE & TOWING)**

Request for a Conditional Use Permit to establish an automotive repair shop with towing and outdoor vehicle storage with screening and landscape setback modification APN 030-241-058 (USE24-0033).

- CEQA: The proposed project qualifies for a Class 1 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., “CEQA”) and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15301, which exempts the operation or leasing of existing facilities that involve negligible or no expansion.
- Recommendation: Staff’s recommendation is for the Planning Commission to adopt the Draft Resolution approving Conditional Use Permit USE24-0033 allowing for the establishment of an Automotive Repair Shop with Towing and Outdoor Vehicle Storage, and a modification of the required fence screening and landscape setback, and take such additional, related, and take such additional, related, action that may be desirable.

**4. 9520 EL CAMINO REAL, SUITE A (JAX SMOKE EMPORIUM)**

Request to consider a Conditional Use Permit to allow a tobacco retailer land use on APN 056-071-014 (USE24-0018).

- Recommendation: Staff’s recommendation is for the Planning Commission to adopt the Draft Resolution approving the Conditional Use Permit, based on findings and subject to conditions of approval, and take such additional, related, action that may be desirable.
- CEQA: The proposed project qualifies for a Class 3 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., “CEQA”) and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15303, because it is limited to a change of use in an existing small structure with negligible modifications to the exterior of the structure.

**5. 2605 TRAFFIC WAY (TELECOMMUNICATIONS FACILITY & HEIGHT MODIFICATION)**

Request to consider a telecommunications facility with height modification to allow a 63’ monopine cell tower and associated equipment at on APN 049-063-003 (USE24-0014).

**WEBSITE:** [www.atascadero.org](http://www.atascadero.org)



<http://www.facebook.com/planningatascadero>



[@atownplanning](https://twitter.com/atownplanning)

Scan this QR Code  
with your smartphone  
to view the Planning  
Commission Website.



- **CEQA:** The proposed project qualifies for a Class 3 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., “CEQA”) and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15301, which exempts new construction or conversion of small structures.
- **Recommendation:** Staff’s recommendation is for the Planning Commission to adopt the Draft Resolution approving Conditional Use Permit USE24-0014 allowing a telecommunications facility with a height exception for a 63’ monopine cell tower and take such additional, related, action that may be desirable.

## **COMMISSIONER COMMENTS AND REPORTS**

### **DIRECTOR’S REPORT**

### **ADJOURNMENT**

The next regular meeting will be on June 4, 2024 at City Hall, Council Chambers, 6500 Palma Ave., Atascadero, CA.

*Please note: Should anyone challenge in court any proposed development entitlement listed on this Agenda, that person may be limited to raising those issues addressed at the public hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, this public hearing.*

**WEBSITE:** [www.atascadero.org](http://www.atascadero.org)



<http://www.facebook.com/planningatascadero>



[@atownplanning](https://twitter.com/atownplanning)

Scan this QR Code  
with your smartphone  
to view the Planning  
Commission Website.



*City of Atascadero*  
**WELCOME TO THE ATASCADERO PLANNING COMMISSION MEETING**

The Planning Commission meets in regular session on the first and third Tuesday of each month at 6:00 p.m. at City Hall, Council Chambers, 6500 Palma Avenue, Atascadero. Matters are considered by the Commission in the order of the printed Agenda. Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the office of the Community Development Department and are available for public inspection during City Hall business hours at the Front Counter of City Hall, 6500 Palma Avenue, Atascadero, and on our website, [www.atascadero.org](http://www.atascadero.org). All documents submitted by the public during Commission meetings that are either read into the record or referred to in their statement will be noted in the minutes and available for review in the Community Development Department. Commission meetings are audio recorded, and may be reviewed by the public. Copies of meeting recordings are available for a fee. Contact the City Clerk for more information at (805) 470-3400.

**TO SPEAK ON SUBJECTS NOT LISTED ON THE AGENDA**

Under Agenda item, "PUBLIC COMMENT", the Chairperson will call for anyone from the audience having business with the Commission to approach the lectern and be recognized.

1. Give your name for the record (not required).
2. State the nature of your business.
3. All comments are limited to 3 minutes.
4. All comments should be made to the Chairperson and Commission.
5. No person shall be permitted to make slanderous, profane or negative personal remarks concerning any other individual, absent or present.

This is when items not on the Agenda may be brought to the Commission's attention. A maximum of 30 minutes will be allowed for Public Comment Portion (unless changed by the Commission).

**TO SPEAK ON AGENDA ITEMS (from Title 2, Chapter 1 of the Atascadero Municipal Code)**

Members of the audience may speak on any item on the agenda. The Chairperson will identify the subject, staff will give their report, and the Commission will ask questions of staff. The Chairperson will announce when the public comment period is open and will request anyone interested to address the Commission regarding the matter being considered to step up to the lectern. If you wish to speak for, against or comment in any way:

1. You must approach the lectern and be recognized by the Chairperson.
2. Give your name (not required).
3. Make your statement.
4. All comments should be made to the Chairperson and Commission.
5. No person shall be permitted to make slanderous, profane or negative personal remarks concerning any other individual, absent or present.
6. All comments limited to 3 minutes.

If you wish to use a computer presentation to support your comments, you must notify the Community Development Department at (805) 461-5035 at least 24 hours prior to the meeting. Digital presentations brought to the meeting should be on a USB drive or CD. You are required to submit to the Recording Secretary a printed copy of your presentation for the record. Please check in with the Recording Secretary before the meeting begins to announce your presence and turn in the printed copy.

The Chairperson will announce when the public comment period is closed, and thereafter, no further public comments will be heard by the Commission.

**HOW TO SUBMIT PUBLIC COMMENT:**

If you wish to comment, please email public comments to: [pc-comments@atascadero.org](mailto:pc-comments@atascadero.org) by 12:00 pm on the day of the meeting. Such email comments must identify the Agenda Item Number in the subject line of the email. The comments will be forwarded to the Planning Commission and made a part of the administrative record. If a comment is received after the deadline for submission but before the close of the meeting, the comment will still be included as a part of the administrative record of the meeting but will be forwarded to the Planning Commission the next business day. **Please note, email comments will not be read into the record.**

**AMERICAN DISABILITY ACT ACCOMMODATIONS:**

Any member of the public who needs accommodations should contact the City Clerk's Office at [cityclerk@atascadero.org](mailto:cityclerk@atascadero.org) or by calling 805-470-3400 at least 48 hours prior to the meeting or time when services are needed. The City will use their best efforts to provide reasonable accommodations to afford as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Planning Commission agendas and minutes may be viewed on the City's website: [www.atascadero.org](http://www.atascadero.org).

Copies of the staff reports or other documentation relating to each item of business referred to on the Agenda are on file in the Community Development Department and are available for public inspection on our website, [www.atascadero.org](http://www.atascadero.org). Contracts, Resolutions and Ordinances will be allocated a number once they are approved by the Planning Commission. The Minutes of this meeting will reflect these numbers. All documents submitted by the public during Planning Commission meetings that are either read into the record or referred to in their statement will be noted in the Minutes and available for review by contacting the Community Development Department. All documents are available for public inspection during City Hall business hours by appointment.

**WEBSITE:** [www.atascadero.org](http://www.atascadero.org)



<http://www.facebook.com/planningatascadero>



[@atownplanning](https://twitter.com/atownplanning)

Scan this QR Code with your smartphone to view the Planning Commission Website.





## CITY OF ATASCADERO PLANNING COMMISSION

# DRAFT MINUTES

Regular Meeting – Tuesday, May 7, 2024 – 6:00 P.M.

City Hall

6500 Palma Avenue, Atascadero, California

### **CALL TO ORDER - 6:00 p.m.**

Chairperson Keen called the meeting to order at 6:02 p.m. and Commissioner Schmidt led the Pledge of Allegiance.

### **ROLL CALL**

Present: Commissioners Anderson, Carranza, Heath, Schmidt, Vice Chairperson van den Eikhof and Chairperson Keen

Absent: Commissioner Hughes

Vacant: None

Others Present: Annette Manier, Recording Secretary  
Taylor Foland, RWG Law  
Genevieve Sharrow, MIG (via Teleconference)

Staff Present: Phil Dunsmore, Community Development Director  
Kelly Gleason, Planning Manager

### **APPROVAL OF AGENDA**

**MOTION: By Commissioner Schmidt and seconded by Vice Chairperson van den Eikhof to approve the Agenda.**

*Motion passed 6:0 by a roll-call vote.  
(Hughes absent)*

### **PUBLIC COMMENT**

None.

***Chairperson Keen closed the Public Comment period.***

### **CONSENT CALENDAR**

**1. APPROVAL OF THE DRAFT MINUTES OF APRIL 16, 2024**

- Recommendation: Commission approve the April 16, 2024 Minutes.

**MOTION: By Commissioner Schmidt and seconded by Commissioner Anderson to approve the Consent Calendar.**

***Motion passed 6:0 by a roll-call vote.  
(Hughes absent)***

**PLANNING COMMISSION BUSINESS**

None

**PUBLIC HEARINGS****2. OBJECTIVE DESIGN STANDARDS**

The project includes amendments to Title 9 to establish Objective Design Standards (ODS) and property development standards. (CPP21-0053).

- CEQA: The proposed Ordinance is exempt from the California Environmental Quality Act (CEQA), Public resources Code Section 21000 et seq., because it can be seen with certainty that there is no possibility that the enactment of this Ordinance would have a significant effect on the environment (Pub. Resources Code § 21065; CEQA Guidelines §§ 15378(b)(4), 15061(b)(3).
- Recommendation: Staff's recommendation is for the Planning Commission to adopt the Draft Resolution recommending that the City Council introduce an Ordinance for first reading, by title only, to establish Objective Design Standards for multi-family and mixed-use developments and update existing development standards in Title 9 for consistency.

**DISCLOSURE OF EX PARTE COMMUNICATIONS:**

Commissioners met with Planning Manager Gleason and Director Dunsmore for an overview of Objective Design Standards.

Consultant Sharrow, Director Dunsmore, and Planning Manager Gleason presented the staff report and answered questions from the Commission.

**PUBLIC COMMENT**

The following members of the public spoke: Devon Haggie.

***Chairperson Keen closed the Public Comment period.***



- MOTION:** By Commissioner Anderson and seconded by Commissioner Heath to adopt PC Resolution 2024-0008 recommending the City Council introduce an Ordinance for first reading by title only to establish Objective Design Standards for multi-family and mixed-use developments and update existing development standards as needed for consistency to amend Title 9: Planning & Zoning, to adopt Objective Design Standards and other related amendments for consistency, with the following changes:
- On page 79, Section 9-4.125(a)(5) Landscape standards: Include a menu of flexible options for street tree plantings for commercial and multi-family development and update any other sections that would be inconsistent with that.

*Motion passed 4:2 by a roll-call vote.  
(Carranza, Schmidt voted no)  
(Hughes absent)*

### **COMMISSIONER COMMENTS AND REPORTS**

Commissioner Schmidt noticed that a number of commercial businesses are putting signs in various places, and asked if there is anything we can do for that littering. Director Dunsmore answered his question.

### **DIRECTOR'S REPORT**

Director Dunsmore stated that the next meeting will be held on May 21, 2024, and the Commission will hear the Dove Creek project, a Conditional Use Permit (CUP) for a telecom site on Traffic Way, a CUP for a tobacco retail store, and a CUP for an automotive repair shop with towing on San Luis Ave. Director Dunsmore also stated that the Downtown Infrastructure Plan will start this summer, and the General Plan Update is continuing to move forward.

### **ADJOURNMENT – 8:03 p.m.**

The next regular meeting will be on May 21, 2024, at City Hall, 6500 Palma Avenue, Atascadero, CA.

### **MINUTES PREPARED BY:**

\_\_\_\_\_  
Annette Manier, Recording Secretary  
Administrative Assistant



# CITY OF ATASCADERO

## PLANNING COMMISSION STAFF REPORT

Item 2

**Department:** Community Development  
**Date:** 5/21/2024

**TO:** Phil Dunsmore, Community Development Director

**FROM:** Kelly Gleason, Planning Manager

**PREPARED BY:** Xzandrea Fowler, Senior Planner

**SUBJECT:** DEV23-0079, Dove Creek Mixed-Use Project  
11600 & 11700 El Camino Real, Atascadero, CA 93422  
(APN 045-331-014)

---

### RECOMMENDATION:

Planning Commission

1. Adopt Draft PC Resolution A recommending that the City Council approve an amendment to the Dove Creek Master Plan of Development (CUP 2003-0099), Vesting Tentative Tract Map (TR3229), and amendments to Planned Development Overlay #12 to allow for a mixed residential and commercial project on the Dove Creek commercial property (APN 045-331-014) and find the amendments consistent with the previously certified Mitigated Negative Declaration (EDN 2004-0026).

### DISCUSSION:

#### REPORT-IN-BRIEF

The Dove Creek Mixed-Use Project consists of a request to establish a mixed residential and commercial development with a corresponding Tentative Tract Map for a condominium subdivision on the northwest side of the Santa Barbara Road and El Camino Real intersection. The project proposes commercial uses near El Camino Real and residential uses near Santa Barbara Road, and along Bliss and Cashin Streets. The proposed hotel use will be internal to the project site.

The commercial area is designed around a covered plaza to encourage restaurants and similar indoor-outdoor uses. Access will be from Bliss Street and Cashin Street consistent with the original Dove Creek Master Plan of Development and recorded tract map.

The following entitlements are required to approve the project and are before the Planning Commission for consideration and recommendation to the City Council.

1. Consistency with previously certified Mitigated Negative Declaration No. 2004-0026
2. Zone Text Amendment to PD12
3. Amendment to Master Plan of Development (CUP 2003-0099)

#### 4. Tentative Subdivision Map

The project site is currently comprised of one individual parcel which will be subdivided into seven (7) lots with allowances for condominium airspace units on each lot to accommodate individual sale of residential units and commercial tenant spaces.

The current development plan includes:

- 71 residential condominium units
- 20 short-term rental hotel units
- 14,840 square feet of commercial tenant space

#### BACKGROUND

The Dove Creek development was originally approved with a General Plan Amendment in 2004 as a horizontal mixed-use project and included 279 residential units (including State Density Bonus Units) and a 5-acre commercial parcel to replace a 63-acre commercially zoned property previously envisioned for a regional commercial center. The resulting 5-acre commercial parcel was approved to be developed with a 60,000-square-foot neighborhood commercial center but was later amended to allow for the construction of a hardware/nursery store with an outdoor sales yard and large parking lot (Tractor Supply). The commercial parcel was graded as part of the original tract improvements and has remained vacant since the completion of the residential units. The 5-acre parcel is all that remains of the former 63-acre commercial area that was rezoned as part of the Dove Creek Mixed-Use project.

A proposal for a mixed residential and commercial development was received in 2019. That project contained 80 residential units, a hotel, and 37,000 square -feet of commercial tenant space above an underground parking garage. The Design Review Committee (DRC) reviewed and commented on the project design, however, the applicant did not move that project forward.

In July 2023, the current application was submitted. On September 14, 2023, the DRC reviewed the project and provided the following design recommendations:

1. **Location of commercial marketplace relative to the intersection.** DRC expressed general support of the commercial marketplace location.
2. **Gateway landscaping and signage.** DRC expressed support for several design concepts. There was general support for the sign as proposed, and support for a larger gateway sign in conjunction with an active commercial corner (intersection of El Camino Real and Santa Barbara. There was also support for a nicely landscaped area on the corner. The DRC suggested that they were open to more design ideas being refined as the project moved forward and that graffiti minimization and abatement should be taken into consideration when the final design is selected.
3. **Commercial Market Design Concept – Overall Design Theme.** DRC expressed support for the agrarian and farmhouse design.

4. **Height and Massing.** DRC encouraged more commercial massing but expressed general support for the proposed scale.
5. **Courtyard Design Features.** DRC supported the inner courtyard layout and outdoor covered area and encouraged the applicant to find a different layout and to be more visible from the road to enhance the commercial uses. Concern was expressed regarding the heat from the sun during the summer, and the Committee encouraged the applicant to take that concern into account and to incorporate shade and ventilation into the final design selection. DRC also recommended adding outdoor BBQ areas, spaces that are child-sensitive and friendly, areas for people to sit and relax, and attention to the sight lines at driveways and entries for safety.
6. **Pedestrian Connections.** DRC expressed support for a neighborhood paseo bridge with good sight lines, encouraged additional neighborhood connecting pathways into the project off Cashin, and endorsed a pedestrian connection to El Camino Real.
7. **Neighborhood Compatibility Height and Scale of Residential Buildings.** DRC supported the residential building orientation and the 2-story scale on Cashin Street and requested that privacy to existing units along Cashin and Bliss be considered in the final design.

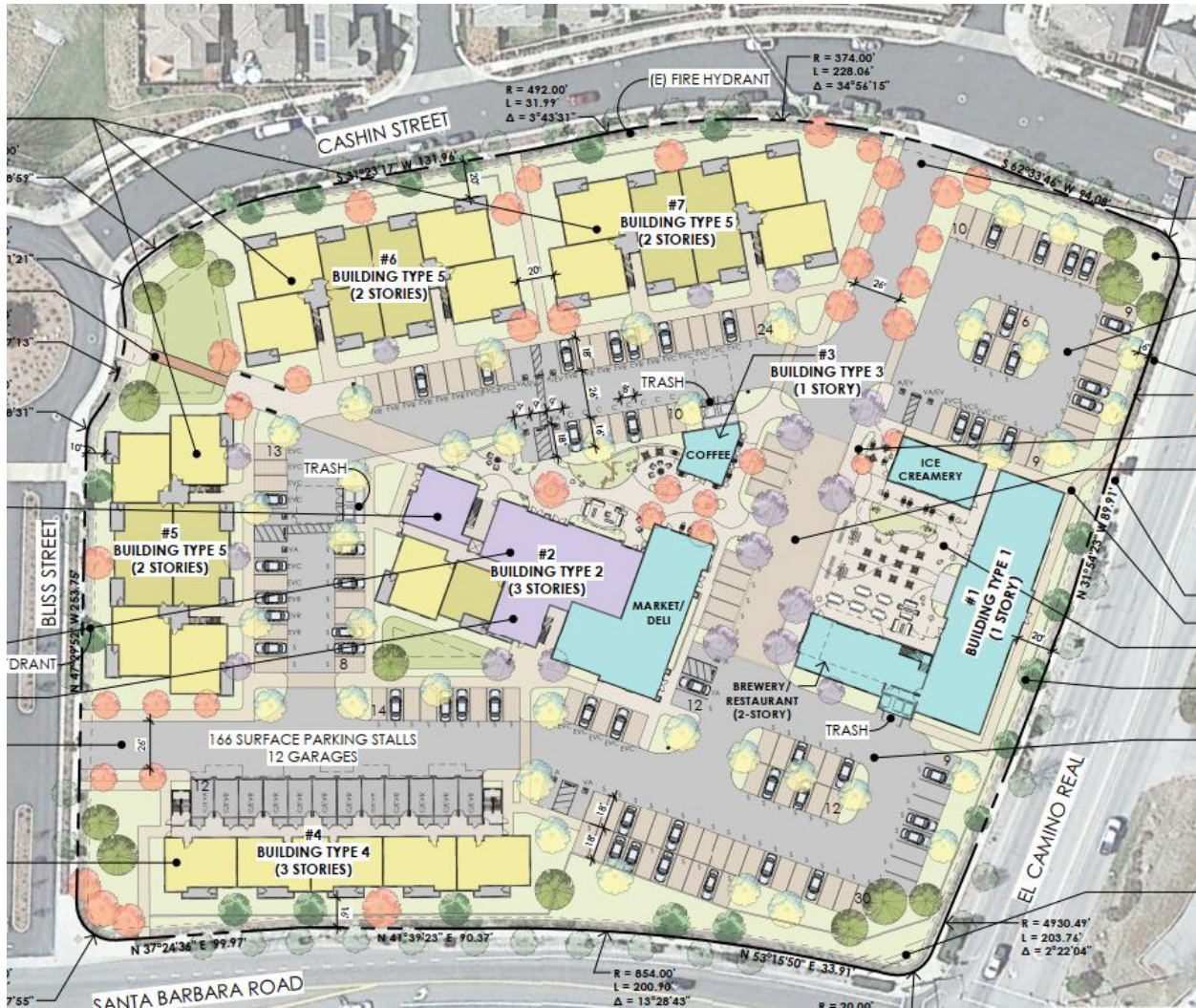
## **PROJECT SUMMARY**

- The 5.2 acre site has a Mixed-Use (MU) General Plan Designation and is zoned Commercial Retail (CR) with a Planned Development #12 (PD12) overlay;
- Proposed amendment to the Dove Creek Master Plan of Development;
- 71 residential condominium units (mix of one and two-bedroom units), 20 short-term rental hotel units, and 14, 840 square feet (SF) of commercial tenant space;
- Tentative Tract Map to create seven underlying parcels with airspace subdivision of the proposed residential and commercial tenant units;

The proposed site design includes two 2-story residential buildings along Bliss and Cashin Streets and a 3-story residential building along the Santa Barbara Road frontage. The short-term rental hotel units will be located toward the center of the site in a 3-story building with amenities for both the short-term rental hotel guests and project residents. There is additional space within this central building for expanded commercial uses.

An indoor-outdoor commercial market space is located near El Camino Real with the central courtyard facing the center of the site and providing a connection to the adjacent residential and commercial uses. A pedestrian pathway would link the Cashin Bliss intersection circle to the commercial market to provide pedestrian connection to the existing neighborhood. The paseo is envisioned to be an amenity space with a pedestrian focus that will also have opportunities for outdoor use areas adjacent to the short-term rental units. A pedestrian connection from El Camino Real onto the site will encourage surrounding neighborhood connections and easy access for transit users and people cycling or walking from Paloma Park. Decorative pavement is used to accent amenity spaces, which include a portion of the vehicular circulation area to allow for closure and/or expansion of the area to accommodate temporary outdoor commercial activities.

5/21/2024 | Item 2 | Staff Report  
 Dove Creek Mixed-Use Project  
 DEV23-0079/Montage Development



**Residential Portion:**

The project includes 71 residential units lining Bliss Street, Cashin Street, and Santa Barbara Road. These units are proposed to be within 2-story residential buildings with ground floor units along Bliss and Cashin Streets, and a 3-story residential building with ground floor units along the Santa Barbara Road frontage. The three-story building includes private, individual garages. All other parking is designed to be shared throughout the site.





*Commercial Portion:*

The commercial portion of the site includes an indoor-outdoor commercial court and hotel. The tenant spaces will surround a covered courtyard that will provide seating and shared commercial amenity areas. The central hotel building will have commercial-oriented uses on the ground floor facing the commercial market court. Additional ground floor uses include quasi-commercial visitor-serving uses such as a fitness center and a conference room or other similar uses. These uses would be shared with the surrounding development residents as an added amenity.



**ANALYSIS**

The proposed project includes an amendment to the previously approved Master Plan of Development, Vesting Tentative Tract Map, and text amendment to PD12. All elements of the development require appearance review consistent with Planned Development overlay standards.

The Commercial Retail zone allows for mixed-use development with up to 24 units per acre. Generally, residential units must be located above ground floor commercial space. Residential uses may only be located on the ground floor with the approval of a planned development overlay zone. As the project site is located within PD12, an amendment to the Master Plan of development and overlay zone allows for the proposed configuration.

The existing CR zoning of the site allows for a density of up to 125 market-rate units in addition to a large variety of commercial uses, and could qualify for additional units if affordable housing or fractional density were to be applied. The site is also identified in the city's Housing element with an assumed residential development of at least 50 units. The PD-12 overlay zone listed a maximum residential density for the entire Dove Creek project to 200 base density units and 79 bonus units for a total of 279 residential units, consistent with the previous environmental analysis for the project site. With recent changes to State laws and inclusion in the city's housing sites inventory as a by-right housing site, additional units are assumed above this original Master Plan of Development and, thus, the PD overlay is proposed to be amended to provide clarity.



Items of discussion include:

1. Site design
2. Traffic, access, parking, and site circulation
3. Hotel use
4. Architectural design
5. Residential amenity spaces
6. Neighborhood compatibility
7. Gateway feature

### **1. Site Design**

The project proposes residential uses facing the existing Dove Creek residential units to enhance neighborhood compatibility. Commercial uses are located along El Camino Real and toward the interior of the site. During initial meetings related to this and previous proposals, the residents and DRC expressed a preference for horizontal mixed-use as a way to transition between the existing developed neighborhood and commercial uses on-site.

The site was designed with pedestrian uses and orientation in mind. The project includes decorative surfaces in common space areas and shared resident and commercial amenity spaces lining the pedestrian paseo. The central amenity space adjacent to the hotel and retail tenant spaces includes outdoor seating, fire pits, and areas for outdoor eating should a restaurant use occupy one or more of the spaces. The area also includes a children's climbing area with turf, low boulders, and other natural elements. Trees and pergolas are provided for shade.

The main commercial space is oriented around a central outdoor courtyard which includes a flexible space for adjacent commercial tenant use. This space would be covered to provide shade and would include areas for outdoor dining and family-oriented games. The parking and drive-aisle directly adjacent to the commercial courtyard includes decorative pavement and could allow for temporary closure for events such as a community market or seasonal event. Existing improvements include street trees and sidewalk around the perimeter of the site. Additional landscape is provided throughout the setback, parking, and amenity spaces to enhance the overall design theme and common outdoor use areas.

### **2. Traffic, access, parking, and site circulation**

The Dove Creek development and associated tract map eliminates access roads on Santa Barbara Road and El Camino Real due to traffic conflicts with the adjacent intersection and topographic constraints. Access to the commercial pad is from 3 driveways, one off of Bliss Street and two off of Cashin Street. All access rights were granted as part of the original tract map for the Dove Creek development. The current proposal eliminates the second driveway at Cashin Street and maintains the one driveway at each street to focus vehicular traffic onto the site and provide additional landscape area.

The site includes a looped access drive, allowing for parking adjacent to all site uses. Per the Atascadero Municipal code, the project requires a minimum of 200 spaces without allowed parking reductions for shared peak hour uses. The code allows for a parking reduction when the mix of uses on site have differing peak hour parking demands. This is generally the case for residential and retail/restaurant uses and residents and hotel patrons generally park overnight whereas retail and restaurant uses have greater daytime demand. With a parking reduction allowance of 20%, the municipal code requires a site total of 160 spaces. As there is limited

surrounding on-street parking available, the applicant is proposing 178 on-site parking spaces, 166 of which are shared spaces with the remaining 12 as private garage spaces. This exceeds the city's municipal code requirements and allows greater flexibility in the uses that can be accommodated within the commercial tenant units. A finding for the requested parking reduction is included in the attached resolution.

Pedestrian connections from the existing Dove Creek neighborhoods onto the site are provided at the intersection of Cashin and Bliss (main paseo entrance at roundabout), adjacent to the main vehicular entrances, and a mid-block pathway roughly aligned with Salvia Lane at Cashin Street. A pedestrian connection is also included to El Camino Real and Santa Barbara Road where the project sits at grade with the adjacent existing sidewalks.

### **3. Hotel use**

The applicant is proposing a hotel use in the center of the site. These short-term stay hotel units will include kitchens to compete with the Airbnb market. The municipal code allows for hotels to include kitchen facilities in 100% of the rooms if the following findings can be made:

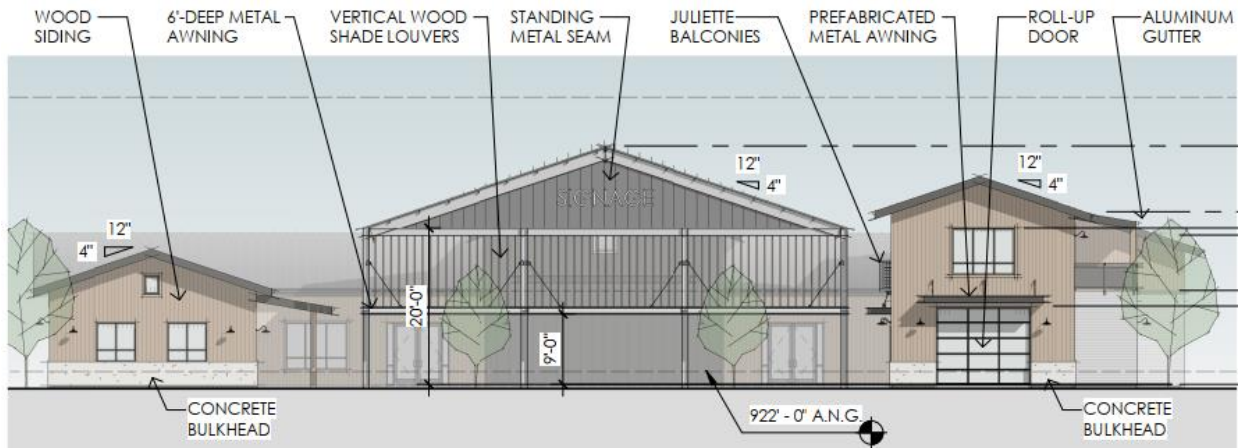
1. The hotel has at least 20 rooms;
2. A deed notification will be recorded against the property detailing the commercial nature of the project/building;
3. The project is designed consistent with municipal code standards and provides amenities consistent with a tourist serving use; and
4. The project is in an area that supports tourist serving activities.

The project meets the standards as listed above and is designed as conditioned. The south end of town is in close proximity to Paloma Park, which is used for a number of tournaments and activities. The design of the project provides amenities befitting a small boutique hotel with fitness room provided and surrounded by targeted commercial uses that support visitors. As a boutique sized hotel, it is also assumed that rooms would be provided to family visiting residents within surrounding neighborhoods.

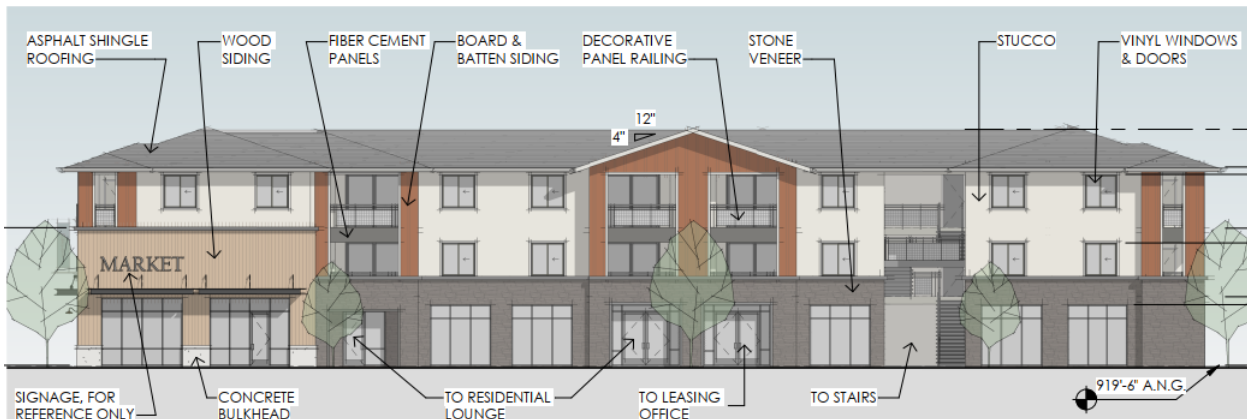
### **4. Architectural design**

The design proposal includes an agrarian and barn-inspired theme with gable roof forms and earth-toned colors. The commercial structures include a combination of one and two-story elements for variety in height and expanded upper-floor use areas. Materials include standing seam metal siding, wood siding, concrete base, and Corrugated metal, adding multiple textures and colors to the overall design palette. Metal awnings and railings are included to enhance the design theme and provide additional shade and shadow elements. The central courtyard roof includes vertical louvers for sun control and to add visual interest. Roll-up doors are included for tenant space flexibility.

**5/21/2024 | Item 2 | Staff Report  
Dove Creek Mixed-Use Project  
DEV23-0079/Montage Development**



The residential and hotel buildings include similar materials but incorporate stucco features to contrast the commercial retail tenant space façade treatments. The 3-story residential building along Santa Barbara Road would include similar elements with stone veneer as an added base material. The maximum allowed height in the Commercial retail Zoning District is 35-feet. All commercial and residential buildings are designed to meet this standard.



**5. Residential amenity spaces**

As a mixed-use project, standards for recreational open space may be minimized in favor of shared commercial/residential outdoor spaces and in support of a higher intensity and density of development. The project has been designed with private balconies or courts for each unit in addition to ample landscaped area surrounding the residential buildings. The hotel building is designed to include guest amenities that will be available to on-site residents and the central pedestrian paseo includes spaces for children as well as adults to congregate.

**6. Neighborhood compatibility**

The project site is part of the Dove Creek mixed-use development. Based on the original master plan of development, a 60,000 square-foot commercial center was envisioned with a central parking lot and building back-of-house facing Cashin and Bliss. Landscaping was included around the perimeter of the site to buffer the commercial uses from the residential uses.

During previous iterations of concept plans for this site, a desire was expressed by surrounding residents and decision makers to use a horizontal mixed-use concept, allowing for residential units on the ground floor along Cashin and Bliss Streets as a transition zone between existing residential neighborhoods and proposed commercial activities. The current design incorporates this same concept. In response to feedback received from neighbors regarding the preservation of the neighborhood character and structural massing, the project proposes 2-story units fronting Bliss and Cashin Streets, at the interface between the project and the existing residential neighborhood. Existing residential units adjacent to this project site are 2-story units with side and rear yards facing the project site.

The building fronting Santa Barbara Road will be 3-stories but is sunken from the road as you move toward the intersection with El Camino Real. The short side of the building that will be closest to existing residences accommodates building stairways and has minimal windows to reduce overlook. Landscaped setbacks have also been incorporated along Cashin and Bliss (ranging between 13-feet at the narrowest pinch point to 46 feet at the 3-story building) to allow for the plantings of trees and taller shrubs to help buffer and transition between the existing and new units and limit overlook and privacy issues. The 3-story building that will contain the short-term hotel units is located towards the center of the project.

### 7. Gateway feature

A Gateway Monument is proposed at the corner of Santa Barbara Road and El Camino Real as this location marks the southern entrance to the city. The proposed monument is made of corten steel panels resembling the hills of Atascadero. The main panel includes the city logo and “City of Atascadero” as a gateway feature. The signage also includes an internally illuminated tower element with “Dove Creek” as a placemaking project sign. Low level up-lighting is also proposed to highlight the panels and city name and logo. As there is a significant elevation change between this intersection and the adjacent commercial pad, ample room for surrounding landscaping to accent the sign is included. A condition is included that this feature be maintained by the property owner / owner’s association in perpetuity however, an easement for City access is also required to ensure that the city has rights to access and modify should the need arise.



**GENERAL PLAN CONSISTENCY**

The General Plan has designated the project site as Mixed-Use Planned Development which allows a mixture of commercial, office, and residential uses with a focus on pedestrian orientation and connections between different uses throughout the project area. The General plan allows for a horizontal or vertical mixture of uses with the approval of a Planned Development Overlay Zone and an accompanying Master Plan of Development. Planned Development #12 and a Master Plan of Development were previously approved for the project site.

**TENTATIVE TRACT MAP/CONDOMINIUM**

A 7-lot Tentative Tract Map for the purpose of condominium subdivision is proposed as part of the project consistent with the proposed Master Plan of Development. The proposed Tract Map has been conditioned by staff and the City Engineer to meet all City standards including on- and off-street improvements. A condition has been included to require the applicant to record CC&Rs when the final map is recorded to address maintenance and access of common areas. Separate agreements to ensure continued compliance with City standards will also be required to be recorded concurrently with the final map.

**SITE DRAINAGE**

The existing Dove Creek development on-site stormwater drainage system and support calculations were analyzed when the 2004 Master Plan of Development was approved. The commercial development was included in this analysis and all facilities were designed to accommodate flows. As this project is a change in the planned building and parking lot footprints, new stormwater management facilities will need to be incorporated to meet current standards. Outflow of treated water into the existing stormwater drainage system will be maintained.

**WASTEWATER**

The City of Atascadero will provide sanitary sewer service including collection, transmission, and treatment for the existing Dove Creek Development area. A Dove Creek Sewer Capacity Analysis, produced by Carollo, was prepared. The capacity analysis for the proposed Dove Creek Mixed-Use development revealed no major potential impacts on the City's existing collection system. The hydraulic model shows that the existing 8-inch and 10-inch sewers downstream of the project site have sufficient capacity to accommodate increased flows associated with the project.

**PROPOSED PLANNED DEVELOPMENT OVERLAY ZONE #12 TEXT CHANGE**

As previously mentioned, the project requires a change in the existing PD-12 overlay district text. The revised text will acknowledge the additional residential units as well as revise the list of allowable and conditionally allowable uses to ensure compatibility. Staff recommends that the following uses be added to the PD12 use list:

- Amusement Services (CUP)
- Artisan food and Products
- Bar/Tavern
- Farmer's Market
- General Retail

- Indoor Recreation Services (CUP)
- Multi-Family Dwelling
- Microbrewery/brewpub;
- Tasting Room
- Winery - Boutique

Staff recommends that the following uses be removed from the PD12 use list:

- Broadcast studios;
- Building materials and hardware (indoor only);
- Furniture, home furnishings and equipment; (no longer in muni-code)
- General merchandise stores; (no longer in muni-code)
- Mail order and vending; (no longer in muni-code)
- Health care services;
- Small scale manufacturing; (no longer in muni-code)
- Light repair services; (no longer in muni-code)
- Horticultural specialties;
- Business support services, where all areas of use are located within a building;
- Farm equipment and supplies;
- Fuel and ice dealers;
- Skilled nursing facility;
- Funeral services;
- Schools;
- Utility service center;

It is important to note that many of these uses were newly added to the municipal code and were not detailed in 2004 when the Dove Creek Master Plan was originally adopted. Thus, this amendment will not only provide a curated list of uses for the site based on the development concept but will update the code text to incorporate recent citywide changes applicable to the site. The fully amended list of uses can be found in Attachment 1, Exhibit D.

### ***TRAFFIC***

A Trip Generation Comparison, produced by Central Coast Transportation Consulting, was prepared to estimate vehicle trips under the proposed project versus the original commercial center. The proposed project is anticipated to generate 929 fewer AM and PM Peak-hour trips daily than the previously approved commercial center.

### ***SIGNAGE***

The Master Plan of Development (project design package) includes areas for signage located on the concept elevations of the buildings. Future signage is conditioned to be compatible within these elevations with flexibility for alternative tenant space configurations. As generally shown, signage will be individual letters or logos located above storefront awnings. A larger sign is proposed on the courtyard roof structure as the entry to the main commercial tenant for the space. To allow for flexibility in the future, staff has included a diagram of possible sign types appropriate for the site and pedestrian oriented design to assist future tenants. Signage is also



conditioned to be externally lit with downward lighting to increase compatibility with adjacent residential and hotel uses unless illumination is turned off during the nighttime hours.

***SOUTH GATEWAY***

The Dove Creek commercial site is located at the south end of town at the “entry” to the City. The site provides an opportunity to provide a gateway into the City and create a sense of place through landscape, building, and site design. The site is recessed approximately 10-feet from the El Camino Real and Santa Barbara intersection with the sidewalk level to the site grades as you approach Bliss and Cashin Streets.

The project locates the commercial market along El Camino Real approximately where the on-site grade is level with the sidewalk. Parking areas are located towards the Santa Barbara Road and El Camino Real intersection as well as the Cashin Street and El Camino Real intersection. The site and landscape plan show ample space for diverse and dense landscaping at both intersections. A two-story element was incorporated into the design of the main commercial courtyard building to increase visibility from the intersection of El Camino Real and Santa Barbara Road. The monument signage proposed at this intersection will act as a welcome sign into the city as well as signage that identifies the Dove Creek neighborhood.

***PROJECT BENEFITS***

One of the required findings for a Planned Development is that the project offers certain redeeming features to compensate for the requested Zone Change. As this project is a modification to the PD12 overlay zone, the findings must be affirmed with this amendment. Per City Council policy, benefits include: High quality architectural and landscape design, buffering between uses, higher density to meet Housing Element goals, pocket parks, and walkways for pedestrian connectivity. As designed and conditioned, the proposed amended project meets the findings for approval.

**ENVIRONMENTAL DETERMINATION:**

A Mitigated Negative Declaration (MND) No. 2004-0026 was certified by the City Council on September 14, 2004. The MND evaluated the entire Dove Creek Master Plan and specifically analyzed the potential impacts of commercial development on the project site that included 60,000 SF of future commercial retail space, including a 26,500 SF anchor tenant. While the residential villages identified in the analyzed project have been built and occupied as planned, the commercial center never developed and is now the location of the proposed mixed-use project.

To supplement the analysis of the previously certified MND for the project site, the applicant prepared a series of comparative analyses to evaluate whether the project would result in a greater impact to resources that previously identified. The applicant team provided analyses related to traffic and sewer capacity. The traffic analysis showed a reduction in anticipated peak hour trips based on the proposed mix of land-uses. The sewer capacity analysis showed that, while there will likely be an increase in peak flows, the sewer lines as designed are sized appropriately to accommodate the proposed development.

## CONCLUSION:

The Dove Creek Mixed-Use project provides a key opportunity for placemaking at the south entry into the City and an opportunity to provide goods and services to surrounding residential neighborhoods. The requested amendment provides commercial uses within a pedestrian oriented design with residential uses used as a transition to the existing Dove Creek neighborhood. The site is currently zoned commercial retail, which allows for mixed-use developments. The Housing Element identifies this site in the housing site inventory and horizontal mixed-use can be accommodated through the PD overlay zone. The application includes:

- Amendment to the PD-12 overlay zone text
- Amendment to the Master Plan of development for the approximately 5-acre commercial/mixed-use site
- Tentative Tract map to subdivide the commercial parcel and establish residential and commercial airspace units for individual ownership
- Determination of consistency with the previously certified Mitigated Negative Declaration

## FINDINGS:

To recommend approval of the requested amendments, the Planning Commission must make the following findings. These findings and the facts to support these findings are included in the attached resolution [Attachment 1].

### *Conditional Use Permit (AMC Section 9-2.110(b).(3).(iv)*

1. The proposed project or use is consistent with the General Plan
2. The proposed project or use satisfies all applicable provisions of this title
3. The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use
4. That the proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development
5. That the proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the land use element

### *Parking Modification*

1. The project qualifies for a parking reduction based on the nature of the uses on site and the differing peak-hour demands of parking for the distinct planned uses.

**5/21/2024 | Item 2 | Staff Report  
Dove Creek Mixed-Use Project  
DEV23-0079/Montage Development**

*Hotels with Kitchens in greater than 50% of rooms/units*

1. The project is designed consistent with the standards of the Atascadero Municipal Code and provides amenities consistent with a tourist serving use
2. The project is in an area that supports tourist serving activities

*Tentative Subdivision Map*

1. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan and the proposed Specific Plan (Government Code §§ 66473.5 and 66474(a) and (b)):
2. The site is physically suitable for the type of development (Government Code § 66474(c)):
3. The site is physically suitable for the proposed density of development (Government Code § 66474(d)):
4. The design of the subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. (Government Code § 66474(e)):
5. The design of the subdivision or the type of improvements will not cause serious health problems. (Government Code § 66474(f)):
6. The design of the subdivision will not conflict with easements for access through or use of property within the proposed subdivision. (Government Code § 66474(g)):
7. The installation of public improvements are necessary prior to recordation of a Final Map in order to insure orderly development of the surrounding area (Government Code § 66411.1(b)(2)):

*Planned Development Overlay Zone Text Amendment (AMC Section 9-3.645)*

1. The Planning and Zoning Text Change is consistent with General Plan policies and all other applicable ordinances and policies of the City.
2. This Amendment of the Zoning Ordinance will provide for the orderly and efficient use of lands where such development standards are applicable.
3. The Text Change will not, in itself, result in significant environmental impacts.
4. Modification of development standards or processing requirements is warranted to promote orderly and harmonious development:
5. Modification of development standards or processing requirements will enhance the opportunity to best utilize special characteristics of an area and will have a beneficial effect on the area:
6. Benefits derived from the overlay zone cannot be reasonably achieved through existing development standards or processing requirements:
7. Proposed plans, if any, offer certain redeeming features to compensate for requested modifications:

**ALTERNATIVES:**

1. The Planning Commission may include modifications to the project and/or conditions of approval for the project. Any proposed modifications including conditions of approval, should be clearly re-stated in any vote on any of the attached resolutions.
2. The Planning Commission may determine that more information is needed on some aspect of the project and may refer the item back to the applicant and staff to develop the additional information. The Commission should clearly state the type of information that is required. A motion, and approval of that motion, is required to continue the item to a future date.
3. The Planning Commission may deny the project. The Commission must specify what findings cannot be made, and provide a brief oral statement, based on the Staff Report, oral testimony, site visit, correspondence, or any other rationale introduced and deliberated by the Planning Commission.

**REVIEWED BY OTHERS:**

The Project has undergone the standard development review process which includes review by Fire, Planning, and Public Works, as well as design review and endorsement by the DRC (Design Review Committee).

**REVIEWED AND APPROVED FOR PLANNING COMMISSION AGENDA**

---

Phil Dunsmore, Community Development Director

**ATTACHMENTS:**

1. Draft PC Resolution
2. Original Commercial Site Master Plan of Development
3. Traffic Comparison Memo
4. Sewer Capacity Memo

**DRAFT PC RESOLUTION**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ATASCADERO, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE AN AMENDMENT TO THE DOVE CREEK MASTER PLAN OF DEVELOPMENT (CUP 2003-0099), VESTING TENTATIVE TRACT MAP (TR 3229), AND AMENDMENTS TO PLANNED DEVELOPMENT OVERLAY #12 TO ALLOW FOR A MIXED RESIDENTIAL AND COMMERCIAL PROJECT ON THE DOVE CREEK COMMERCIAL PROPERTY (APN 045-331-014) AND FIND THE AMENDMENTS CONSISTENT WITH THE PREVIOUSLY CERTIFIED MITIGATED NEGATIVE DECLARATION (EDN 2004-0026).**

**DOVE CREEK MIXED-USE  
MONTAGE DEVELOPMENT, INC.  
(DEV23-0079)**

**WHEREAS**, an application has been received from Montage Development, Inc. (23945 Calabasas Road, Suite 116, Calabasas, CA 91302), Applicant and Seuong M. Moon (6130 Via Huerto Court, Atascadero, CA 93422) Owner, to consider a Zoning Text Change to Planned Development Overlay Zone No.12, Vesting Tentative Tract Map, and Master Plan of Development (Conditional Use Permit); and

**WHEREAS**, the site’s current General Plan Land Use Designation is Mixed-Use Planned Development (MU-PD); and

**WHEREAS**, the site’s current Zoning Designation is Commercial Retail (CR) with a Planned Development No. 12 (PD 12) overlay; and

**WHEREAS**, PD12 was established in 2004 with the approval of the Dove Creek Development and modifications to the zoning overlay district are necessary for consistency with the revised Master Plan of Development; and

**WHEREAS**, the Planning Commission has determined that it is in the best interest of the City to enact amendments to Planned Development Overlay #12 for consistency with the revised Master Plan of Development, including incorporation of land use definitions updated between overlay zone adoption in 2004 and today; and

**WHEREAS**, the site has previously been identified by the City Council as a key development opportunity site for future mixed-use/residential development (in commercial zoning districts) with a maximum allowable density of 24 units per acre; and

**WHEREAS**, the minimum lot size in the CR zoning district is 2 acres; and

**WHEREAS**, smaller lot sizes are allowed for commercial projects that provide shared access and parking and are designed as an integrated commercial center; and

**WHEREAS**, the proposed subdivision will result in seven parcels ranging from 0.33 to 2.74 acres with allowances for residential and/or commercial condominium airspace units on each parcel to accommodate individual sale of residential units and commercial tenant spaces; and

**WHEREAS**, the Atascadero Municipal Code allows for the establishment of custom Planned Development Overlay Zones to create custom zoning for unique projects and allow for a mix of commercial and residential uses that would otherwise not be permitted by underlying zoning; and

**WHEREAS**, shared parking and access easements are required to be recorded to ensure that all parcels have legal access from the adjacent rights-of-way; and

**WHEREAS**, the project was reviewed by the Design Review Committee at their regularly scheduled meeting on September 14, 2023; and

**WHEREAS**, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

**WHEREAS**, a timely and properly noticed Public Hearing upon the subject application was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said application; and

**NOW, THEREFORE BE IT RESOLVED** by the Planning Commission of the City of Atascadero:

**SECTION 1. Recitals:** The above recitals are true and correct.

**SECTION 2. Public Hearings.** The Planning Commission held duly noticed public hearings to consider the project on May 21, 2024, where the Commission considered testimony and reports from staff, the applicants, and the public.

**SECTION 3. Facts and Findings.** The Planning Commission makes the following findings and determinations:

**A. Findings for Zoning Text Amendment**

1. FINDING; The proposed project or use is consistent with the General Plan, and

FACT: The General Plan has designated the project site as Mixed-Use Planned Development which allows a mixture of commercial, office, and residential uses with a focus on pedestrian orientation and connections between different uses throughout



the project area. The General plan allows for a horizontal or vertical mixture of uses with the approval of a Planned Development Overlay Zone and an accompanying Master Plan of Development. Planned Development #12 and a Master Plan of Development were previously approved for the project site.

The proposed text amendment establishes a maximum residential density of 71 residential units for the project site, which is consistent with the 24 du/ac maximum residential density that is allowed for mixed-use developments in commercial zoning districts.

2. **FINDING:** The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use; and

**FACT:** The proposed development will be located at the intersection of Santa Barbara Road and El Camino Real. As proposed, the commercial uses will be adjacent to El Camino Real and the residential uses will front Santa Barbara Road, Bliss Street, and Cashin Street. Adequate access to the site is provided off Cashin Street and Bliss Street per the originally approved Dove Creek master plan. The site design has been reviewed by all City departments for consistency with code requirements. Impacts have been analyzed through the previously certified Initial Study/Mitigated Negative Declaration (MND) No. 2004-0026. As conditioned, the project will not be detrimental or unsafe to those working, visiting, or living on the project site or those within the surrounding neighborhoods.

3. **FINDING:** The proposed project or use will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development; and

**FACT:** The proposed project is within the existing Dove Creek neighborhood, comprised of small-lot single-family residences fronting Bliss Street and Cashin Street. The project has been designed to focus residential uses adjacent to existing residential units with the proposed 2-story residential buildings fronting Bliss and Cashin Streets, and the 3-story residential building fronting Santa Barbara Road. The development pattern of the proposed project is similar to the conceptual site plan that was originally approved to be the commercial component of the Dove Creek Master Plan. Commercial uses have been internal to the project site or adjacent to El Camino Real to provide a visual buffer between existing residences and the higher-intensity commercial and multi-family uses.

4. FINDING: The proposed zone change will not create any new significant and unavoidable impacts to traffic, infrastructure, or public service impacts; and

FACT: A Mitigated Negative Declaration (MND) No.2004-0026 was certified by the City Council on September 14, 2004. The MND evaluated the entire Dove Creek Master Plan and specifically analyzed the potential impacts of a commercial development on the project site that included 60,000 SF of future commercial retail space, including a 26,500 SF anchor tenant. While the residential villages identified in the analyzed project have been built and occupied as planned, the commercial center never developed and is now the location of the proposed mixed-use project.

To supplement the analysis of the previously certified MND for the project site, the applicant prepared a series of comparative analyses to evaluate whether the project would result in a greater impact to resources that previously identified. The applicant team provided analyses related to traffic and sewer capacity. The traffic analysis showed a reduction in anticipated peak hour trips based on the proposed mix of land-uses. The sewer capacity analysis showed that, while there will likely be an increase in peak flows, the sewer lines as designed are sized appropriately to accommodate the proposed development.

5. FINDING: The proposed zone change is consistent with the CEQA Findings.

FACT: The proposed text amendment is minor and will not result in an environmental impact. A mix of commercial and residential uses is allowable in the Commercial Retail zoning district and PD 12.

## **B. Findings for Approval of a Conditional Use Permit Amendment to modify the Master Plan of Development**

1. FINDING: The proposed project or use is consistent with the General Plan

FACT: The proposed project includes a Zone Text Change to modify the Planned Development Overlay Zone No. 12 (PD 12) to allow the proposed mix of residential and commercial uses on the project site and intensify uses from what is allowed today. The project site is located in the northwest corner of the Santa Barbara Road and El Camino Real intersection, the southern entrance to the city. The site is adjacent to services and is within the City's identified Urban Services Line. The project is consistent with the Land Use, Open Space and Circulation (LOC) Policies and Programs 1.1.7 for infill development; 1.4.1 for screening exterior lights; 2.1.3 and 7.2.3 for providing street trees; and 8.5.3 for providing on-site stormwater management. In addition, the project is consistent with Circulation Element (CIR) Policies and Programs 1.4 for requiring a tree-lined street; 1.5.1 for requiring adequate off-street parking; and 2.3.1 for providing adequate sidewalks as required for all new commercial development in the City.

The General Plan also includes policies and programs aimed at enhancing the City’s visual character and promoting economic viability. The City Council has previously identified this site as a key opportunity for increased economic development and expanded housing. In addition, LOC 3 provides policies and programs aimed at transforming the existing El Camino Real “strip” into a distinctive, attractive, and efficient commercial, office, and industrial park area that can provide for the long-term economic viability of the community. LOC13 provides policies and programs aimed at establishing a range of employment and business opportunities to provide a sound economic base and ensure that new development generates sufficient revenue to support public service needs and quality environmental, social, and educational opportunities.

The project, as proposed, will provide commercial uses that are distinctive, attractive, and can contribute to the long-term economic viability of the community. The proposed project includes commercial uses that generate sales and transient occupancy tax revenue that the City can use to further support public services. The proposed short-term rental hotel units will provide a service that doesn’t exist near the City’s south gateway and is in growing demand. The mix of residential and commercial uses on the project site will contribute to the viability of the commercial tenants. The proposed site plan and conceptual landscape plan include pedestrian walkways that connect to existing pedestrian walkways within the broader neighborhood. All proposed uses will utilize a singular looped driveway access and parking will be shared. The project site was previously identified and approved for commercial development within the existing Planned development overlay zoning designation and the Master Plan for The Villages of Dove Creek. The project will maintain and enhance the existing street trees and landscaping that pedestrians in this neighborhood are accustomed to.

2. **FINDING:** The proposed project or use satisfies all applicable provisions of the Zoning Ordinance

**FACT:** The proposed mixed commercial and residential development includes a request for a Zone Text Change to modify the development potential of the project site. With those approvals, the project is consistent with the Atascadero Municipal Code and the established Planned Development Overlay Zone No. 12. The proposed structures and site plan are consistent with the applicable provisions of the Atascadero Municipal Code as conditioned.

3. **FINDING:** The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use

**FACT:** The proposed development will be located at the intersection of Santa Barbara Road and El Camino Real. As proposed, the commercial uses will be adjacent to El Camino Real and the residential uses will front Santa Barbara Road, Bliss Street, and Cashin Street. Adequate access to the site is provided off Cashin Street and Bliss Street per the originally approved Dove Creek master plan. The site design has been reviewed by all City departments for consistency with code requirements. Impacts have been analyzed through the previously certified Initial Study/Mitigated Negative Declaration (MND) No. 2004-0026. As conditioned, the project will not be detrimental or unsafe to those working, visiting, or living on the project site or those within the surrounding neighborhoods.

4. **FINDING:** The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development

**FACT:** The proposed project is within the existing Dove Creek neighborhood, comprised of small-lot single-family residences fronting Bliss Street and Cashin Street. The project has been designed to focus residential uses adjacent to existing residential units with the proposed 2-story residential buildings fronting Bliss and Cashin Streets, and the 3-story residential building fronting Santa Barbara Road. The development pattern of the proposed project is similar to the conceptual site plan that was originally approved to be the commercial component of the Dove Creek Master Plan. Commercial uses are internal to the project site or adjacent to El Camino Real to provide a visual buffer between existing residences and the higher-intensity commercial and multi-family uses.

5. **FINDING:** The proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the land use element

**FACT:** A Trip Generation Comparison, prepared by Central Coast Transportation Consultants estimated the vehicle trips for the project as proposed and compared the trip levels to the previously approved project. The proposed project will generate 1,546 trips per weekday, including 91 AM peak hour trips and 166 PM peak hour trips. The trip generation would be lower than the 2,475 trips per weekday generated by the previously approved project. Therefore, the previously identified mitigation measures are adequate to accommodate the proposed development. The project will create additional traffic, both from new residents to the project and visitors and employees to the commercial portion of the project but will generate 929 fewer AM and PM peak hour trips daily. The analysis concluded that traffic volumes and patterns will be safe and within the capacity of adjacent roadways.

**C. Findings for Parking Modification**

1. FINDING: The project qualifies for a parking reduction based on the nature of the uses on site and the differing peak-hour demands of parking for the distinct planned uses.

FACT: The project proposes a mix of residential and commercial uses in addition to a short-term stay hotel. The Atascadero Municipal code recognizes that uses that have different peak-hour parking demands can qualify for a parking reduction as the provided spaces can be shared between all uses on-site. The code also recognizes that separate commercial uses that share the same site often have patrons that visit more than one commercial tenant at a time, allowing for a reduction in total parking demand. This is generally the case for residential and retail/restaurant uses and residents and hotel patrons generally park overnight whereas retail and restaurant uses have greater daytime demand. In addition, the site is designed with uses that are complimentary and visitors will likely visit more than one commercial tenant during their visit to the site.

**D. Findings for Hotels with kitchens in more than 50% of the rooms/units**

1. FINDING: The project is designed consistent with the standards of the Atascadero Municipal Code and provides amenities consistent with a tourist serving use.

FACT: Staff has reviewed the project and confirmed that the project, as conditioned, will be consistent with the standards of the Atascadero Municipal Code. The project will provide fitness areas, a lounge, and is adjacent to residents and visitor-serving commercial and recreation uses.

2. FINDING: The project is in an area that supports tourist-serving activities.

FACT: The project site is in the commercial retail zone and is part of the Dove Creek neighborhood. The Dove Creek commercial development proposal includes resident and tourist-serving uses and amenities will be provided on-site. The site is near Paloma Park which is a draw for many larger sports tournaments. Deed covenants will be recorded against the property detailing the nature of the use in compliance with local regulations.

**E. Findings for Approval of a Vesting Tentative Tract Map**

1. FINDING: The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan (Government Code §§ 66474(a) and (b))

FACT: The proposed project includes a Zone Text Change to modify the Planned Development Overlay Zone No. 12 (PD 12) to allow the proposed mix of residential and commercial uses on the project site and intensify uses from what is allowed today.

The project site is located in the northwest corner of the Santa Barbara Road and El Camino Real intersection, the southern entrance to the city. The site is adjacent to services and is within the City’s identified Urban Services Line. The project is consistent with the Land Use, Open Space and Circulation (LOC) Policies and Programs 1.1.7 for infill development; 1.4.1 for screening exterior lights; 2.1.3 and 7.2.3 for providing street trees; and 8.5.3 for providing on-site stormwater management. In addition, the project is consistent with Circulation Element (CIR) Policies and Programs 1.4 for requiring a tree-lined street; 1.5.1 for requiring adequate off-street parking; and 2.3.1 for providing adequate sidewalks as required for all new commercial development in the City.

The General Plan also includes policies and programs aimed at enhancing the City’s visual character and promoting economic viability. The City Council has previously identified this site as a key opportunity for increased economic development and expanded housing. In addition, LOC 3 provides policies and programs aimed at transforming the existing El Camino Real “strip” into a distinctive, attractive, and efficient commercial, office, and industrial park area that can provide for the long-term economic viability of the community. LOC13 provides policies and programs aimed at establishing a range of employment and business opportunities to provide a sound economic base and ensure that new development generates sufficient revenue to support public service needs and quality environmental, social, and educational opportunities.

The project, as proposed, will provide commercial uses that are distinctive, attractive, and can contribute to the long-term economic viability of the community. The proposed project includes commercial uses that generate sales and transient occupancy tax revenue that the city can use to further support public services. The proposed short-term rental hotel units will provide a service that doesn’t exist near the City’s south gateway and is in growing demand. The mix of residential and commercial uses on the project site will contribute to the viability of the commercial tenants. The proposed site plan and conceptual landscape plan include pedestrian walkways that connect to existing pedestrian walkways within the broader neighborhood. All proposed uses will utilize a singular looped driveway access and parking will be shared. The project site was previously identified and approved for commercial development within the existing Planned development overlay zoning designation and the Mater Plan for The Villages of Dove Creek. The project will maintain and enhance the existing street trees and landscaping that pedestrians in this neighborhood are accustomed to.

2. FINDING: The site is physically suitable for the type of development (Government Code§ 66474(c))

FACT: The property, after approval, will be zoned Commercial retail with Planned Development Overlay Zone No.12. The site is located adjacent to Santa Barbara Road and El Camino Real, within the existing Master Plan of Development for Dove Creek. All required right-of-way improvements along Santa Barbara Road, Bliss Street, Cashin Street, and El Camino Real have been constructed to city standards and will be

maintained in perpetuity. The project site was previously graded to accommodate drainage at the lowest point of the site adjacent to the intersection of Bliss and Cashin Streets. The site has been designed to accommodate all stormwater generated from the project.

3. **FINDING:** The site is physically suitable for the proposed density of development (Government Code § 66474(d))

**FACT:** The property is zoned Commercial Retail with Planned Development Overlay Zone No.12. The site is located adjacent to Santa Barbara Road and El Camino Real, within the existing Master Plan of Development for Dove Creek. The site has previously been identified by the City Council as a key development opportunity site for future mixed-use/residential development (in commercial zoning districts) with a maximum allowable density of 24 units per acre. The project site as proposed will have 71 residential units on 5.19-acres, resulting in a proposed density of 13.7 units/acre.

4. **FINDING:** The design of the subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. (Government Code § 66474(e))

**FACT:** The proposed project site is outside of the 100-year flood plain and the site is designed to be integrated into the Dove Creek neighborhood which includes creek and wetland restoration areas. The drainage from the site will be engineered to provide on-site post-construction water treatment before outflow into the neighborhood-wide storm drain system. The site was previously graded as part of the original tract improvements and no environmental concerns exist on site.

5. **FINDING;** The design of the subdivision or the type of improvements will not cause serious health problems. (Government Code § 66474(f))

**FACT:** The project is designed in accordance with all applicable local and State regulations. The project proposes a mixed commercial and residential development at a key opportunity site in the city and will not create any impacts to public health.

6. **FINDING;** The design of the subdivision will not conflict with easements for access through or use of property within the proposed subdivision. (Government Code § 66474(g))

**FACT:** The proposed project includes conditions to provide shared access and parking easements throughout the site for the benefit of all applicable parcels, ensuring access to all proposed parcels and uses.

**F. Findings for Planned Development Overlay Zone**

1. FINDING; The modification of development standards or processing requirements is warranted to promote orderly and harmonious development

FACT: The proposed project includes commercial uses that are distinctive, attractive, and can contribute to the long-term economic viability of the community. The mix of residential and commercial uses on the project site will contribute to the viability of the commercial tenants. The proposed site plan and conceptual landscape plan include pedestrian walkways that connect to existing pedestrian walkways within the broader neighborhood. All proposed uses will utilize a singular looped driveway access and parking will be shared. The project site was previously identified and approved for commercial development within the existing Planned Development zoning designation and the Master Plan for The Villages of Dove Creek. The project will maintain and enhance the existing street trees and landscaping that pedestrians in this neighborhood are accustomed to.

- 2.. FINDING; The modification of development standards or processing requirements will enhance the opportunity to best utilize special characteristics of an area and will have a beneficial effect on the area

FACT: The proposed project includes a mix of commercial uses that generate sales and transient occupancy tax revenue that the city can use to further support public services. The proposed short-term rental hotel units will provide a service that doesn't exist near the City's south gateway and is in growing demand.

3. FINDING; The benefits derived from the overlay zone cannot be reasonably achieved through existing development standards for processing requirements

FACT: The Commercial Retail zone allows for mixed-use development with up to 24 units per acre. Generally, residential units must be located above ground-floor commercial space. Residential uses may only be located on the ground floor with the approval of a planned development overlay zone. As the project site is located within PD12, an amendment to the Master Plan of development and overlay zone allows for the proposed configuration.

The addition of ground floor residential uses within the proposed mixed-use development will serve as a transition between the existing residential use along Bliss and Cashin Streets and the commercial uses within the project site core and along El Camino Real. The addition of residential uses on the ground floor of the proposed



mixed-use development will also help the city achieve its Regional Housing Needs Allocation (RHNA) objectives.

4. FINDING; The proposed plans, if any, offer certain redeeming features to compensate for requested modifications

FACT: The City Council has adopted a policy listing potential benefits for consideration when approving a Planned Development overlay zone. The Dove Creek Project was found to provide community benefit during the original approval of the project in 2004. Per City Council policy, benefits include high-quality architectural and landscape design, buffering between uses, higher density to meet Housing Element goals, pocket parks, and walkways for pedestrian connectivity. Modification of the Master Plan of Development for the 5-acre commercial site will not significantly change the nature and community benefit of the project, however, the added community-based commercial uses and increased housing opportunities will enhance the community benefit provided in the Dove Creek development. As designed and conditioned, the proposed amended project meets the findings for approval.

**SECTION 4. CEQA.** A Mitigated Negative Declaration (MND) No.2004-0026 was certified by the City Council on September 14, 2004. The MND evaluated the entire Dove Creek Master Plan and specifically analyzed the potential impacts of a commercial development on the project site that included 60,000 SF of future commercial retail space, including a 26,500 SF anchor tenant. While the residential villages identified in the analyzed project have been built and occupied as planned, the commercial center never developed and is now the location of the proposed mixed-use project.

To supplement the analysis of the previously certified MND for the project site, the applicant prepared a series of comparative analyses to evaluate whether the project would result in a greater impact to resources than previously identified. The applicant team provided analyses related to traffic and sewer capacity. The traffic analysis showed a reduction in anticipated peak-hour trips based on the proposed mix of land uses. The sewer capacity analysis showed that, while there will likely be an increase in peak flows, the sewer lines as designed are sized appropriately to accommodate the proposed development.

**SECTION 5. Recommendation for Approval.** The Planning Commission of the City of Atascadero, California, in a regular session assembled on May 21, 2024, resolved to recommend that the City Council approve an amendment (DEV23-0079) to the Dove Creek Master Plan of Development (CUP 2003-0099), approving the Dove Creek Commercial Parcel Mixed-Use project, Vesting Tentative Tract Map (TR3229) for parcel subdivision and condominium purposes, and an associated amendment to Planned Development Overlay Zone #12, subject to the following:

1. EXHIBIT A: Conditions of Approval
2. EXHIBIT B: Project Entitlement Package

- 3. EXHIBIT C: Vesting Tentative Tract Map (TR 3229)
- 4. EXHIBIT D: Planned Development #12 Zone Text Amendment

**BE IT FURTHER RESOLVED** that a copy of this Resolution be delivered forthwith by the Planning Commission Secretary to the City Council of the City of Atascadero.

On motion by Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_, the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ( )

NOES: ( )

ABSTAIN: ( )

ABSENT: ( )

ADOPTED: May 21, 2024

CITY OF ATASCADERO, CA

\_\_\_\_\_  
Tori Keen  
Planning Commission Chairperson

Attest:

\_\_\_\_\_  
Phil Dunsmore  
Planning Commission Secretary

<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<b>PLANNING DEPARTMENT</b>		
1. This approval includes the following entitlements:  a) Vesting Tentative Tract Map (TR 3229) is for the creation of 7 legal lots of record (as conditioned) described on the attached exhibits and shall apply to APN 045-331-014, regardless of owner.  b) Master Plan of Development / Conditional Use Permit for approximately 14,840 SF of commercial tenant space, 71 residential condominium units, and 20 short-term rental hotel units.	<b>Ongoing</b>	<b>PS</b>
2. The approval of these entitlements shall become final and effective for the purposes of issuing building permits the day after the City Council hearing, unless an appeal is made in accordance with the Atascadero Municipal Code.	<b>Ongoing</b>	<b>PS</b>
3. In accordance with the Atascadero Municipal Code Section 9-8.105, any violation of any of the conditions of approval may be cause for revocation of this entitlement and subject the applicant and/or future property owners to the penalties set for in the Atascadero Municipal Code, as well as any other available legal remedies.	<b>Ongoing</b>	<b>PS</b>
4. The Community Development Director and/or City Engineer shall have the authority to make modifications to the final map that remain in substantial conformance with the approved Tentative Tract Map.	<b>FM</b>	<b>PS / CE</b>
5. The Community Development Director and/or City Engineer shall have the authority to make minor modifications to the Master Plan of Development that are necessary to address code requirements or result in superior design.	<b>BP / FM</b>	<b>PS / CE</b>
6. Approval of these entitlements shall be valid for twenty-four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless a final map (Tract Map entitlement) has been recorded, or a construction permit (Master Plan of Development) has been issued and substantial construction has commenced, or a time extension has been granted, consistent with the Atascadero Municipal Code.	<b>BP / FM</b>	<b>PS</b>
7. Vesting Tentative Subdivision Map was deemed complete on <b>May 13, 2024</b> , for the purposes of vested development rights and fees consistent with the Subdivision Map Act of the State of California.	<b>On-going</b>	<b>PS, CE</b>

<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
8. The applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, for any claims arising from the approvals of these or subsequent project entitlements.	<b>Ongoing</b>	
9. All subsequent Tentative Tract Map and construction permits shall be consistent with the Master Plan of Development approved for the project, or as further specified by the conditions herein.	<b>BP / FM</b>	<b>PS / CE</b>
10. The subdivision shall be subject to additional fees for park or recreation purposes (QUIMBY Act) as required by City Ordinance.	<b>BP</b>	<b>PS</b>
11. The commercail portion of the project (commercail courtyard and hotel/market) shall be finaled prior to final of any residential unit on-site.	<b>FI</b>	<b>PS</b>
12. All maintenance costs listed below shall be 100% funded by the project in perpetuity, except for public facilities that are accepted for maintenance by the City of Atascadero. The service and maintenance cost shall be funded through an entity or mechanism established by the developer, subject to City Staff approval. This entity or mechanism must be in place prior to, or concurrently with acceptance of any final map(s) or the issuance of any residential building permits, whichever comes first. The entity or mechanism shall be approved by the City Attorney, City Engineer and Administrative Services Director prior to acceptance of any Final Map(s) or issuance of any building permits. The administration of the above-mentioned funds, and the coordination and performance of maintenance activities, shall be the responsibility of the entity or mechanism. <ul style="list-style-type: none"> <li>a) All roads, sidewalks, pathways, parking, and access areas.</li> <li>b) All landscaping and lighting within the proposed project area.</li> <li>c) Common area fencing and/or features.</li> <li>d) Open areas on private property within the proposed project area including detention facilities, bio-swales, and other low-impact-development features.</li> <li>e) All drainage facilities within the project area.</li> <li>f) Landscaped frontages within the right-of-way of all public streets within the defined project boundary, including irrigation.</li> </ul>	<b>FM/BP</b>	<b>PS</b>

<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
g) On-site sanitary sewer system(s) and storm drains located within the project area.		
13. The emergency services and facility maintenance costs listed below shall be 100% funded by the project in perpetuity. The service and maintenance costs shall be funded through a community facilities district established by the City at the developer's cost. The funding mechanism must be in place prior to or concurrently with acceptance of the final maps or issuance of any residential building permit, whichever comes first. The funding mechanism shall be approved by the City Attorney, City Engineer and Administrative Services Director prior to acceptance of any final map. The administration of the above mentioned funds shall be by the City. Developer agrees to participate in the community facilities district and to take all steps reasonably required by the City with regard to the establishment of the district and assessment of the property. <ul style="list-style-type: none"> <li>▪ All Atascadero Police Department service costs to the project.</li> <li>▪ All Atascadero Fire Department service costs to the project.</li> <li>▪ Off-site common City of Atascadero park facilities maintenance service costs related to the project</li> </ul>	<b>FM/BP</b>	<b>PS</b>
14. Shared parking and access easements shall be recorded over all parcels as applicable. Easements shall also be recorded for shared drainage facilities. Parking shall not be designated for each use except for short-term pick-up spaces and private residential garage spaces.	<b>FM</b>	<b>PS / CE</b>
15. Separate covenants shall be recorded governing use and maintenance responsibilities of shared facilities including, but not limited to, parking, access, drainage, landscaping, common use areas, and fencing. An additional covenant shall be recorded notifying all future property owners that the project is governed by a Planned Development Overlay Zone / Master Plan of Development and any modifications or changes to the appearance, fencing, or amenity areas require approval by the City.	<b>FM / BP</b>	<b>PS / CE</b>
16. The applicant shall make a good-faith effort to negotiate a shared maintenance agreement with the Dove Creek HOA for fair share costs associated with the maintenance of Cashin and Bliss Streets including frontage landscaping.	<b>FM / BP</b>	<b>PS</b>
17. Prior to final map, the applicant shall submit CC&Rs for review by the Community Development Department. CC&Rs for the	<b>FM</b>	<b>PS / CE</b>

<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
commercial and residential portions of the project may be separate, combined, or tiered.		
18. Agreements shall be required to be recorded against each residential parcel notifying any residential owner of the commercial nature of the site to ensure that commercial activities are prioritized.	<b>FM / BP</b>	<b>PS</b>
19. The applicant shall work with the City staff regarding the final selection of landscaping. Trees selected to be adjacent to the public right-of-way shall be compatible with the Dove Creek Master Plan of Development.	<b>FM / BP</b>	<b>PS</b>
20. All landscape on-site or planted along the street frontage shall be maintained in a manner that allows the tree to grow to its full natural height and natural canopy. No growth suppressants shall be permitted that result in stunting or modifying the natural growth pattern of the tree. Should such trees be maintained contrary to this condition, the owner shall be responsible for replacement.	<b>Ongoing</b>	<b>PS</b>
21. The project site shall be fenced and secured during construction. Any existing street trees or landscaping that is damaged during construction shall be replaced prior to final of any adjacent building or tract improvements.	<b>Ongoing</b>	<b>PS</b>
22. All perimeter/ retaining walls adjacent to Santa Barbara Road, El Camino Real, Bliss Street, and Cashin Street shall be in substantial conformance with the attached exhibits. Retaining wall material shall be constructed of dark color split face block or decorative stone veneer consistent with the proposed architecture of the 3-story residential building. Material specifications shall be included in the permit application.	<b>BP</b>	<b>PS</b>
23. All landscape and retaining walls shall have an anti-graffiti coating applied.		
24. Signage shall be consistent with project exhibits. All signage shall consist of individual letters and shall include external or halo style lighting. No internally illuminated signage shall be permitted unless sign lighting is turned off between the hours of 10pm and 7am.	<b>BP</b>	<b>PS/CE</b>
25. The gateway/entry monument sign shall be maintained in perpetuity by the common lot owner or owner's association in accordance with City standards. City signage and logo(s) shall be approved by the City Engineer prior to installation. An easement shall be recorded in the area of the sign in favor of		

<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<p>the city to allow the city access as needed to modify signage at the city's discretion.</p>		
<p>26. All stormwater basins shall be unfenced. Low level decorative split rail fencing may be approved by the Community Development Director.</p>	<b>BP</b>	<b>PS</b>
<p>27. Plaza spaces shall include decorative pavement such as stamped and/or colored concrete, or similar.</p>	<b>BP</b>	<b>PS</b>
<p>28. Future buildings shall be approved by planning staff prior to permit issuance and shall incorporate design elements consistent to attached exhibits.</p>	<b>BP</b>	<b>PS</b>
<p>29. All trash enclosures shall be constructed of dark color split face block or similar and shall include high quality solid metal doors. Enclosures shall be designed in accordance with City and State requirements.</p>	<b>BP</b>	<b>PS</b>
<p>30. All site lighting shall be shielded, directional, and dark sky compliant. Up lighting and festoon lighting shall be permitted within the commercial areas and along the pedestrian paseo. Bollard and/or low level in-ground safety lighting shall be permitted along pedestrian pathways. Parking lot lighting shall include a minimum 2-inch lens shield or the lens shall be recessed a minimum of 2-inches into the light housing. Parking lot lighting shall be dimmable and shall be on motion sensors with lighting dimmed except when activated between the hours of 10pm and 7am, and shall have a maximum pole height of 14-feet. All lighting shall be consistent and between 2700K and 3000K.</p>	<b>BP</b>	<b>PS</b>
<p>31. Landscaping along Cashin and Bliss Streets shall include material that has a variety of height and scale and shall include trees and shrubs for layering.</p>		
<p>32. The site shall be maintained and kept clear of any debris or storage including construction debris, unless part of an active, approved construction permit. All finishes shall be repaired or replaced as needed to maintain a high-quality commercial/residential development. Any dead or non-thriving landscaping shall be immediately replaced. All landscaping required for screening of any use, structure, or utility /mechanical equipment shall be maintained at a height and density to achieve maximum screening while appearing groomed and orderly.</p>	<b>Ongoing</b>	<b>PS</b>
<p>33. No gates shall be permitted on any public or private roadway or accessway within the project area.</p>	<b>Ongoing</b>	<b>PS</b>

<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
34. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative landscaping subject to approval by the Community Development Director or his designee. All fire department connections and/or back flow prevention devices for commercial and multi-family buildings shall be incorporated into the served buildings, unless waived by Community Development Director. If building integration is infeasible, all equipment shall be placed in a landscape planter and shall be fully screened by appropriately sized landscape species.	<b>PB</b>	<b>PS / FD</b>
35. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee.	<b>Ongoing</b>	<b>PS</b>
36. All mitigation measures identified in the previously certified Mitigated Negative Declaration No. 2004-0026, and the mitigation monitoring program for the Master Plan of Development, as amended, are hereby incorporated by reference and shall be implemented as listed or as conditioned.	<b>Ongoing</b>	<b>PS / CE / FD</b>
37. Venting shafts for a potential kitchen in the market/deli space shall be incorporated into the building design with initial construction permits.	<b>BP</b>	<b>PS / BS</b>
<b>CITY ENGINEER PROJECT CONDITIONS</b>		
38. An encroachment permit is required for any work or temporary use in the City rights-of-way.	<b>BP / GP</b>	<b>CE</b>
39. Owner shall enter into an agreement for ongoing maintenance responsibilities for all on-site post-construction stormwater treatment facilities.	<b>FI</b>	<b>CE</b>
40. Applicant shall pay sewer capacity charges in effect at the time of building permit application or date of vested tentative map approval. If any unique uses are proposed, specific wastewater information may be required to be submitted, subject to the request and approval of the City Engineer.	<b>BP</b>	<b>CE</b>
41. Applicant shall have the map reviewed by the public utility providers for power, telephone, gas, cable TV, and the Atascadero Mutual Water Company. The Applicant shall obtain a letter from each utility company stating that the	<b>FM</b>	<b>CE</b>



<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
easements and rights-of-way shown on the map for public utility purposes are acceptable		
42. Documents that the City of Atascadero requires to be recorded concurrently with the final map shall be listed on the certificate sheet of the final map.	<b>FM</b>	<b>CE</b>
43. The applicant shall be responsible for the relocation and/or alteration of existing utilities as required by utility company or that conflict with proposed work.	<b>BP / GP</b>	<b>CE</b>
44. The applicant shall install all new utilities (water, gas, electric, cable TV and telephone) underground. Utilities shall be extended to the property line frontage of each lot or its public utility easement.	<b>BP / GP</b>	<b>CE</b>
45. A final map drawn in substantial conformance with the approved tentative tract map, and in compliance with all conditions set forth herein, shall be submitted for review and approval in accordance with the Subdivision Map Act and the City's Subdivision Ordinance.	<b>FM</b>	<b>CE</b>
46. Prior to recording the vesting final map, the applicant shall either bond for or set monuments at all new property corners. A registered civil engineer licensed to perform land surveying or licensed land surveyor shall submit written certification to City Engineer that corners have been set or shall be set by a date specific and that they will be sufficient to enable the survey to be retraced.	<b>FM</b>	<b>CE</b>
<b>FIRE DEPARTMENT PROJECT CONDITIONS</b>		
47. A minimum of 2 fire hydrants will be required to meet the fire flow requirement for building #5.	<b>BP</b>	<b>FD</b>
48. Fire hydrants are to be located within 100 feet of each fire department connection for each building.	<b>BP</b>	<b>FD</b>
49. Fire hydrants shall be located on the same side of the street as the fire department connections for each building.	<b>BP</b>	<b>FD</b>

<b>Conditions of Approval</b> <b>DEV23-0079</b> <b>Vesting Tentative Tract Map 3229</b> <b>Master Plan of Development/Conditional Use Permit</b> <b>Dove Creek Commercial Development</b>  <b>APN 045-331-014</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
50. A turning performance analysis as per Standard F-7 is required.	<b>BP</b>	<b>FD</b>
51. Provide fire flow calculations as per the 2022 CA Fire Code for each building.	<b>BP</b>	<b>FD</b>

# Dove Creek Mixed-Use

ATASCADERO, CA



	<b>Dove Creek Mixed-Use</b>	Date: FEBRUARY 20, 2024
	ATASCADERO, CA	Project #: A22025
	COVER SHEET	Scale: 1/8" = 1'-0" / 1/4" = 1'-0"
		Sheet: <b>A0.0</b>



## PROJECT DESCRIPTION

THIS PRIVATELY-FUNDED, MIXED-USE PROJECT PROPOSES THE CONSTRUCTION OF NEW RESIDENTIAL AND COMMERCIAL BUILDINGS TO ACTIVATE A LONG-VACANT 5.19 ACRE LOT. THE PROPERTY IS LOCATED ON THE CORNER OF EL CAMINO REAL AND SANTA BARBARA ROAD IN ATASCADERO.

THE PROJECT CONSISTS OF (7) SEVEN BUILDINGS MADE UP OF (5) FIVE DIFFERENT BUILDING TYPES WITH A TOTAL OF 71 FOR-SALE CONDOMINIUM UNITS AND 20 SHORT-TERM RENTAL UNITS. THE SHORT-TERM RENTALS, AS PART OF THE PROJECT'S COMMERCIAL ELEMENT, WILL FUNCTION SIMILAR TO A HOTEL AND PROVIDE A SPACE FOR VISITORS TO STAY AND ENJOY THE SOUTHERN PART OF ATASCADERO AND THE SURROUNDING AREAS.

TOWARDS THE MIDDLE OF THE SITE, ALONG EL CAMINO REAL, BUILDING TYPE 1 SERVES AS A BEER/WINE/DINING HUB, CIRCLING A PUBLIC, SHADED OUTDOOR COURTYARD FOR DINING, RECREATION, AND SMALLER MUSIC EVENTS. A WIDE, LANDSCAPED PEDESTRIAN PATH WITH POCKET PLAZAS LINKS THIS "OUTDOOR LIVING ROOM" TO THE REST OF THE SITE AND CONNECTS TO THE ADJACENT DOVE CREEK NEIGHBORHOOD. THE DRIVE AISLE BETWEEN BUILDING 1 AND BUILDINGS 2 & 3 FEATURES ENHANCED PAVING TREATMENT AND CAN BE CLOSED OFF TO TRAFFIC FOR TEMPORARY OUTDOOR FARMERS' MARKETS, CRAFT FAIRS, OR SIMILAR EVENTS.

CENTRAL BUILDING TYPE 2 CONTAINS GROUND-FLOOR COMMERCIAL SPACE, SHORT-TERM RENTAL UNITS, AND A RESIDENTIAL CLUBHOUSE WITH AN ONSITE MANAGER'S OFFICE, RESIDENTIAL LOUNGE, AND FITNESS CENTER. BUILDING TYPE 3, ACROSS THE RESIDENTIAL COURTYARD FROM BUILDING TYPE 2, IS ENTIRELY COMMERCIAL.

THE PROPOSED DEVELOPMENT TRANSITIONS DOWN IN SCALE AND FROM COMMERCIAL TO RESIDENTIAL ALONG CASHIN AND BLISS STREETS TO FORM A BUFFER BETWEEN THE COMMERCIAL PORTION OF THE PROJECT AND THE ADJACENT RESIDENTIAL NEIGHBORHOOD. THESE BUILDINGS ALONG THE PERIMETER ARE RESIDENTIAL BUILDING TYPES 4 & 5, WITH BUILDING TYPE 4 FEATURING PRIVATE GARAGES ON THE GROUND FLOOR.

THE SITE ALSO FEATURES MONUMENT SIGNAGE AT THE INTERSECTION OF EL CAMINO REAL AND SANTA BARBARA ROAD WHICH WILL SERVE AS A GATEWAY WELCOMING SIGN FOR THE CITY OF ATASCADERO AND FOR THE PROJECT ITSELF.

THE PROJECT IS DESIGNED TO COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE AND WILL INCORPORATE SEVERAL GREEN BUILDING MEASURES. THESE MEASURES INCLUDE LOW FLOW PLUMBING FIXTURES, LED LIGHT FIXTURES, AMPLE INSULATION, ENERGY EFFICIENT WINDOWS AND DOORS, SOLAR PANELS, AND DROUGHT TOLERANT LANDSCAPING.

## PROJECT DATA

<b>ADDRESS:</b>	BLISS STREET, ATASCADERO, CA
<b>APN:</b>	045-331-014
	LOT 280, TRACT 2526
<b>SITE AREA:</b>	226,076 SF (5.19 ACRES)
<b>ZONING:</b>	CR/PD24 (COMMERCIAL RETAIL)
<b>USE:</b>	
EXISTING USE:	VACANT
PROPOSED USE:	MIXED-USE (COMMERCIAL & MULTI-FAMILY RESIDENTIAL)
<b>TYPE OF CONSTRUCTION:</b>	
BUILDING TYPES 1/3:	V-A
BUILDING TYPES 2/4/5:	V-B
<b>SPRINKLERS:</b>	YES, NFPA 13
<b>OCCUPANCIES:</b>	
COMMERCIAL:	R-1, B, A-2, A-3
RESIDENTIAL:	R-2, B, A-3
<b>DENSITY ALLOWABLE:</b>	125 UNITS (24 UNITS/ACRE x 5.19 ACRES)
<b>DENSITY PROPOSED:</b>	71 UNITS (FOR-SALE CONDOMINIUMS)
<b>BUILDING HEIGHT ALLOWED:</b>	35'-0" (FROM AVERAGE NATURAL GRADE)
<b>BUILDING HEIGHT PROPOSED:</b>	
BUILDING TYPE 1:	28'-9" FROM A.N.G.
BUILDING TYPE 2:	35'-0" FROM A.N.G.
BUILDING TYPE 3:	21'-6" FROM A.N.G.
BUILDING TYPE 4:	35'-0" FROM A.N.G.
BUILDING TYPE 5:	33'-0" FROM A.N.G.

## PROJECT DIRECTORY

**PROJECT APPLICANT**  
MONTAGE DEVELOPMENT INC.  
23945 CALABASAS RD., SUITE 207  
CALABASAS, CA 91302  
ATTN: STEPHEN ROSS  
PHONE: (818) 501-1800 x 202  
EMAIL: SROSS@MONTAGEDEV.COM

**ARCHITECT**  
ARRIS STUDIO ARCHITECTS  
1327 ARCHER ST, SUITE 220  
SAN LUIS OBISPO, CA 93401  
ATTN: THOM JESS  
PHONE: (805) 547-2240 x 111  
EMAIL: TJESS@ARRIS-STUDIO.COM

**CIVIL ENGINEER**  
ASHLEY & VANCE ENGINEERING, INC.  
1229 CARMEL STREET  
SAN LUIS OBISPO, CA 93401  
ATTN: KATHLEEN ALLWINE  
PHONE: (805) 545-0010 x 165  
EMAIL: KATHLEEN@ASHLEYVANCE.COM

**LANDSCAPE ARCHITECT**  
OASIS ASSOCIATES, INC.  
3427 MIGUELITO COURT  
SAN LUIS OBISPO, CA 93401  
ATTN: MICHAEL CRIFE  
PHONE: (805) 541-4509  
EMAIL: MICHAEL@OASISASSOC.COM

## VICINITY MAP

PROJECT SITE



## UNIT DATA

SEE SHEET A0.2 FOR UNIT & BUILDING DATA.

## PARKING DATA

SEE SHEET A0.2 FOR PARKING DATA.

## SHEET INDEX

ARCHITECTURAL	A6.2	BUILDING TYPE 4 - SECOND FLOOR PLAN (THIRD FLOOR SIM.)
A0.0 COVER SHEET	A6.3	BUILDING TYPE 4 - ROOF PLAN
A0.1 PROJECT DATA	A6.5	BUILDING TYPE 4 - ELEVATIONS
A0.2 PROJECT DATA	A6.6	BUILDING TYPE 4 - ELEVATIONS
A1.0 PERSPECTIVES	A6.7	BUILDING TYPE 4 - SECTIONS
A1.1 PERSPECTIVES	A7.0	COLORS & MATERIALS
A1.2 PERSPECTIVES	A7.1	BUILDING TYPE 5 - FIRST FLOOR PLAN (SECOND FLOOR SIM.)
A1.3 PERSPECTIVES	A7.2	BUILDING TYPE 5 - ROOF PLAN
A1.4 PERSPECTIVES	A7.5	BUILDING TYPE 5 - ELEVATIONS
A1.5 PERSPECTIVES	A7.6	BUILDING TYPE 5 - ELEVATIONS
A2.0 EXISTING SITE PLAN	A7.7	BUILDING TYPE 5 - SECTIONS
A2.1 CONCEPTUAL SITE PLAN		
A3.1 BUILDING TYPE 1 - FIRST FLOOR PLAN	CIVIL	
A3.2 BUILDING TYPE 1 - SECOND FLOOR PLAN	C2.1	GRADING & DRAINAGE PLAN
A3.3 BUILDING TYPE 1 - ROOF PLAN		
A3.5 BUILDING TYPE 1 - ELEVATIONS	LANDSCAPE	
A3.6 BUILDING TYPE 1 - ELEVATIONS	L.1	CONCEPTUAL LANDSCAPE PLAN - OVERALL
A3.7 BUILDING TYPE 1 - ELEVATIONS	L.2	CONCEPTUAL LANDSCAPE PLAN - ENLARGED
A3.8 BUILDING TYPE 1 - SECTIONS	L.3	GATEWAY ENLARGED, PLANT LIST, NOTES
A4.1 BUILDING TYPE 2 - FIRST FLOOR PLAN		GRAND TOTAL: 43
A4.2 BUILDING TYPE 2 - SECOND FLOOR PLAN		
A4.3 BUILDING TYPE 2 - THIRD FLOOR PLAN		
A4.4 BUILDING TYPE 2 - ROOF PLAN		
A4.5 BUILDING TYPE 2 - ELEVATIONS		
A4.6 BUILDING TYPE 2 - ELEVATIONS		
A4.7 BUILDING TYPE 2 - SECTIONS		
A5.1 BUILDING TYPE 3 - FIRST FLOOR PLAN		
A5.2 BUILDING TYPE 3 - ELEVATIONS & SECTIONS		
A6.1 BUILDING TYPE 4 - FIRST FLOOR PLAN		



**Dove Creek Mixed-Use**

ATASCADERO, CA

PROJECT DATA

Date: DECEMBER 22, 2023

Project # A22025

Scale 11x17: NTS

24x36: NTS

Sheet

**A0.1**

## PARKING DATA

**NOTE: SEE CONCEPTUAL SITE PLAN ON SHEET A2.1 FOR PARKING SPACE DIMENSIONS.**

**REQUIRED PARKING:**

COMMERCIAL SPACE:	50 SPACES (14,840 SF @ 1 SPACE/300 SF)*
SHORT-TERM RENTALS:	20 SPACES (20 UNITS @ 1 SPACE/UNIT)*
1-BEDROOM UNITS:	24 SPACES (24 UNITS @ 1 SPACE/UNIT)
2-BEDROOM UNITS:	71 SPACES (47 UNITS @ 1.5 SPACES/UNIT)
<b>TOTAL REQUIRED:</b>	<b>165 SPACES</b>

**PROVIDED PROVIDED:**

SURFACE SPACES:	166 SPACES
GARAGE SPACES:	12 SPACES
<b>TOTAL PROVIDED:</b>	<b>178 SPACES</b>

\*NOTE: MIN. 70 SPACES REQUIRED FOR COMMERCIAL USED FOR COMMERCIAL-USE PARKING CALCULATIONS. REMAINING 108 USED FOR RESIDENTIAL PORTION.

**REQUIRED ELECTRIC VEHICLE CHARGING STATIONS**

**RESIDENTIAL (CGBSC 4.106.4.2.2)**

**REQUIRED EV PARKING:**

EVCS REQUIRED:	5 SPACES (108 SPACES x 5%)
EV READY REQUIRED:	27 SPACES (108 SPACES x 25%)
EV CAPABLE REQUIRED:	11 SPACES (108 SPACES x 10%)
<b>TOTAL REQUIRED:</b>	<b>43 SPACES</b>

**PROVIDED EV PARKING:**

EVCS PROVIDED:	5 SPACES
EV READY PROVIDED:	27 SPACES
EV CAPABLE PROVIDED:	11 SPACES
<b>TOTAL PROVIDED:</b>	<b>43 SPACES</b>

**COMMERCIAL (CGBSC 5.106.5.3.1)**

**REQUIRED EV PARKING:**

EVCS REQUIRED:	4 SPACES (70 SPACES x 5%)
EV CAPABLE REQUIRED:	7 SPACES (70 SPACES x 10%)
<b>TOTAL REQUIRED:</b>	<b>11 SPACES</b>

**PROVIDED EV PARKING:**

EVCS PROVIDED:	4 SPACES
EV CAPABLE PROVIDED:	7 SPACES
<b>TOTAL PROVIDED:</b>	<b>11 SPACES</b>

**ACCESSIBLE PARKING SPACES**

**RESIDENTIAL (108 SPACES)**

**REQUIRED ACCESSIBLE PARKING SPACES (PER CBC TABLE 11B-208.2)**

101 TO 151 SPACES  
MIN. # OF REQ'D ACCESSIBLE SPACES: 5 SPACES

PROVIDED: 5 SPACES

**REQUIRED ACCESSIBLE ELECTRIC VEHICLE CHARGING STATIONS (PER CBC TABLE 11B-228.3.2.1)**

5 TO 25 EVCS SPACES (5 SPACES PROVIDED)

EVCS ADA SPACES REQUIRED:	
VAN ACCESSIBLE:	1 SPACE
STANDARD ACCESSIBLE:	1 SPACES
AMBULATORY ACCESSIBLE REQ'D:	0 SPACES
<b>TOTAL EVCS ADA SPACES:</b>	<b>2 SPACES</b>

EVCS ADA SPACES PROVIDED:	
VAN ACCESSIBLE:	1 SPACE
STANDARD ACCESSIBLE:	1 SPACES
AMBULATORY ACCESSIBLE:	0 SPACES
<b>TOTAL EVCS ADA SPACES:</b>	<b>2 SPACES</b>

**NOTE:**

<b>EV CHARGERS (EVCS)</b>	ELECTRICAL CHARGING STATION INSTALLED
<b>EV READY (EVR)</b>	OUTLET CAPABLE OF SERVING CHARGER
<b>EV CAPABLE (EVC)</b>	CAPACITY IN ELECTRICAL EQUIPMENT & CONDUIT FOR FUTURE CHARGER

MARK	TYPE	TOTAL
ACCESSIBLE		
A	ACC-STANDARD STALL-A	4
VA	ACC-VAN STALL-VA	4
8		
ACCESSIBLE ELECTRIC		
A/EV	EV ACC-STANDARD STALL EV-A/EV	2
VA/EV	EV ACC-VAN STALL EV-VA/EV	2
4		
ELECTRIC		
EVC	EV CHARGER-STANDARD STALL-EVC (CAPABLE)	18
EVCS	EV CHARGER-STANDARD STALL-EVCS (CHARGER)	5
EVR	EV READY-STANDARD STALL-EVR (RECEPTACLE)	15
G/EVR	GARAGE-EVR (RECEPTACLE)	12
50		
STANDARD		
S	STANDARD STALL	116
116		
Grand total: 178		

**COMMERCIAL (70 SPACES)**

**REQUIRED ACCESSIBLE PARKING SPACES (PER CBC TABLE 11B-208.2)**

51 TO 70 SPACES  
MIN. # OF REQ'D ACCESSIBLE SPACES: 3 SPACES

PROVIDED: 3 SPACES

**REQUIRED ACCESSIBLE ELECTRIC VEHICLE CHARGING STATIONS (PER CBC TABLE 11B-228.3.2.1)**

5 TO 25 EVCS SPACES (4 SPACES PROVIDED)

EVCS ADA SPACES REQUIRED:	
VAN ACCESSIBLE:	1 SPACE
STANDARD ACCESSIBLE:	1 SPACES
AMBULATORY ACCESSIBLE REQ'D:	0 SPACES
<b>TOTAL EVCS ADA SPACES:</b>	<b>2 SPACES</b>

EVCS ADA SPACES PROVIDED:	
VAN ACCESSIBLE:	1 SPACE
STANDARD ACCESSIBLE:	1 SPACES
AMBULATORY ACCESSIBLE:	0 SPACES
<b>TOTAL EVCS ADA SPACES:</b>	<b>2 SPACES</b>

**TOTAL ACCESSIBLE STALLS PROVIDED 12 SPACES**

## UNIT DATA

**OVERALL UNIT MIX:**

BED #	COUNT
1-BED	13
2-BED	7
<b>TOTAL SHORT-TERM RENTALS</b>	<b>20</b>

BED #	COUNT
1-BED	24
2-BED	47
<b>TOTAL CONDOMINIUM UNITS</b>	<b>71</b>

**UNIT MIX BY BUILDING TYPE:**

UNIT TYPE	COUNT
<b>BUILDING TYPE 2 (x1)</b>	
1-BED	
800 SF	11
810 SF	2
	13
2-BED	
1,110 SF	4
1,120 SF	3
	7
<b>BUILDING TYPE 2</b>	<b>20</b>
<b>TOTAL SHORT-TERM RENTALS</b>	<b>20</b>

UNIT TYPE	COUNT
<b>BUILDING TYPE 4 (x1)</b>	
2-BED	
1,120 SF	23
	23

UNIT TYPE	COUNT
<b>BUILDING TYPE 4</b>	
2-BED	
1,120 SF	23
	23
<b>BUILDING TYPE 5 (x3)</b>	
1-BED	
810 SF	24
	24
<b>(8 UNITS EACH)</b>	
2-BED	
1,120 SF	12
1,150 SF	12
	24
<b>(8 UNITS EACH)</b>	
<b>BUILDING TYPE 5</b>	<b>48</b>
<b>TOTAL CONDOMINIUM UNITS</b>	<b>71</b>

**(16 UNITS EACH)**

## BICYCLE PARKING

**BIKE PARKING PER CALGREEN 5.106.4**

- PROVIDE 5% OF VEHICLE SPACES IN COMPLIANCE WITH SHORT-TERM BICYCLE PARKING.
- PROVIDE 5% OF VEHICLE SPACES IN COMPLIANCE WITH LONG-TERM BICYCLE PARKING. LONG-TERM BICYCLE PARKING SHALL BE PROVIDED INSIDE THE BUILDING.

REQUIRED SHORT-TERM PARKING: 9 SPACES MIN. (178 X 5%)

REQUIRED LONG-TERM PARKING: 9 SPACES MIN. (178 X 5%)

\* EACH BIKE PARKING SPACE WILL BE A MINIMUM OF 2' IN WIDTH BY 6' IN LENGTH. 2' OF CLEARANCE MUST BE PROVIDED BETWEEN BICYCLE PARKING AND ADJACENT WALLS, POLES, LANDSCAPING, DRIVE AISLES AND PEDESTRIAN WALKWAYS.

## BUILDING DATA

**GROSS AREA BY BUILDING TYPE:**

BUILDING TYPE	AREA
<b>BUILDING TYPE 1 (x1)</b>	
FIRST FLOOR	9,000 SF
SECOND FLOOR	1,640 SF
<b>BUILDING TYPE 1</b>	<b>10,650 SF</b>

BUILDING TYPE	AREA
<b>BUILDING TYPE 2 (x1)</b>	
FIRST FLOOR	11,560 SF
SECOND FLOOR	7,930 SF
THIRD FLOOR	10,210 SF
<b>BUILDING TYPE 2</b>	<b>29,690 SF</b>

BUILDING TYPE	AREA
<b>BUILDING TYPE 3 (x1)</b>	
FIRST FLOOR	820 SF
<b>BUILDING TYPE 3</b>	<b>820 SF</b>

BUILDING TYPE	AREA
<b>BUILDING TYPE 4 (x1)</b>	
FIRST FLOOR	11,360 SF
SECOND FLOOR	11,660 SF
THIRD FLOOR	11,660 SF
<b>BUILDING TYPE 4</b>	<b>34,680 SF</b>

BUILDING TYPE	AREA
<b>BUILDING TYPE 5 (x3)</b>	
FIRST FLOOR	23,310 SF
SECOND FLOOR	23,310 SF
<b>BUILDING TYPE 5</b>	<b>46,620 SF</b>
<b>TOTAL AREA</b>	<b>122,460 SF</b>

(7,770 SF EACH)  
(7,770 SF EACH)  
(15,540 SF EACH)

**COMMERCIAL GROSS AREA:**

COMMERCIAL	AREA
<b>BUILDING TYPE 1</b>	
FIRST FLOOR	8,720 SF
SECOND FLOOR	1,360 SF
<b>BUILDING TYPE 1</b>	<b>10,080 SF</b>

COMMERCIAL	AREA
<b>BUILDING TYPE 2</b>	
FIRST FLOOR	3,940 SF
<b>BUILDING TYPE 2</b>	<b>3,940 SF</b>

COMMERCIAL	AREA
<b>BUILDING TYPE 3</b>	
FIRST FLOOR	820 SF
<b>BUILDING TYPE 3</b>	<b>820 SF</b>
<b>TOTAL COMMERCIAL AREA</b>	<b>14,840 SF</b>



**Dove Creek Mixed-Use**

ATASCADERO, CA

PROJECT DATA

Date: DECEMBER 22, 2023

Project #: A22025

Scale: 1/8"=1'-0"

11x17: NTS

24x36:

Sheet

**A0.2**





PERSPECTIVE RENDERING (VIEW FROM INTERSECTION OF EL CAMINO REAL & SANTA BARBARA ROAD)



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 PERSPECTIVES

Date: FEBRUARY 20, 2024  
 Project #: A22025  
 Scale: 1/8" = 1'-0" NTS  
 24x36"  
 Sheet: **A1.0**





PERSPECTIVE RENDERING (VIEW FROM FARMERS' MARKET LOOKING TOWARDS BUILDING 1)



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 PERSPECTIVES

Date: FEBRUARY 20, 2024  
 Project #: A22025  
 Scale: 1/8" = 1'-0"  
 Sheet: 24x36  
**A1.1**





PERSPECTIVE RENDERING (VIEW OF OUTDOOR LIVING ROOM & BUILDING 1)



**Dove Creek Mixed-Use**  
ATASCADERO, CA  
PERSPECTIVES

Date: FEBRUARY 20, 2024  
Project #: A22025  
Scale: 1/4" = 1'-0"  
Sheet: 24x36  
**A1.2**





PERSPECTIVE RENDERING (VIEW FROM BUILDING 2 LOOKING TOWARDS COMMUNAL COURTYARD)

	<b>Dove Creek Mixed-Use</b> ATASCADERO, CA		Date: FEBRUARY 20, 2024 Project #: A22025
	PERSPECTIVES		Scale: 1/16" = 1' NTS 24x36"
			<b>A1.3</b>





PERSPECTIVE RENDERING (VIEW OF PEDESTRIAN CONNECTION BETWEEN EL CAMINO REAL & BUILDING 1)



**Dove Creek Mixed-Use**  
ATASCADERO, CA  
PERSPECTIVES

Date: FEBRUARY 20, 2024  
Project #: A22025  
Scale: 1/16" = 1'-0"  
Sheet: 24x36  
**A1.4**

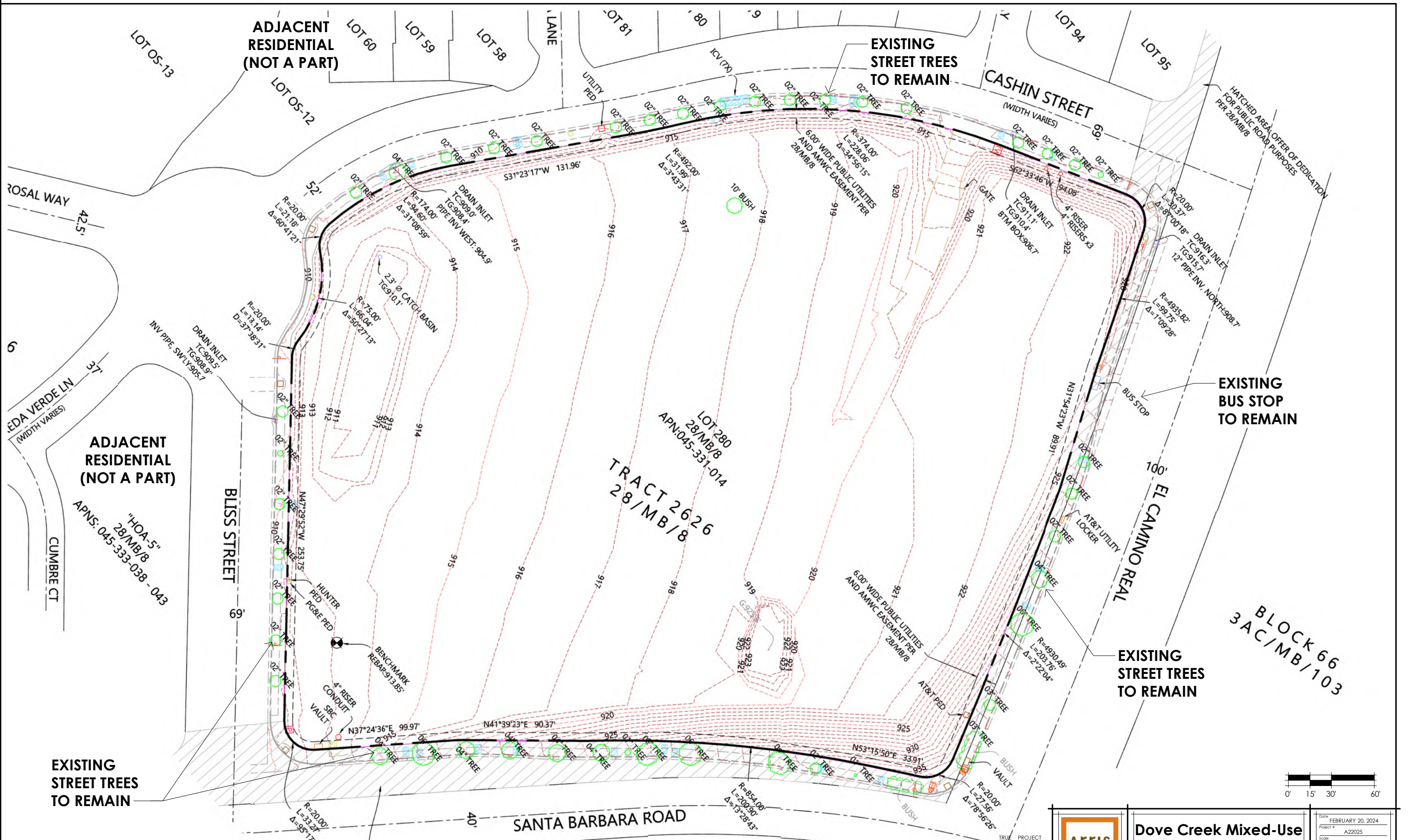




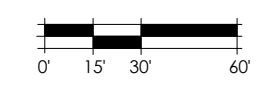
PERSPECTIVE RENDERING (VIEW OF CONNECTING PATHWAY & FOOTBRIDGE AT BIORETENTION AREA)

	<b>Dove Creek Mixed-Use</b>	Date: FEBRUARY 20, 2024
	ATASCADERO, CA	Project #: A22025
	PERSPECTIVES	Scale: 1/8" = 1'-0"
		Sheet: 24x36
		<b>A1.5</b>





EXISTING SITE PLAN - SEE SURVEY FOR MORE INFORMATION



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 EXISTING SITE PLAN

Date	FEBRUARY 20, 2024
Project #	A22025
Scale	11x17: 1" = 60' 24x36: 1" = 30'
Sheet	<b>A2.0</b>



2-STORY RESIDENTIAL CONDOMINIUM BUILDINGS FRONTING CASHIN & BLISS STREETS

PEDESTRIAN CONNECTION THROUGH SITE TO ADJACENT RESIDENTIAL WITH FOOTBRIDGE OVER BIORETENTION AREA

3-STORY MIXED-USE BUILDING W/ COMMERCIAL SPACE, RESIDENTIAL AMENITIES AND SHORT-TERM VACATION RENTAL UNITS

ONSITE RESIDENT AMENITY SPACES (LOBBY/ LOUNGE/ FITNESS/ ETC.)

RESIDENTIAL MAILROOM

DRIVEWAY ENTRANCE ON BLISS STREET

3-STORY RESIDENTIAL CONDOMINIUM BUILDING W/ PRIVATE GARAGES ON GROUND FLOOR

- NOTE:**
- A. REFER TO CIVIL PLANS FOR ALL GRADING, DRAINAGE & UTILITY INFORMATION.
  - B. REFER TO LANDSCAPING/ IRRIGATION PLANS FOR NEW PLANTINGS AND IRRIGATION INFORMATION.
  - C. ALL PROPERTY LINES, EASEMENTS, AND BUILDINGS (EXISTING & PROPOSED) ARE SHOWN ON THIS SITE PLAN. SEE SURVEY FOR ADDITIONAL INFORMATION.
  - D. VEHICULAR PARKING STALLS ARE 9-FEET WIDE BY 18-FEET DEEP, TYPICAL, UNLESS NOTED OTHERWISE.

DRIVEWAY ENTRANCE ON CASHIN STREET

MONUMENT/WELCOME SIGNAGE

PARKING FOR COMMERCIAL PORTION DIRECTLY ADJACENT TO ENTRY

6'-WIDE PUBLIC UTILITIES & AMWC EASEMENT

COMMERCIAL CLUSTER MAILBOX (CBU)

AREA IN FRONT OF BUILDING 1 TO HAVE DECORATIVE PAVING AND CAN BE CLOSED OFF FOR FARMERS' MARKETS OR OTHER EVENTS

EXISTING BUS STOP

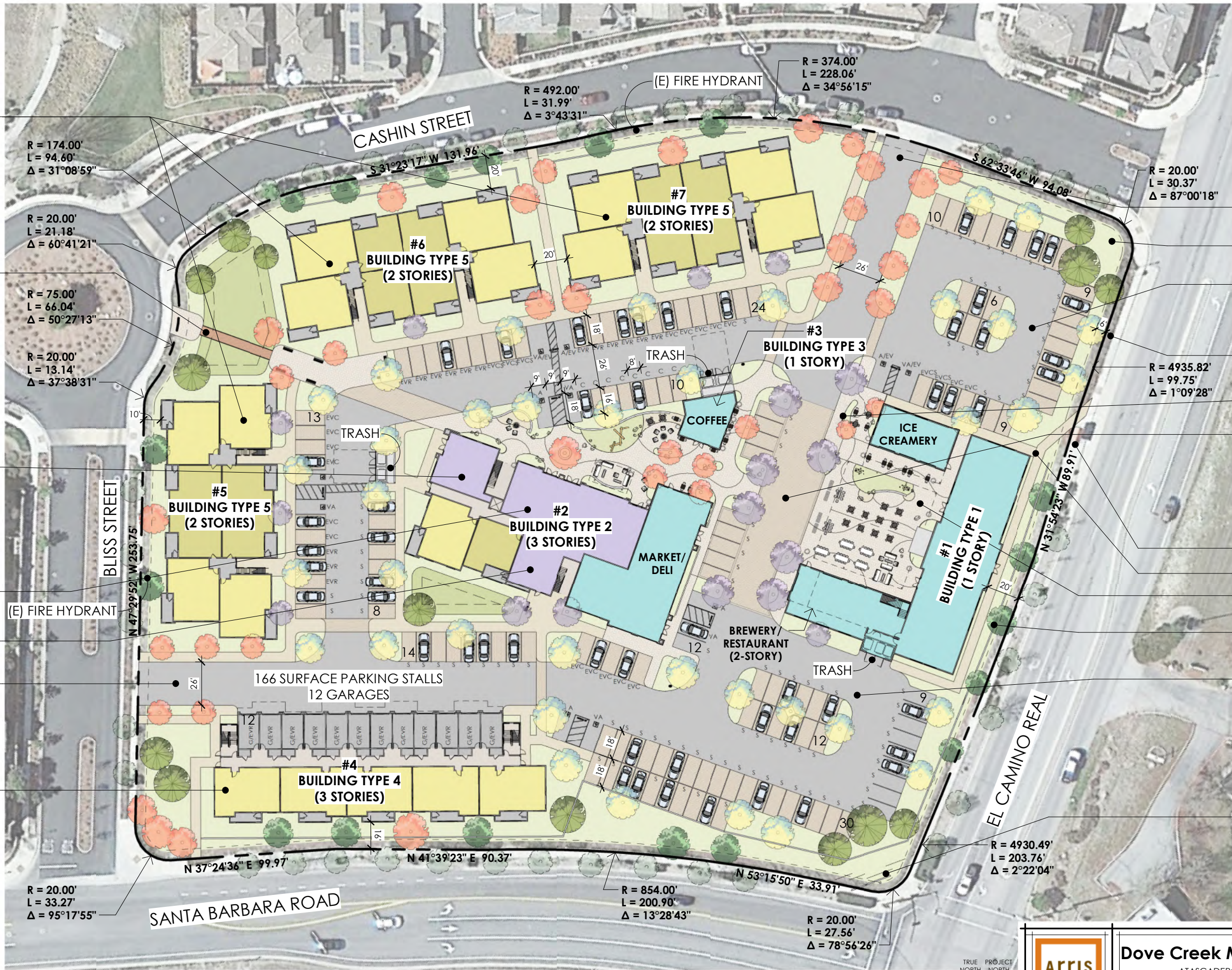
PEDESTRIAN PATHWAY

OUTDOOR LIVING ROOM (GAME & DINING AREA)

SITE RETAINING WALLS, S.C.D.

SHARED PARKING FOR RESIDENTIAL AND COMMERCIAL USES

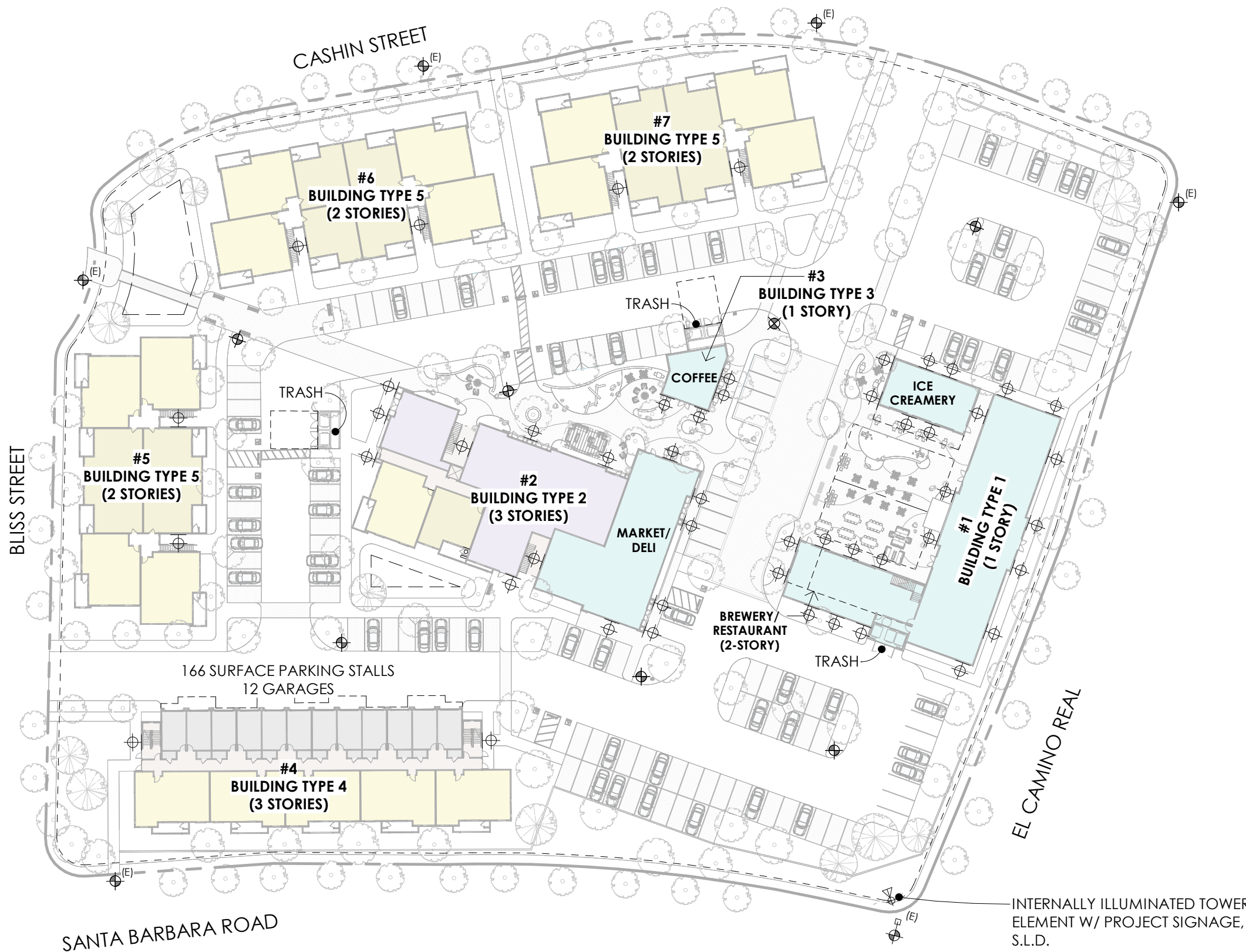
MONUMENT/WELCOME SIGNAGE, S.L.D.








**PROPOSED ARCHITECTURAL SITE PLAN**

	<b>Dove Creek Mixed-Use</b> ATASCADERO, CA CONCEPTUAL SITE PLAN	Date: FEBRUARY 20, 2024 Project #: A22025 Scale: 11x17: 1" = 60" 24x36: 1" = 30" Sheet: <b>A2.1</b>
	TRUE PROJECT NORTH NORTH	
	Scale: 11x17: 1" = 60" 24x36: 1" = 30"	
	Sheet: <b>A2.1</b>	





**LIGHTING LEGEND**

-  WALL MOUNTED LIGHT
-  MONUMENT SIGNAGE SPOTLIGHT
-  (E) LAMP POST TO REMAIN
-  (N) LAMP POST
-  (E) AREA LIGHT - SINGLE ARM TO REMAIN

**FIXTURE TYPES**

**NOTE:** ALL LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT



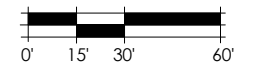
**WALL-MOUNTED LIGHT**  
 HINKLEY FORGE, MODEL: 12070BK  
 COLOR: BLACK  
 WATTS: 50  
 LUMENS: 575



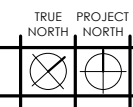
**MONUMENT SIGNAGE SPOTLIGHT (W/ UPPER VISOR)**  
 LITHONIA, MODEL: DSXF2 LED  
 COLOR: DARK BRONZE  
 WATTS: 64  
 LUMENS: 7,600



**LAMP POST LIGHT**  
 HALOPHANE, MODEL: GELF3  
 COLOR: BLACK  
 WATTS: 75  
 LUMENS: 10,000

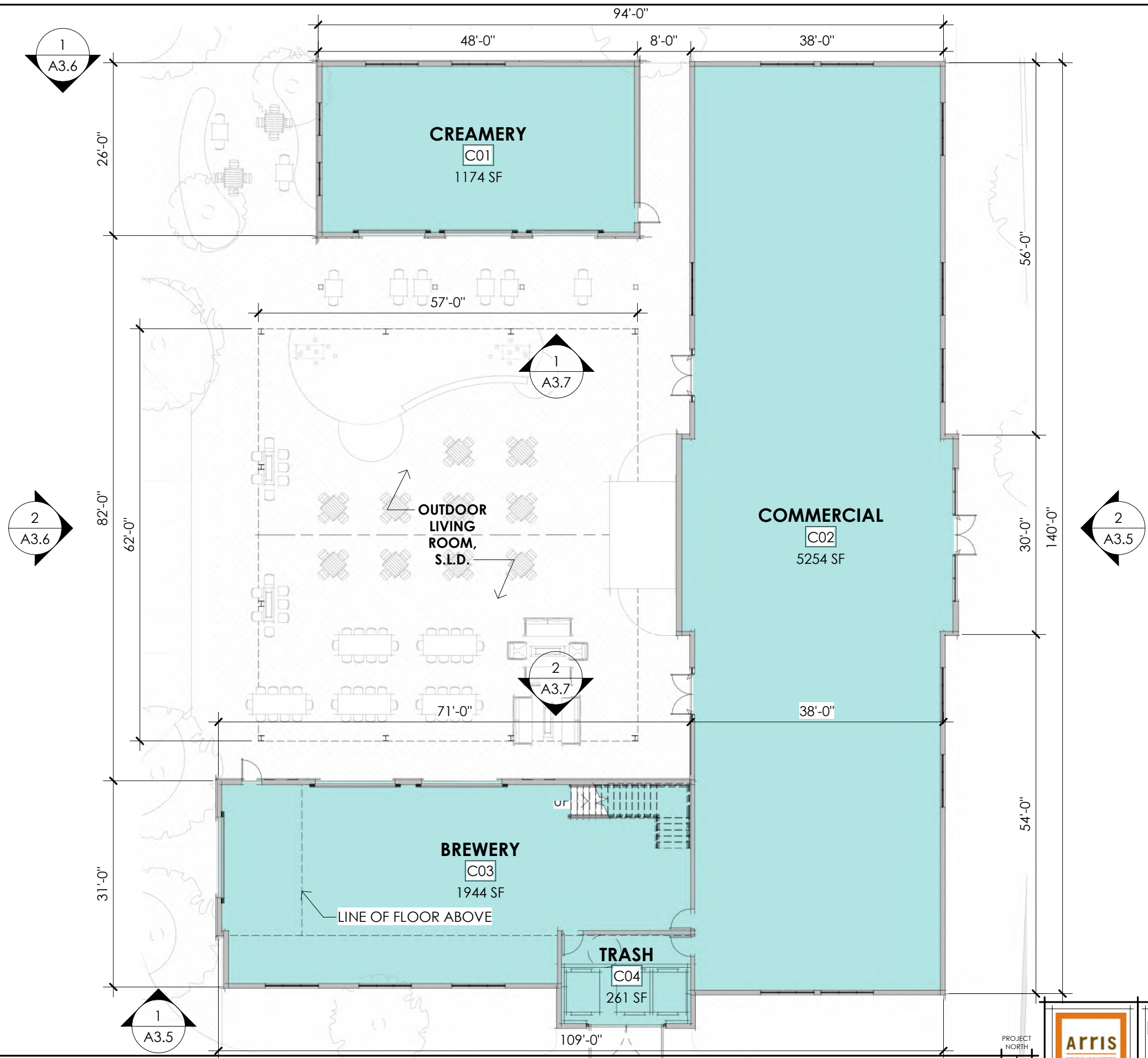


**CONCEPTUAL SITE LIGHTING PLAN**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 CONCEPTUAL SITE LIGHTING PLAN

Date	FEBRUARY 20, 2024
Project #	A22025
Scale	11x17: 1" = 60' 24x36: 1" = 30'
Sheet #	<b>A2.2</b>

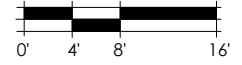


**BUILDING TYPE 1 - FIRST FLOOR PLAN**

PROJECT NORTH



**Dove Creek Mixed-Use**  
ATASCADERO, CA  
BUILDING TYPE 1 - FIRST FLOOR PLAN



Date	DECEMBER 20, 2023
Project #	A23025
Scale	11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
Sheet	<b>A3.1</b>



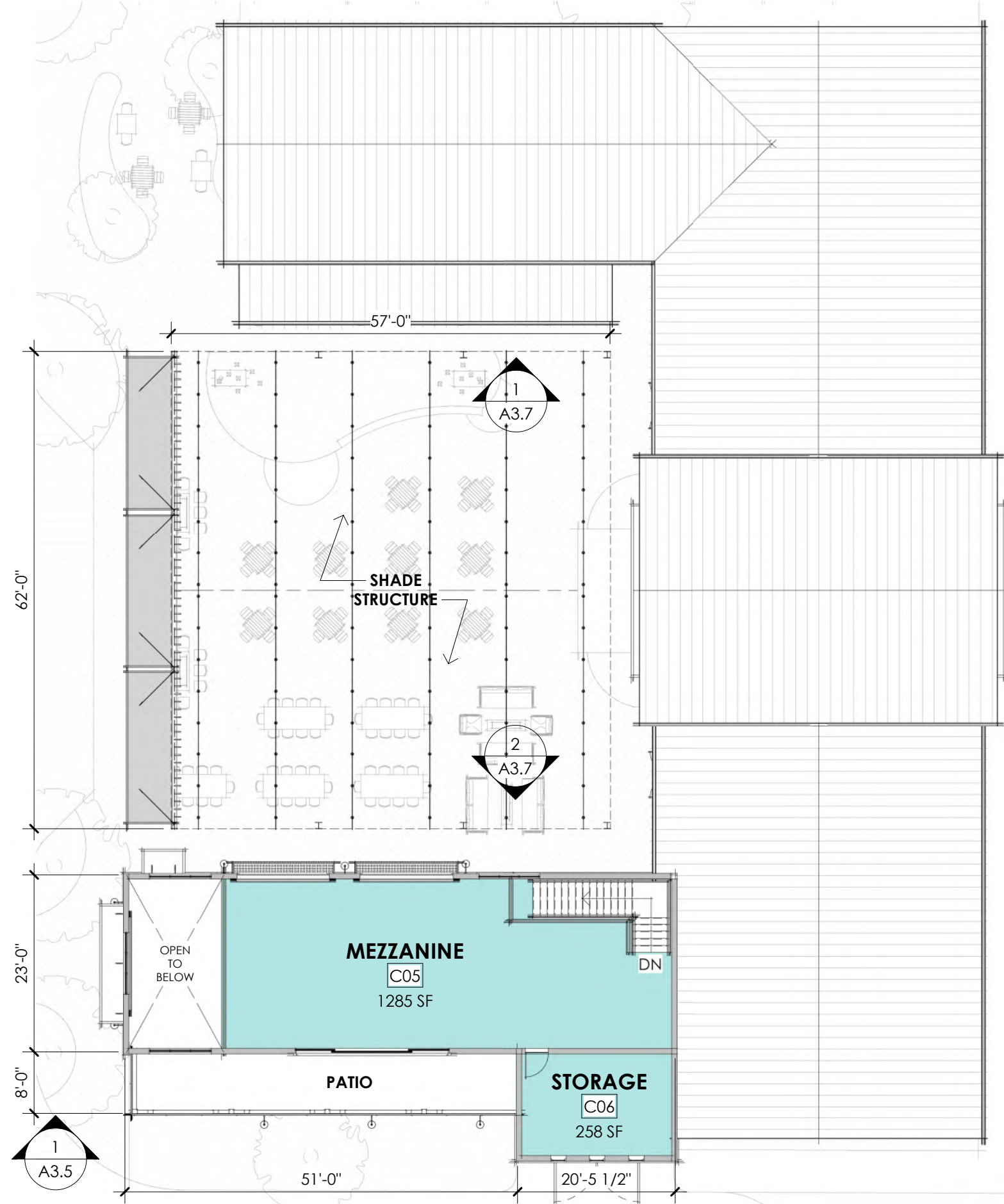
1  
A3.6

2  
A3.6

1  
A3.7

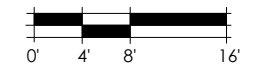
2  
A3.7

2  
A3.5



1  
A3.5

**BUILDING TYPE 1 - SECOND FLOOR PLAN**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 BUILDING TYPE 1 - SECOND FLOOR PLAN

Date: DECEMBER 20, 2023  
 Project #: A23025  
 Scale: 11x17: 1/16" = 1'-0"  
 24x36: 1/8" = 1'-0"  
 Sheet: **A3.2**

LOWER ROOF BELOW

OUTLINE OF FLOOR BELOW

STANDING SEAM METAL ROOFING

STANDING SEAM METAL ROOFING

PREFABRICATED METAL AWNINGS BELOW

LOWER ROOF BELOW

2" / 12"

4" / 12"

4" / 12"

4" / 12"

4" / 12"

2'-0"  
TYP.

4" / 12"

4" / 12"

4" / 12"

4" / 12"

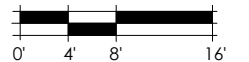
4" / 12"

4" / 12"

4" / 12"

4" / 12"

2" / 12"



PROJECT NORTH



**Dove Creek Mixed-Use**

ATASCADERO, CA

BUILDING TYPE 1 - ROOF PLAN

Date: DECEMBER 20, 2023

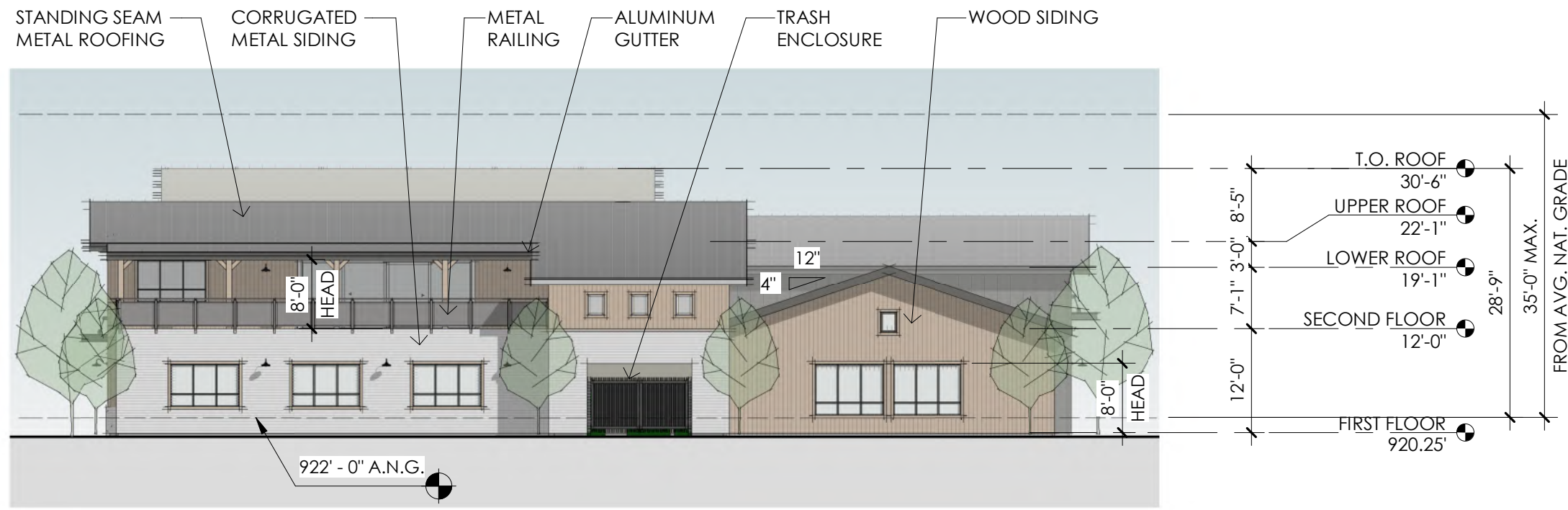
Project #: A23025

Scale: 1/16" = 1'-0"

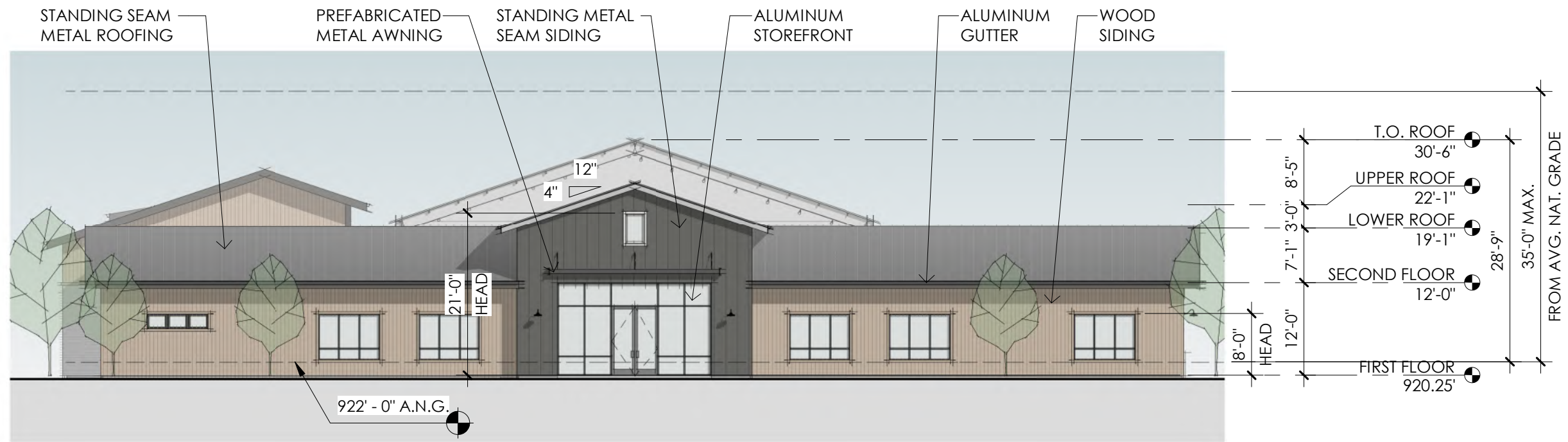
1/8" = 1'-0"

Sheet

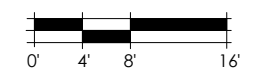
**A3.3**



**BUILDING TYPE 1 - SOUTH ELEVATION (FACING SANTA BARBARA ROAD)**

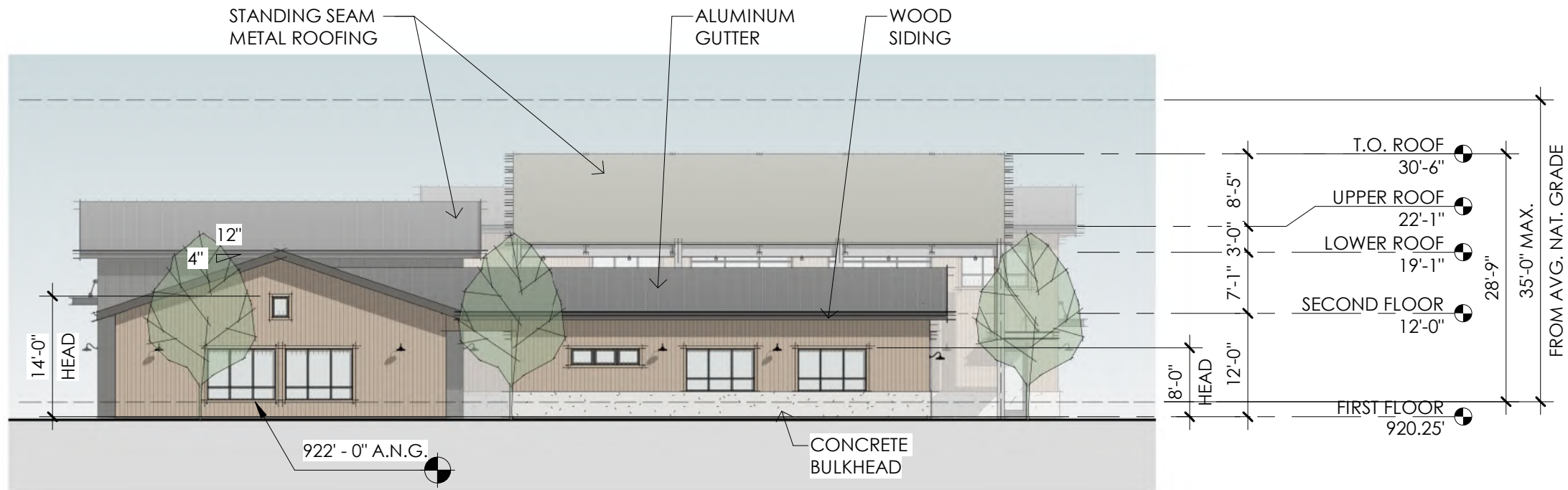


**BUILDING TYPE 1 - EAST ELEVATION (FACING EL CAMINO REAL)**

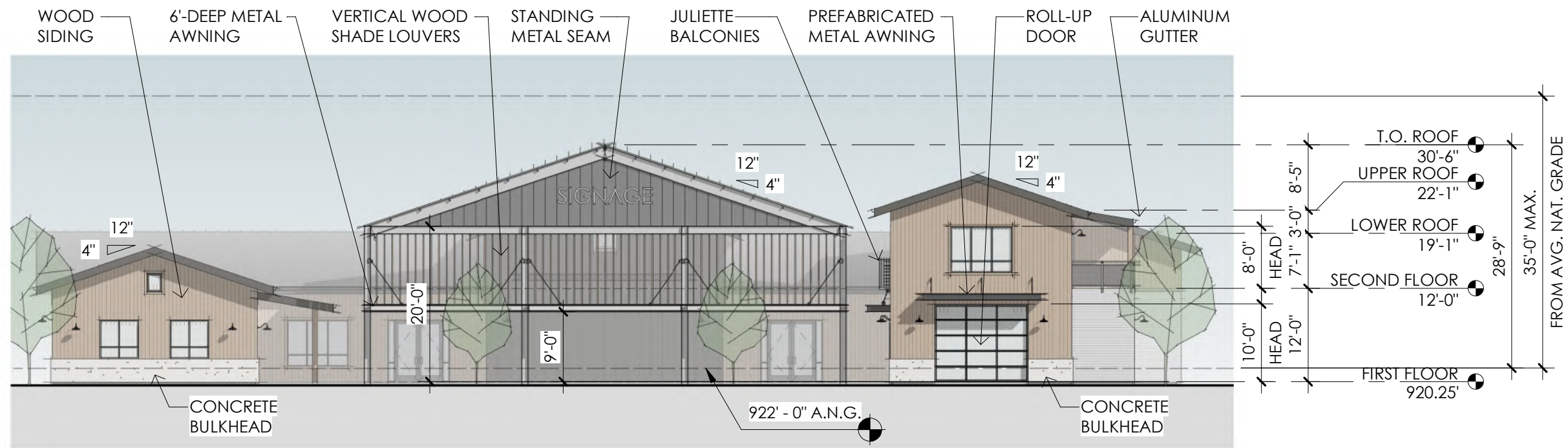


	<b>Dove Creek Mixed-Use</b>	Date: DECEMBER 20, 2023
	ATASCADERO, CA	Project #: A23025
	BUILDING TYPE 1 - ELEVATIONS	Scale: 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
	<b>A3.5</b>	Sheet

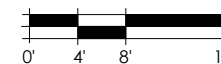




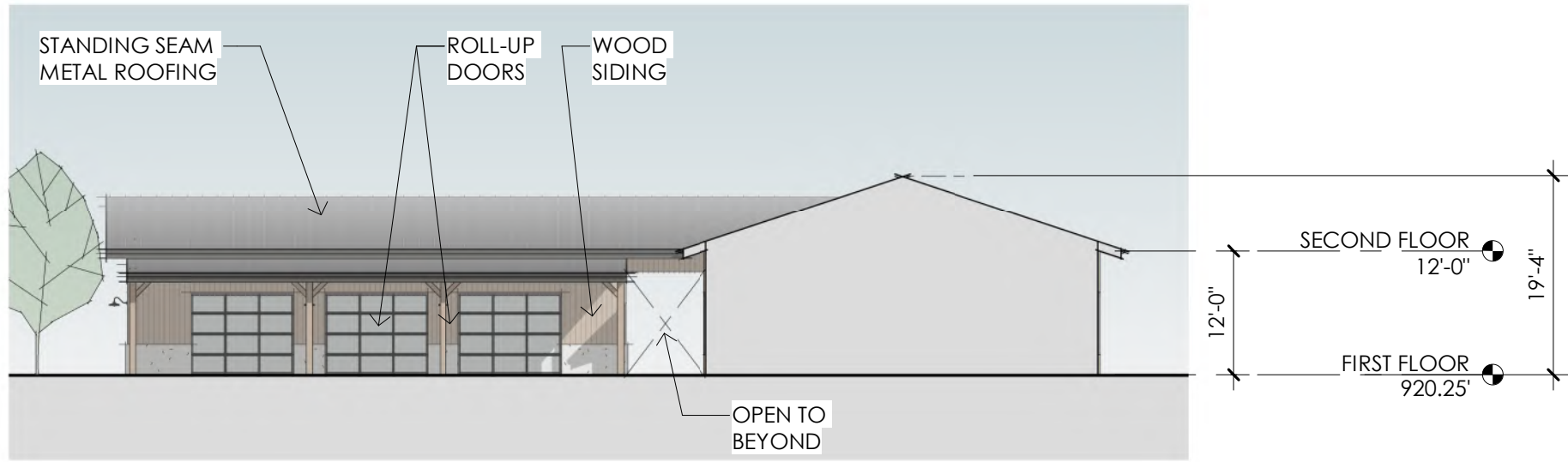
**BUILDING TYPE 1 - NORTH ELEVATION (FACING CASHIN STREET)**



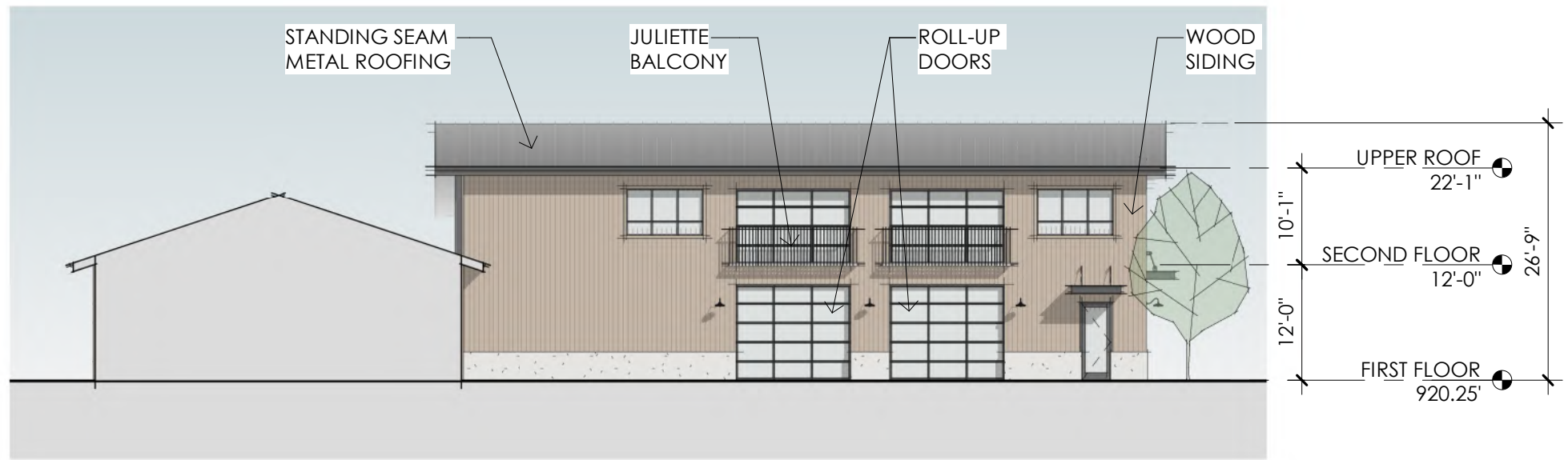
**BUILDING TYPE 1 - WEST ELEVATION (FACING BUILDING #2)**



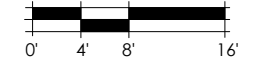
	<b>Dove Creek Mixed-Use</b>		Date DECEMBER 20, 2023
	ATASCADERO, CA		Project # A23025
	BUILDING TYPE 1 - ELEVATIONS		Scale 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
	A3.6		Sheet



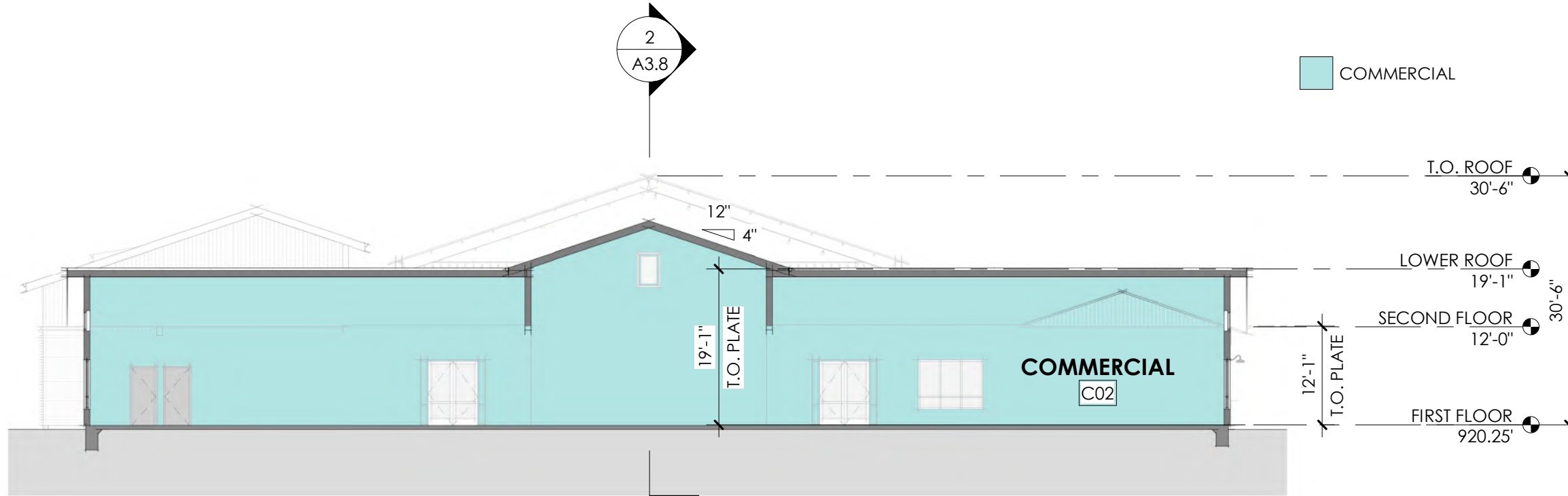
**BUILDING TYPE 1 - COURTYARD ELEVATION (FACING CREAMERY)**



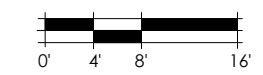
**BUILDING TYPE 1 - COURTYARD ELEVATION (FACING BREWERY)**



	<b>Dove Creek Mixed-Use</b>		Date: DECEMBER 20, 2023
	ATASCADERO, CA		Project #: A23025
	BUILDING TYPE 1 - ELEVATIONS		Scale: 11x17: 1/16" = 1'-0"
			24x36: 1/8" = 1'-0"
			Sheet: <b>A3.7</b>



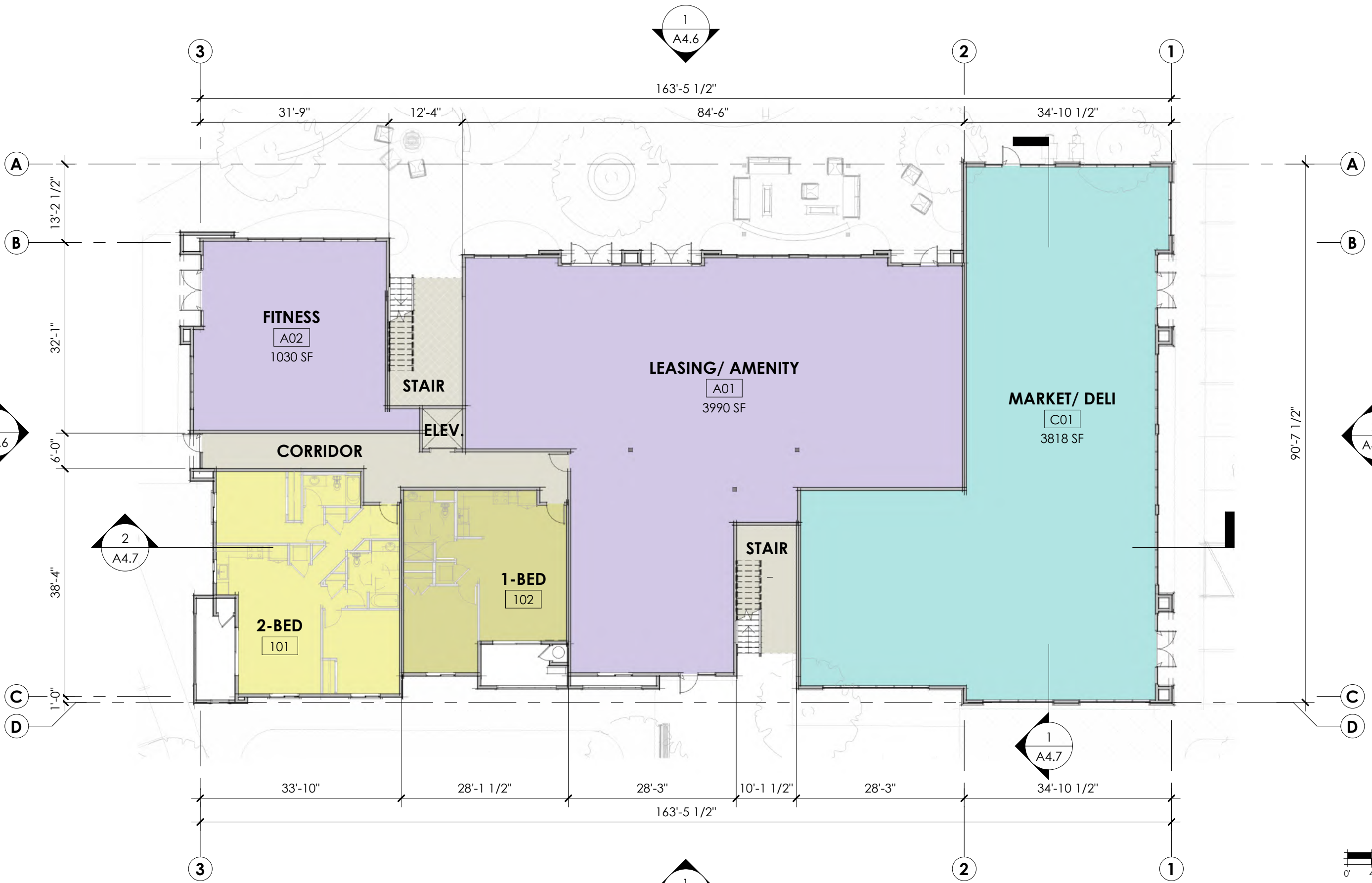
**BUILDING TYPE 1 - LONGITUDINAL SECTION THROUGH COMMERCIAL**



**BUILDING TYPE 1 - SECTION THROUGH BREWERY**

	<b>Dove Creek Mixed-Use</b>	Date DECEMBER 20, 2023
	ATASCADERO, CA	Project # A23025
	BUILDING TYPE 1 - SECTIONS	Scale 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
	A3.8	Sheet

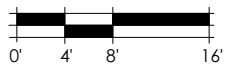




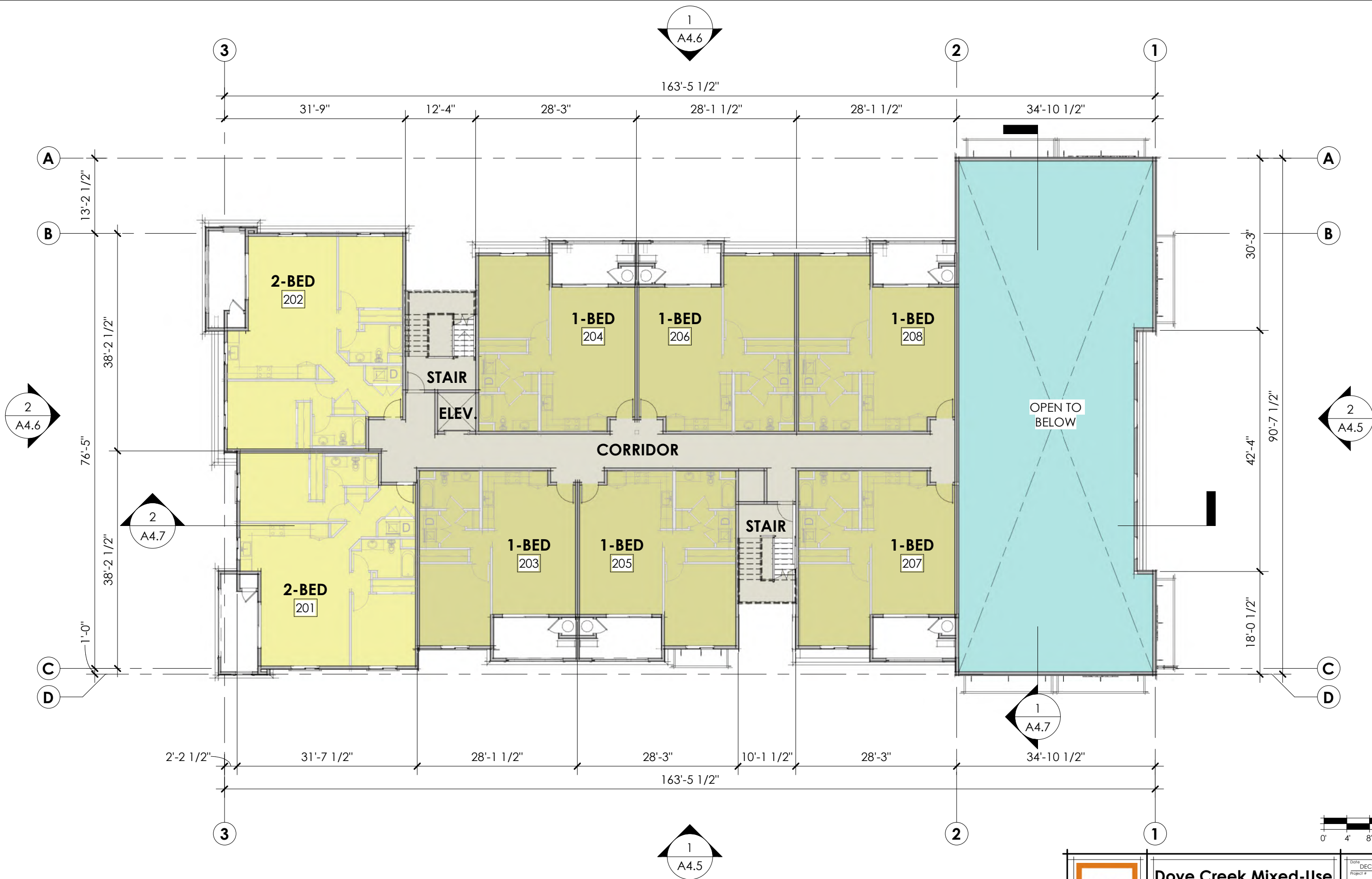
**BUILDING TYPE 2 - FIRST FLOOR PLAN**



**Dove Creek Mixed-Use**  
ATASCADERO, CA  
BUILDING TYPE 2 - FIRST FLOOR PLAN



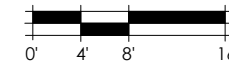
Date	DECEMBER 20, 2023
Project #	A22025
Scale	11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
Sheet	<b>A4.1</b>



**BUILDING TYPE 2 - SECOND FLOOR PLAN**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 BUILDING TYPE 2 - SECOND FLOOR PLAN



Date	DECEMBER 20, 2023
Project #	A22025
Scale	11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
Sheet	<b>A4.2</b>

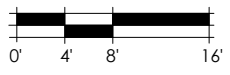




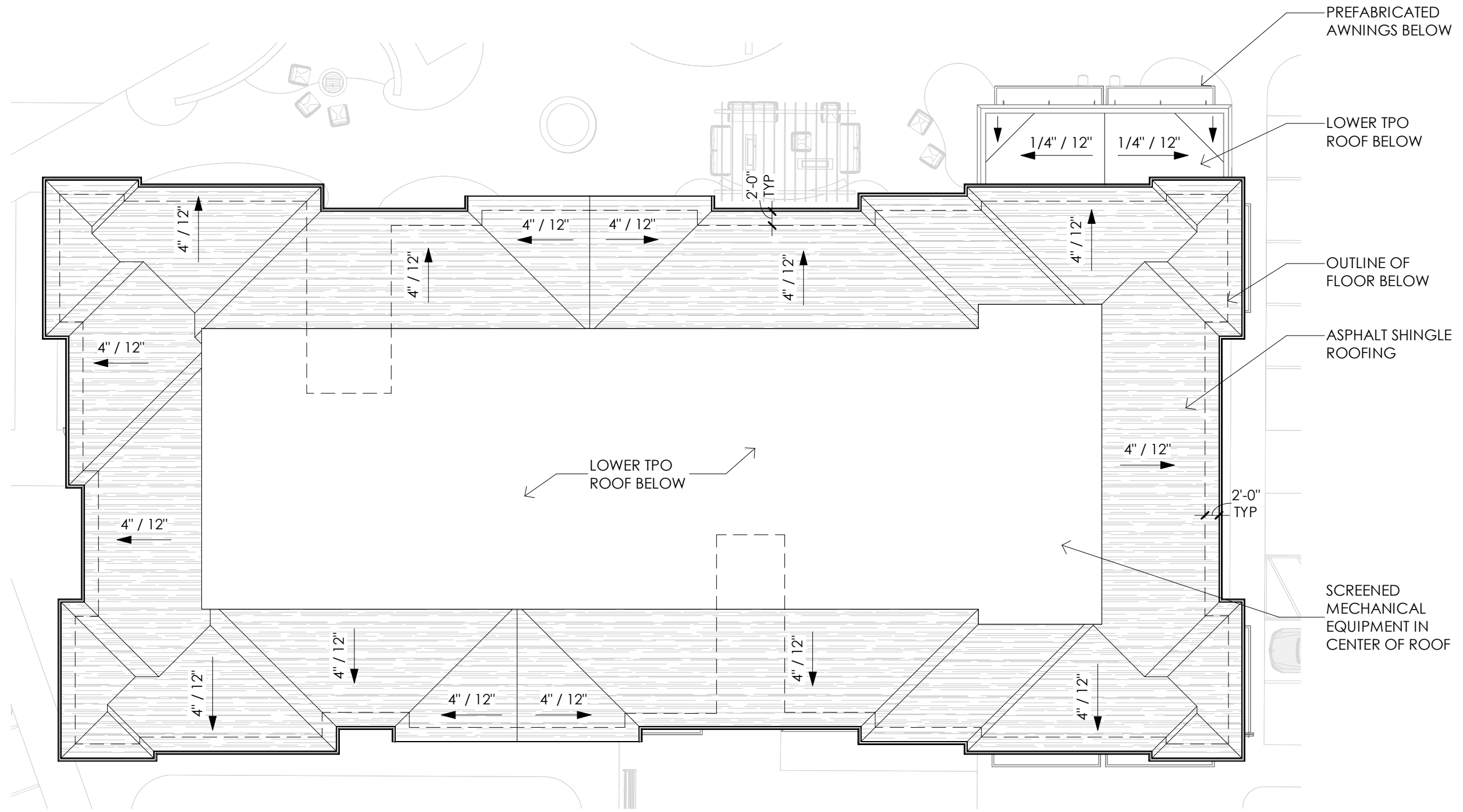
**BUILDING TYPE 2 - THIRD FLOOR PLAN**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 BUILDING TYPE 2 - THIRD FLOOR PLAN



Date	DECEMBER 20, 2023
Project #	A22025
Scale	11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
Sheet	<b>A4.3</b>

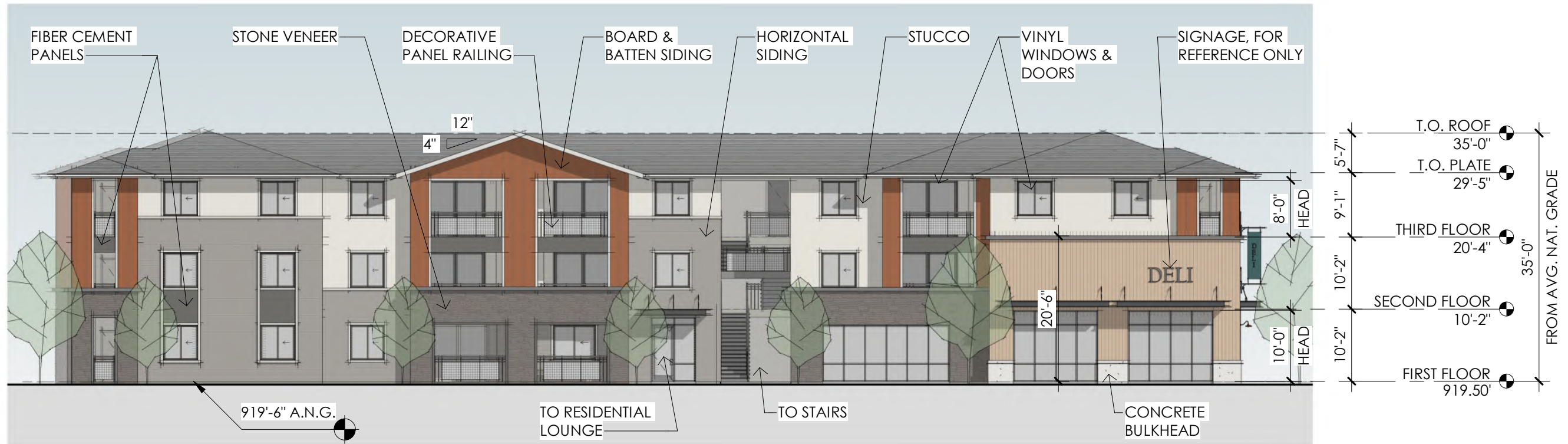


**BUILDING TYPE 2 - ROOF PLAN**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 BUILDING TYPE 2 - ROOF PLAN

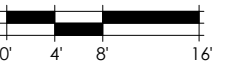
Date: DECEMBER 20, 2023  
 Project #: A22025  
 Scale: 11x17: 1/16" = 1'-0"  
 24x36: 1/8" = 1'-0"  
 Sheet: **A4.4**



**BUILDING TYPE 2 - SOUTH ELEVATION (FACING SANTA BARBARA ROAD)**

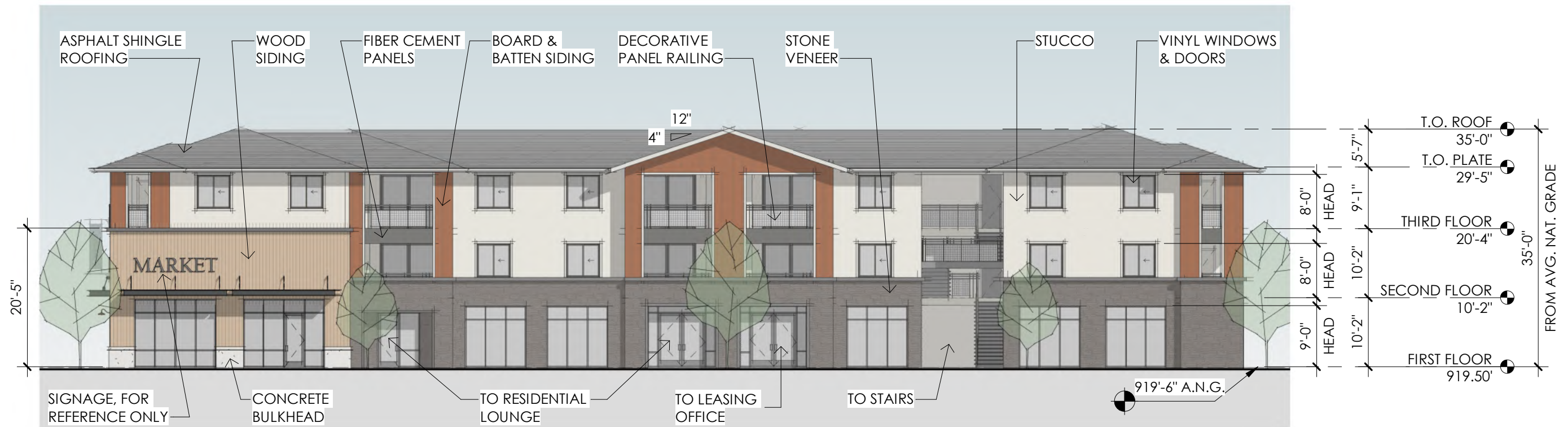


**BUILDING TYPE 2 - EAST ELEVATION (FACING EL CAMINO REAL & BUILDING 1)**

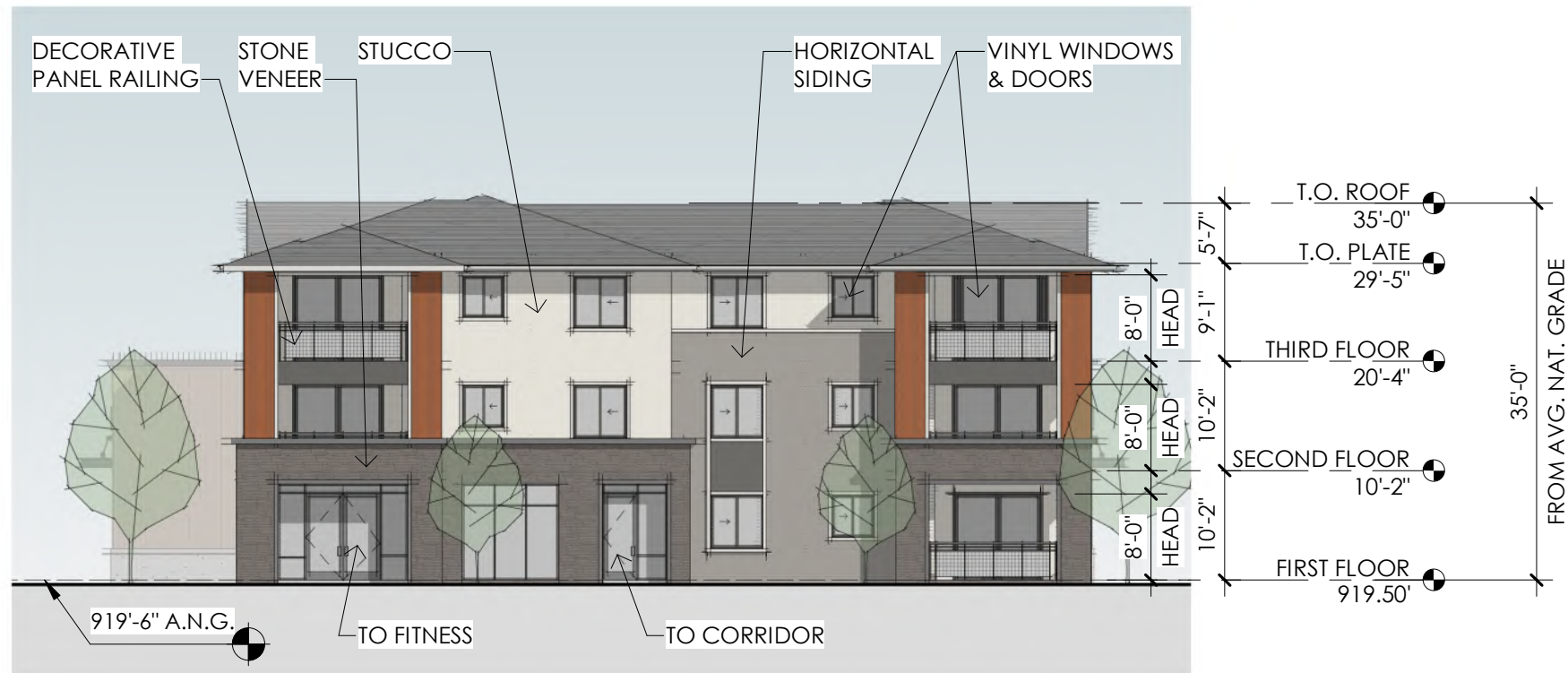


	<b>Dove Creek Mixed-Use</b> ATASCADERO, CA BUILDING TYPE 2 - ELEVATIONS	Date: DECEMBER 20, 2023 Project #: A22025 Scale: 11x17: 1/16"=1'-0" 24x36: 1/8"=1'-0" Sheet: <b>A4.5</b>
--	---	--

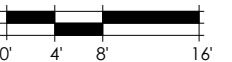




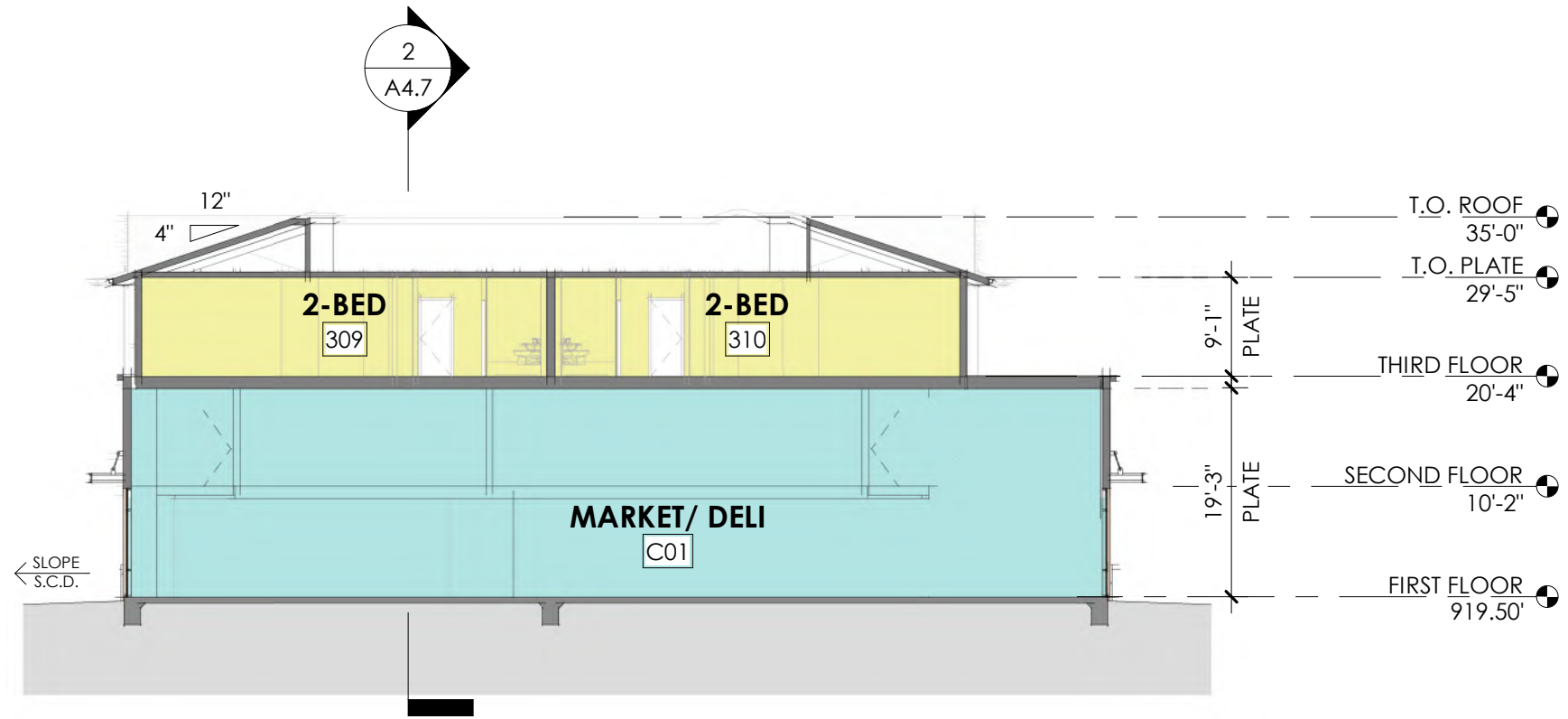
**BUILDING TYPE 2 - NORTH ELEVATION (FACING CASHIN STREET)**



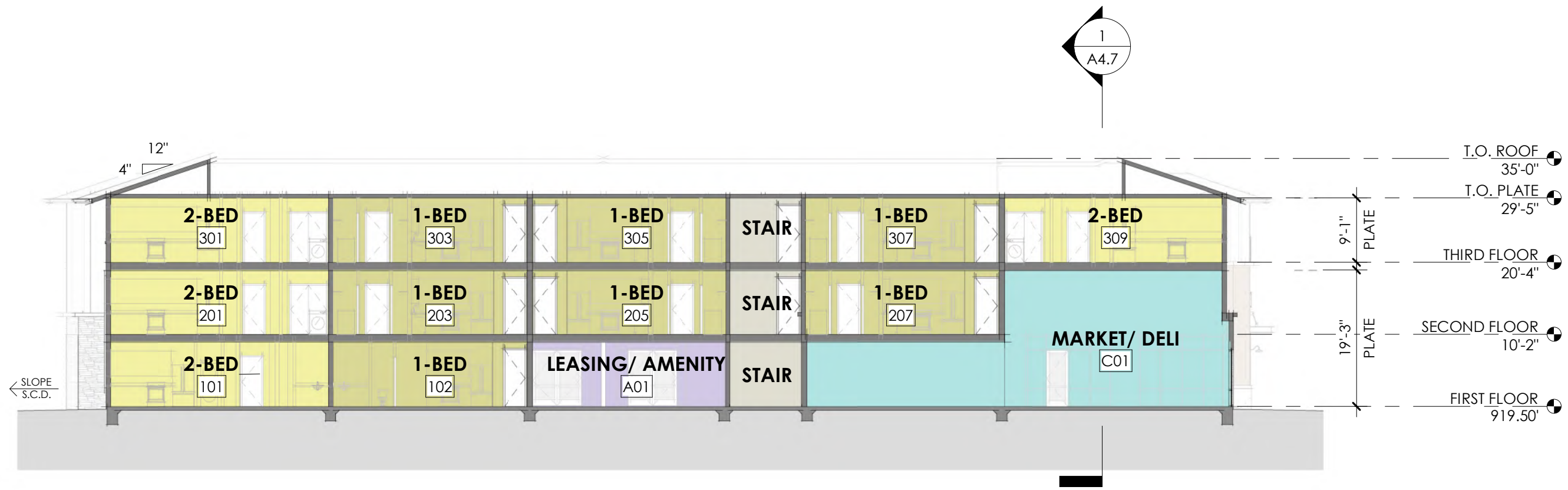
**BUILDING TYPE 2 - WEST ELEVATION (FACING BLISS STREET)**



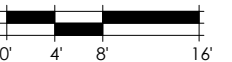
	<b>Dove Creek Mixed-Use</b>		Date: DECEMBER 20, 2023
	ATASCADERO, CA		Project #: A22025
	BUILDING TYPE 2 - ELEVATIONS		Scale: 11x17: 1/16"=1'-0" 24x36: 1/8"=1'-0"
	A4.6		Sheet



**BUILDING TYPE 2 - CROSS SECTION**

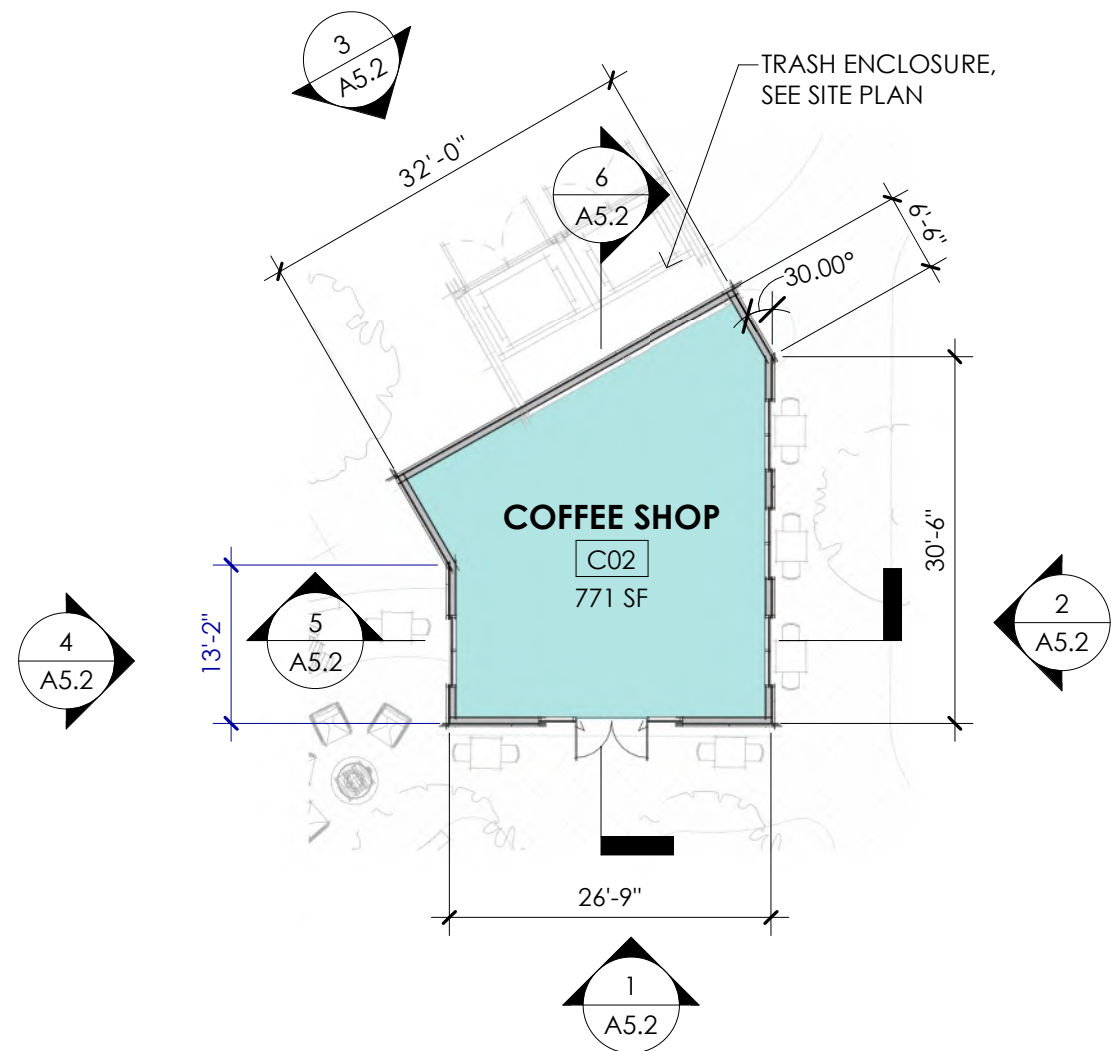


**BUILDING TYPE 2 - LONGITUDINAL SECTION**



**Dove Creek Mixed-Use**  
ATASCADERO, CA  
BUILDING TYPE 2 - SECTIONS

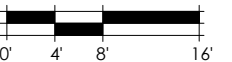
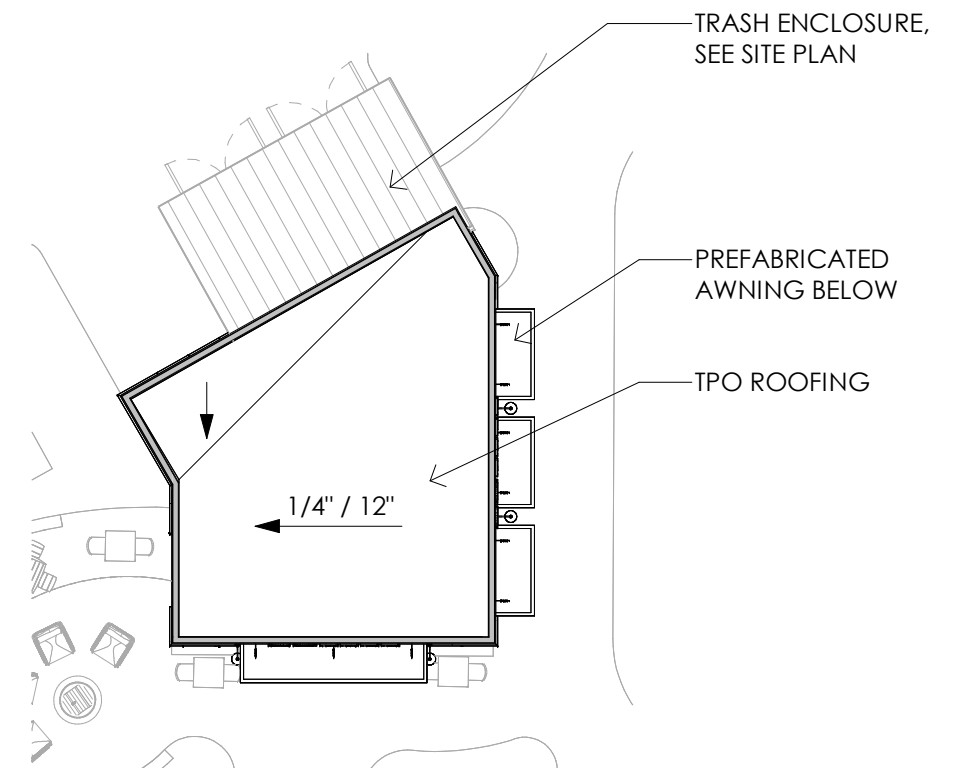
Date: DECEMBER 20, 2023  
Project #: A22025  
Scale: 11x17: 1/16"=1'-0"  
24x36: 1/8"=1'-0"  
Sheet: **A4.7**



**BUILDING TYPE 3 - FIRST FLOOR PLAN**



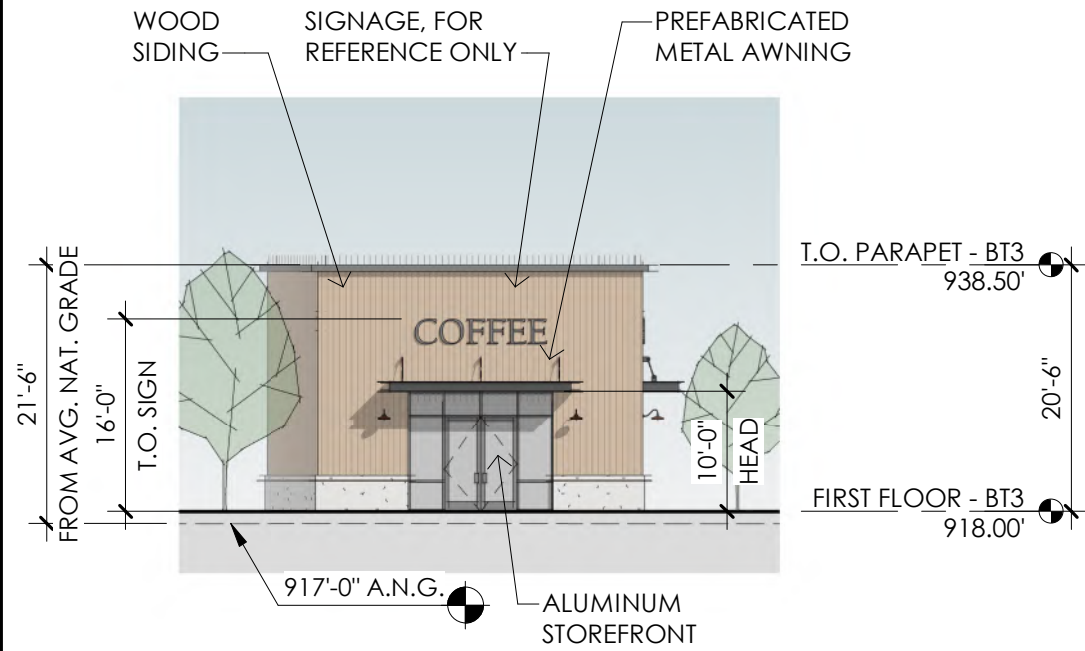
**BUILDING TYPE 3 - ROOF PLAN**



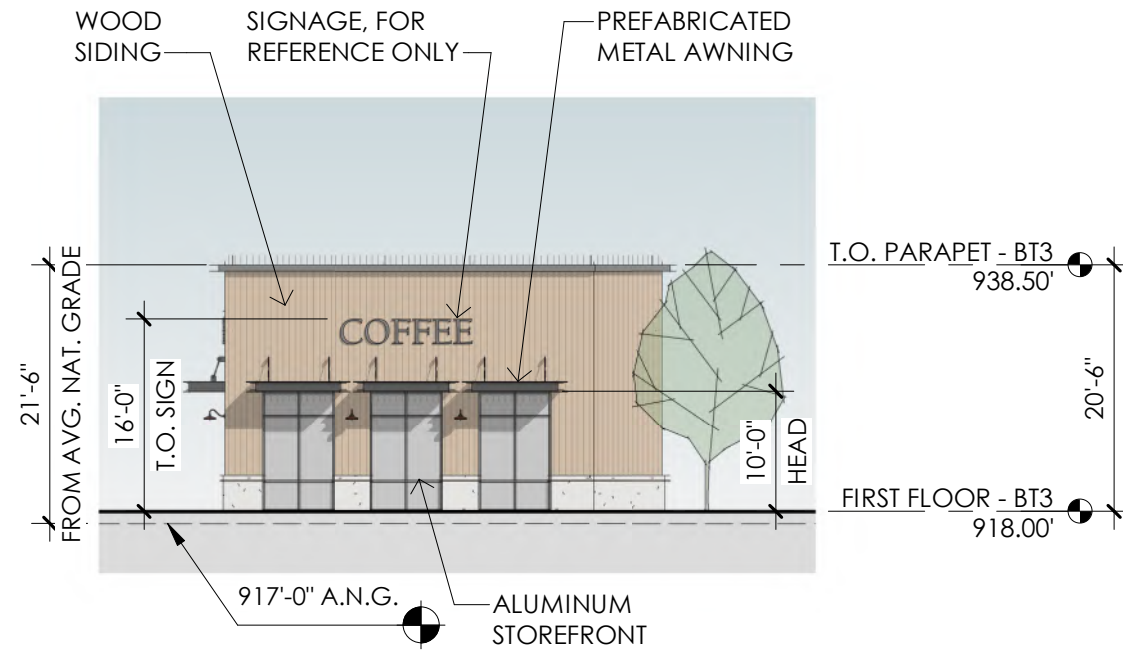
**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
**BUILDING TYPE 3 - FIRST FLOOR PLAN**

Date: DECEMBER 20, 2023  
 Project #: A22025  
 Scale: 11x17: 1/16" = 1'-0"  
 24x36: 1/8" = 1'-0"  
 Sheet: **A5.1**

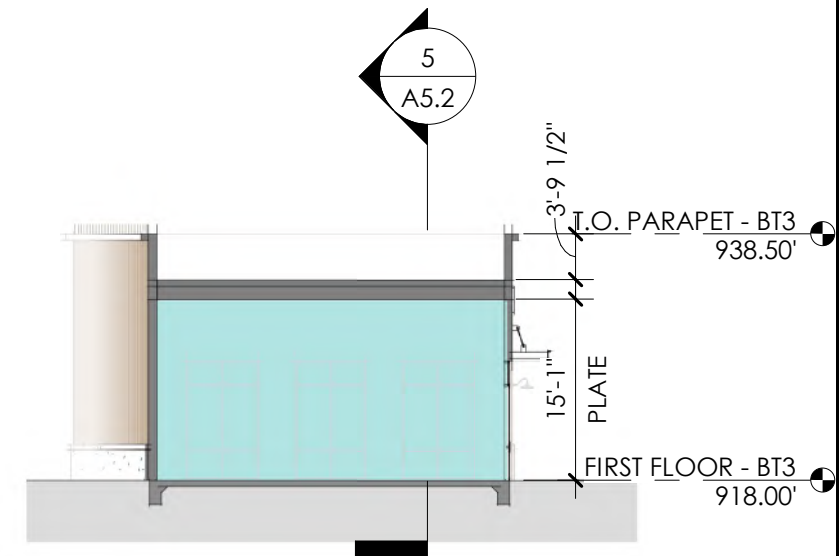




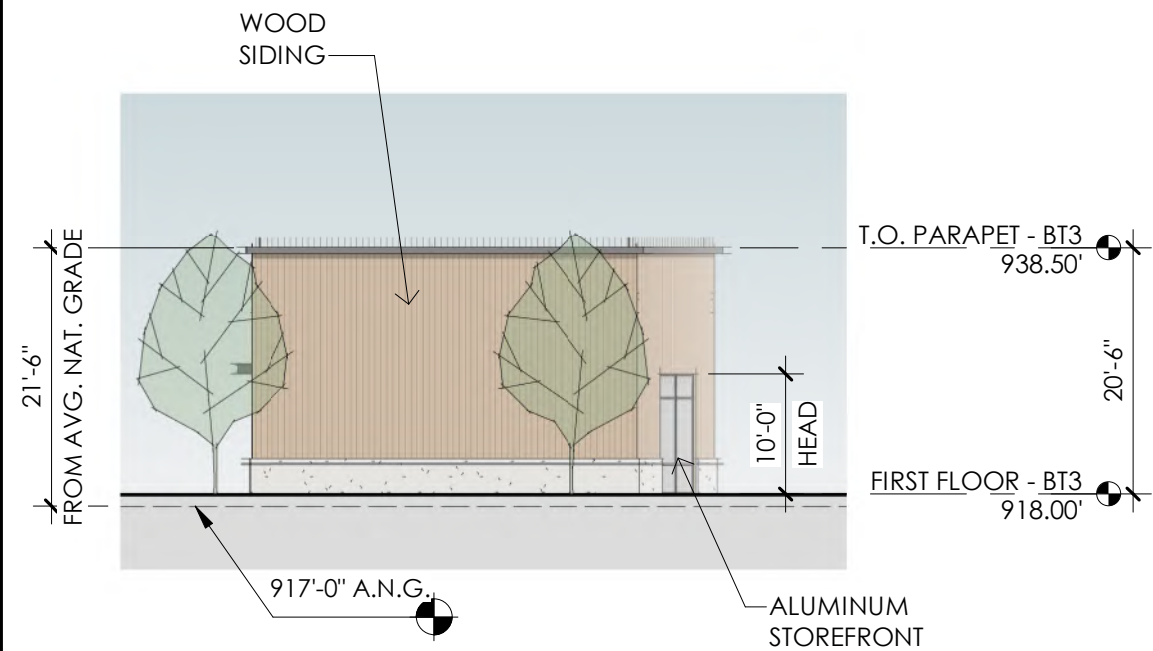
**BUILDING TYPE 3 - SOUTH ELEVATION (FACING BUILDING 2)**



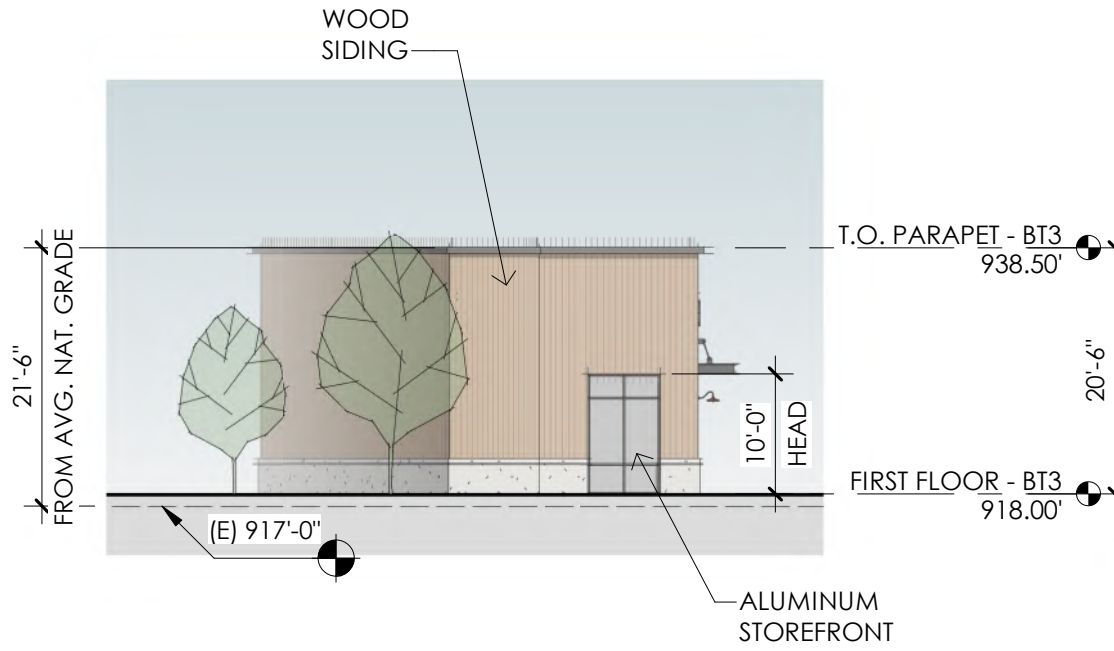
**BUILDING TYPE 3 - EAST ELEVATION (FACING BUILDING 1)**



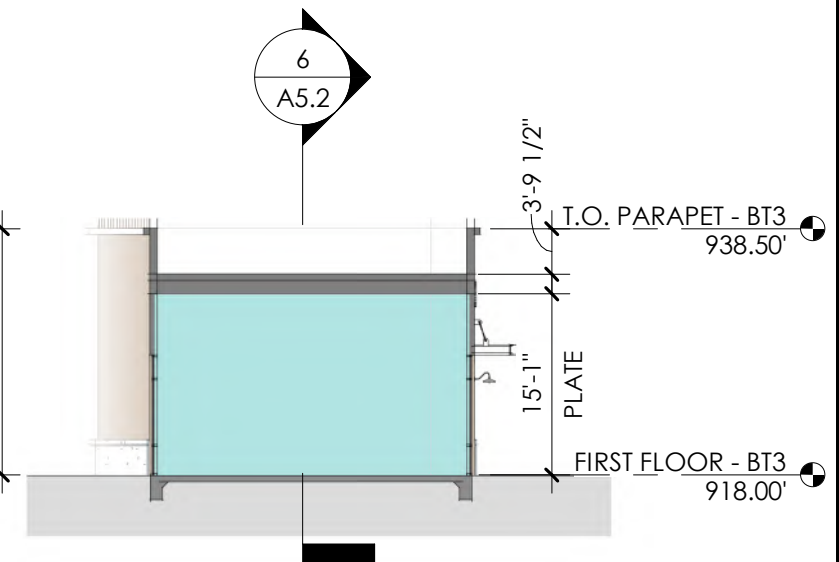
**BUILDING TYPE 3 - SECTION 1**



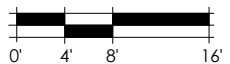
**BUILDING TYPE 3 - NORTH ELEVATION (FACING CASHIN STREET)**



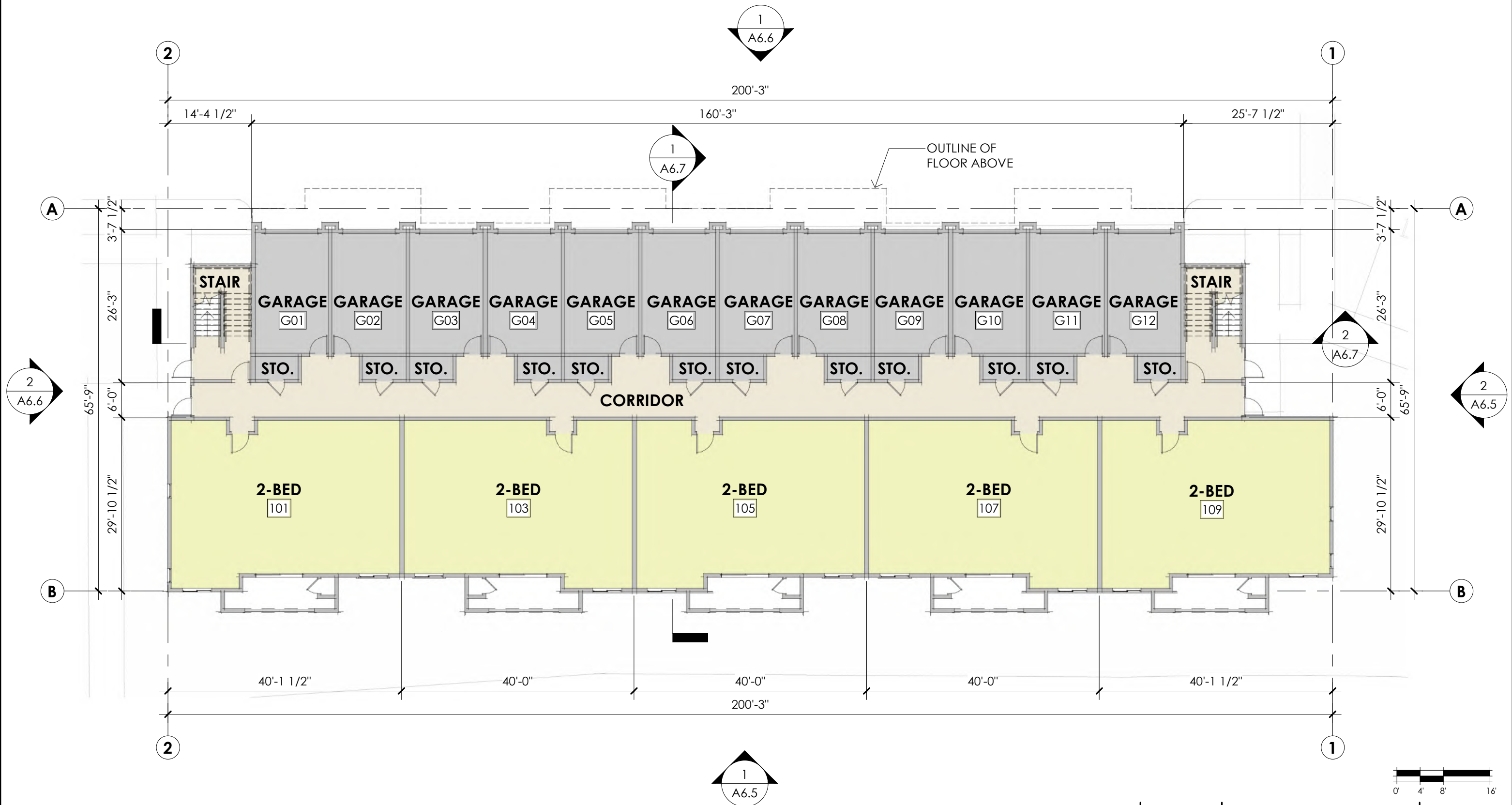
**BUILDING TYPE 3 - WEST ELEVATION (FACING BLISS STREET)**



**BUILDING TYPE 3 - SECTION 2**



	<b>Dove Creek Mixed-Use</b> ATASCADERO, CA	Date: DECEMBER 20, 2023 Project #: A22025 Scale: 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0" Sheet:
	<b>BUILDING TYPE 3 - ELEVATIONS &amp; SECTIONS</b>	<b>A5.2</b>



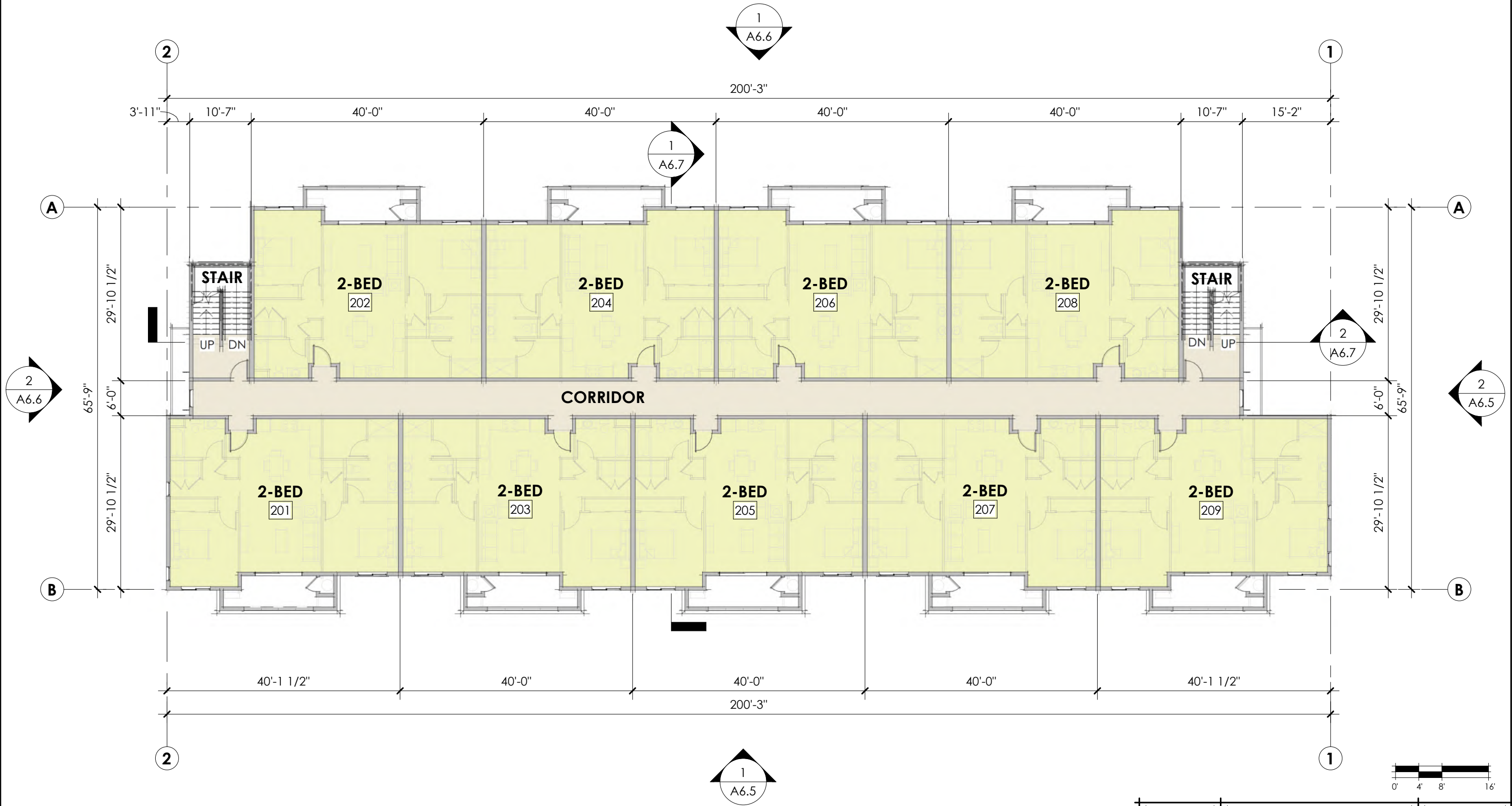
**BUILDING TYPE 4 - FIRST FLOOR PLAN**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
**BUILDING TYPE 4 - FIRST FLOOR PLAN**

Date	DECEMBER 20, 2023
Project #	A22025
Scale	11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
Sheet	<b>A6.1</b>



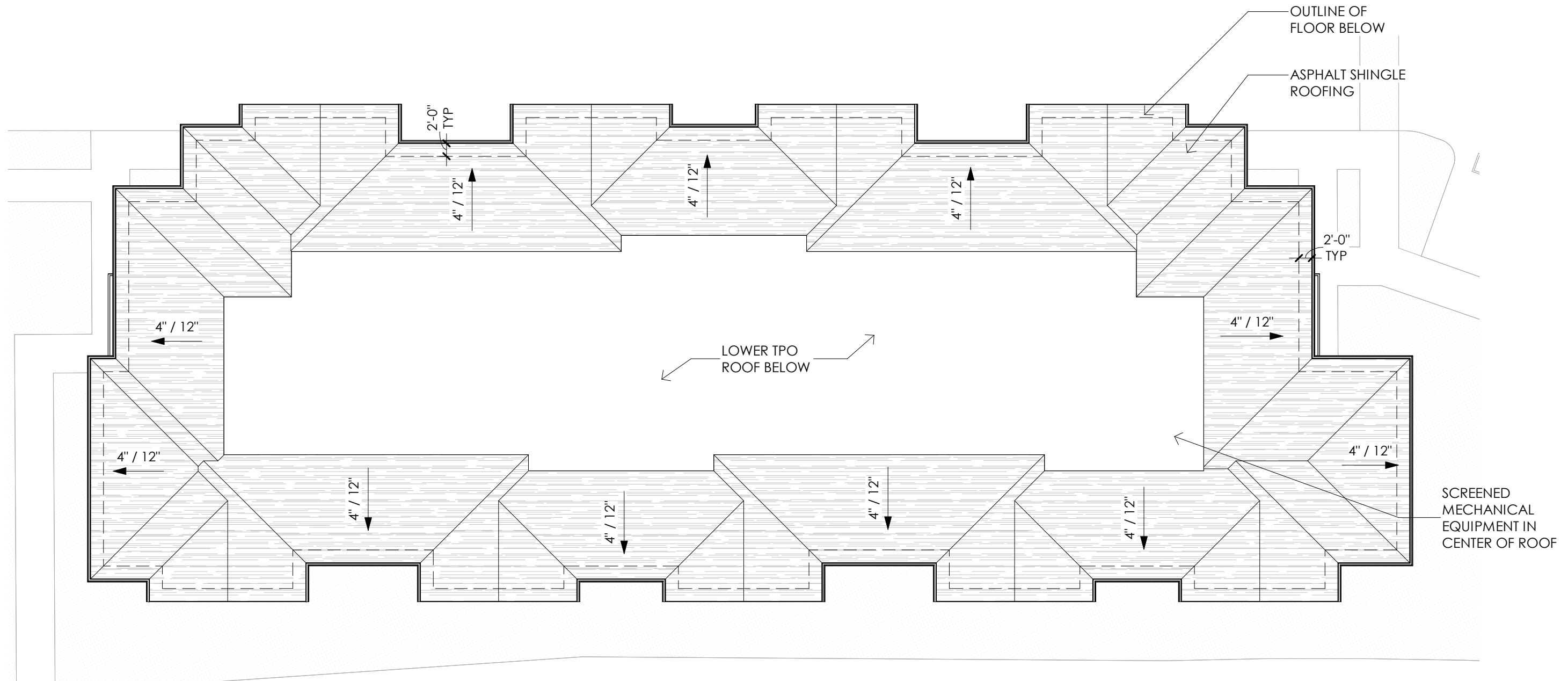


**BUILDING TYPE 4 - SECOND FLOOR PLAN (THIRD FLOOR SIMILAR)**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
**BUILDING TYPE 4 - SECOND FLOOR PLAN**  
 (THIRD FLOOR SIM.)

Date	DECEMBER 20, 2023
Project #	A22025
Scale	11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
Sheet	<b>A6.2</b>



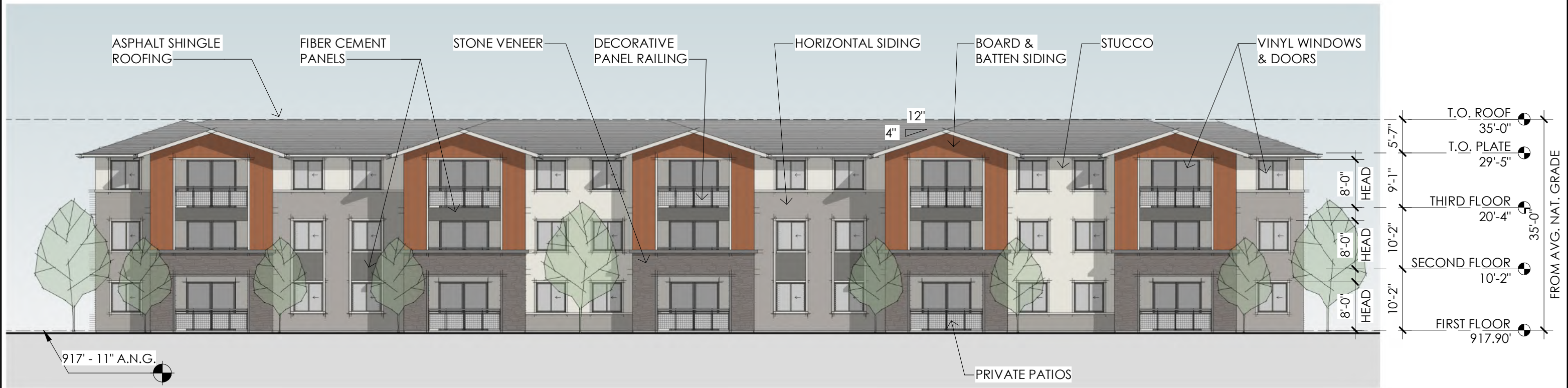
**BUILDING TYPE 4 - ROOF PLAN**



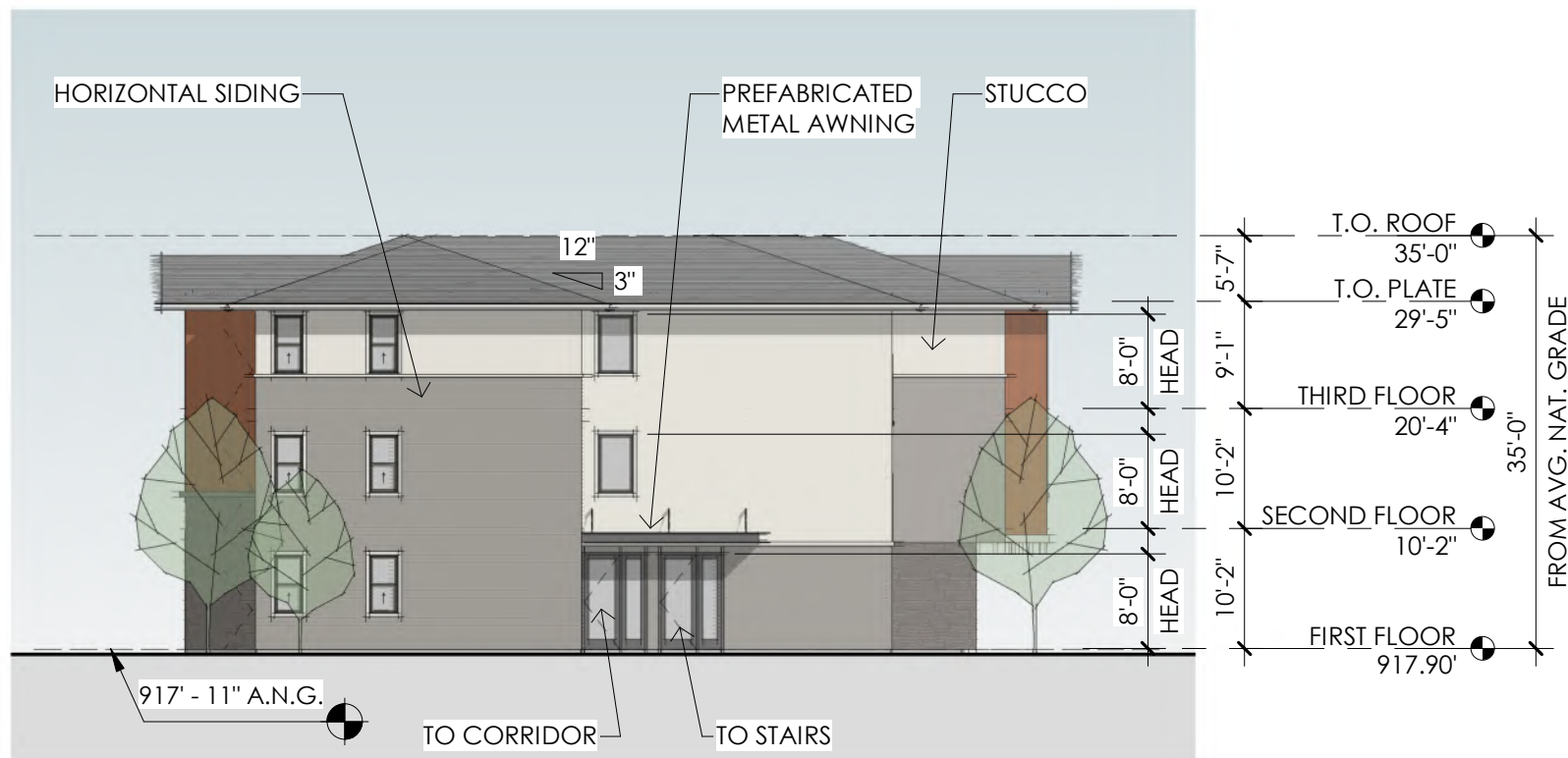
**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
**BUILDING TYPE 4 - ROOF PLAN**

Date: DECEMBER 20, 2023  
 Project #: A22025  
 Scale: 11x17: 1/16" = 1'-0"  
 24x36: 1/8" = 1'-0"  
**A6.3**

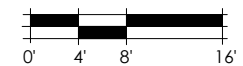




**BUILDING TYPE 4 - SOUTH ELEVATION (FACING SANTA BARBARA ROAD)**

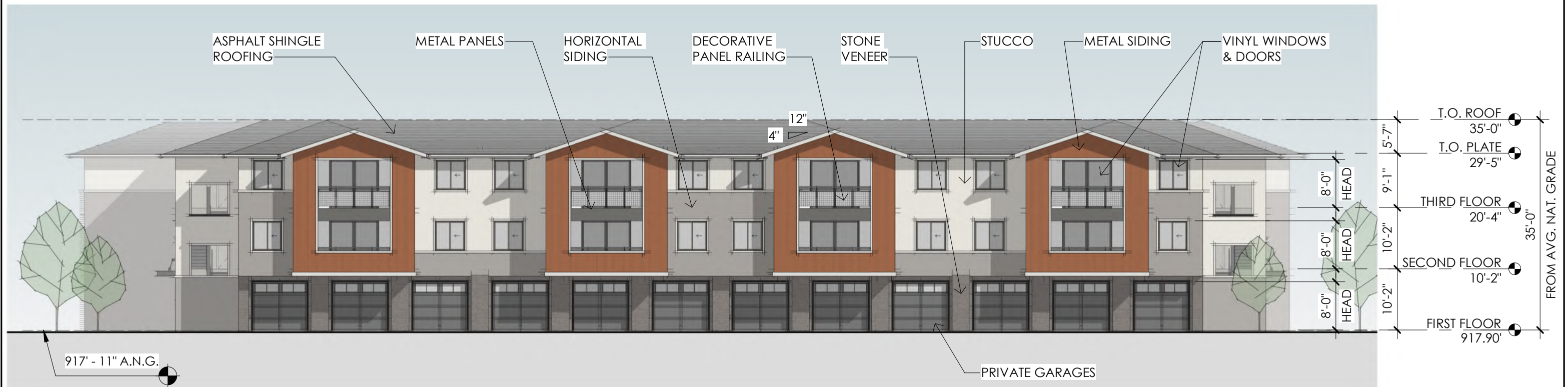


**BUILDING TYPE 4 - EAST ELEVATION (FACING EL CAMINO REAL)**

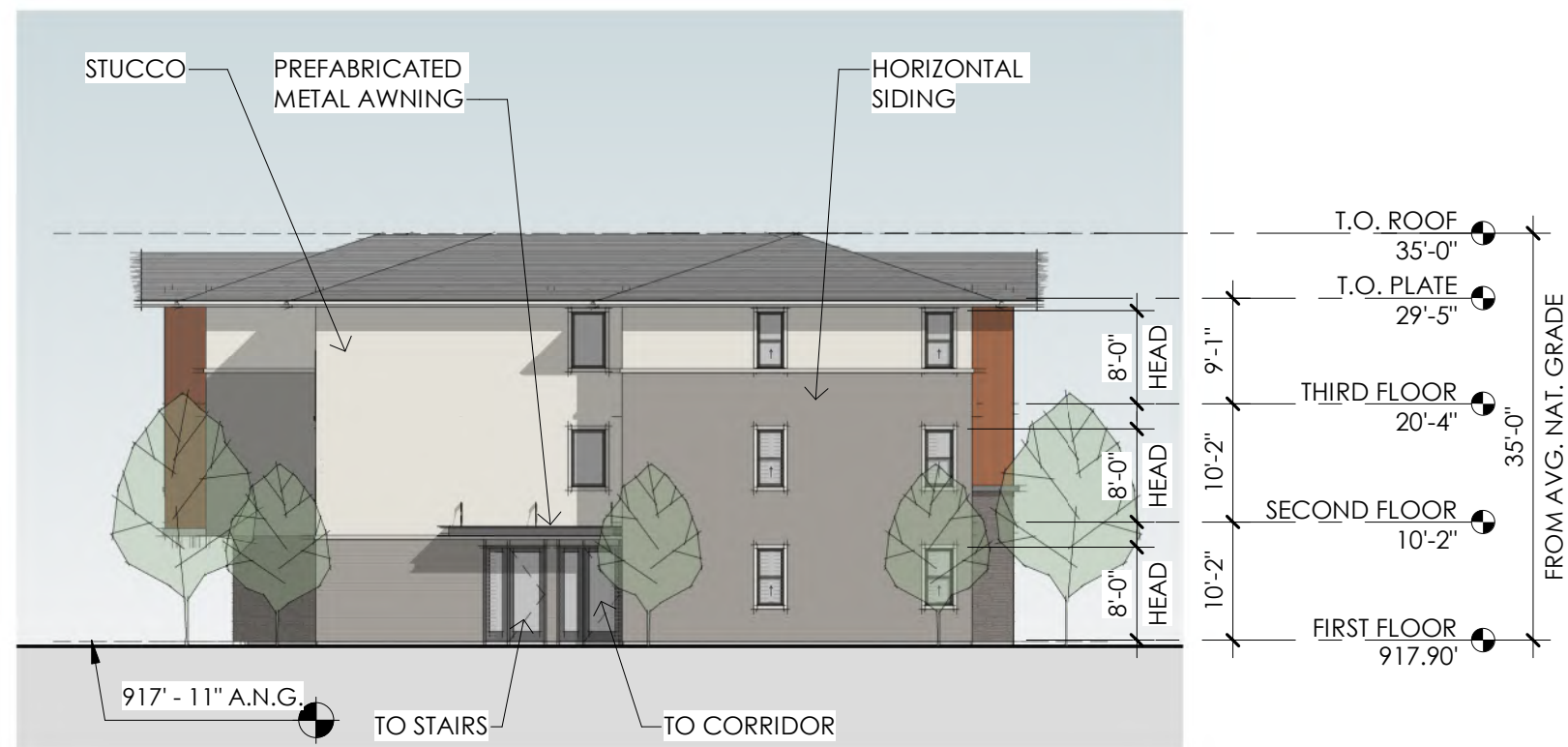


	<b>Dove Creek Mixed-Use</b>		Date: DECEMBER 20, 2023
	ATASCADERO, CA		Project #: A22025
	BUILDING TYPE 4 - ELEVATIONS		Scale: 11x17: 1/16" = 1'-0"
			24x36: 1/8" = 1'-0"
			Sheet: <b>A6.5</b>

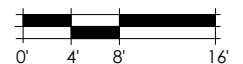




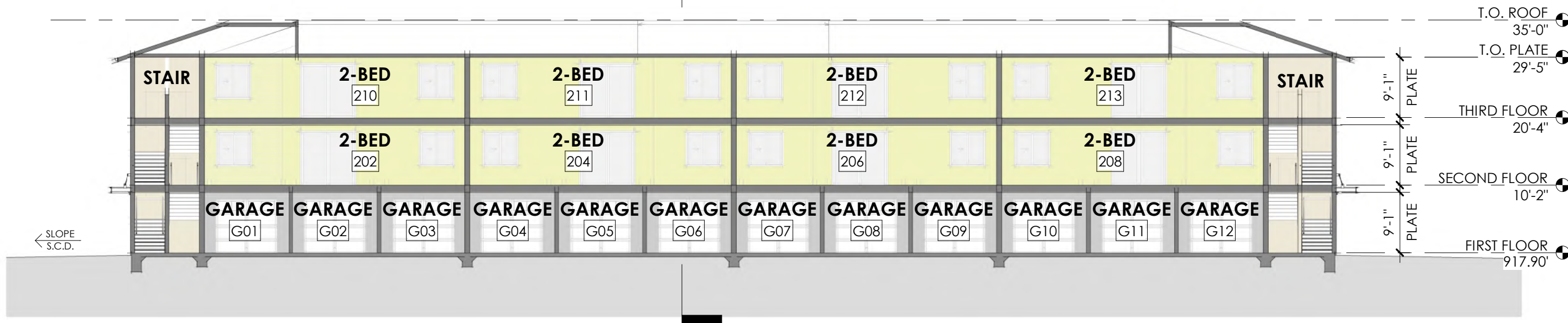
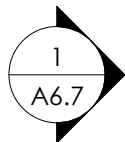
**BUILDING TYPE 4 - NORTH ELEVATION (FACING BUILDING 2)**



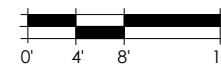
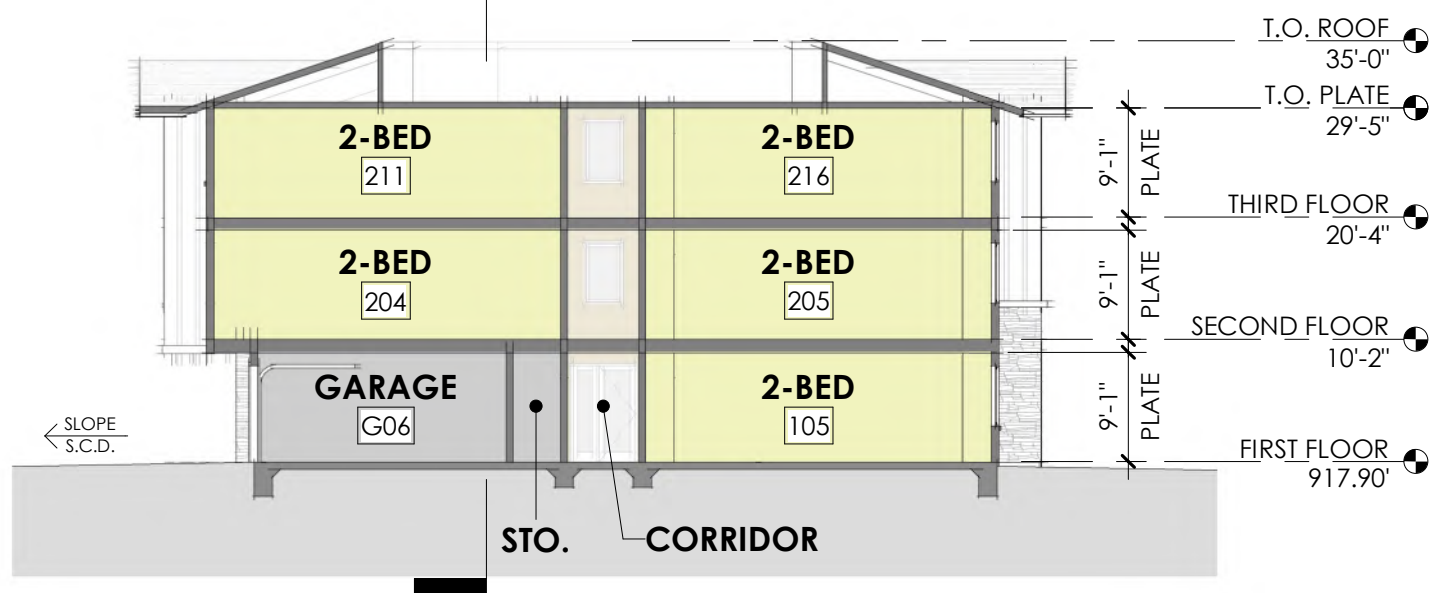
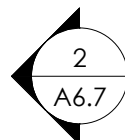
**BUILDING TYPE 4 - WEST ELEVATION (FACING BLISS STREET)**



	<b>Dove Creek Mixed-Use</b>	Date: DECEMBER 20, 2023
	ATASCADERO, CA	Project #: A22025
	BUILDING TYPE 4 - ELEVATIONS	Scale: 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
	A6.6	Sheet:



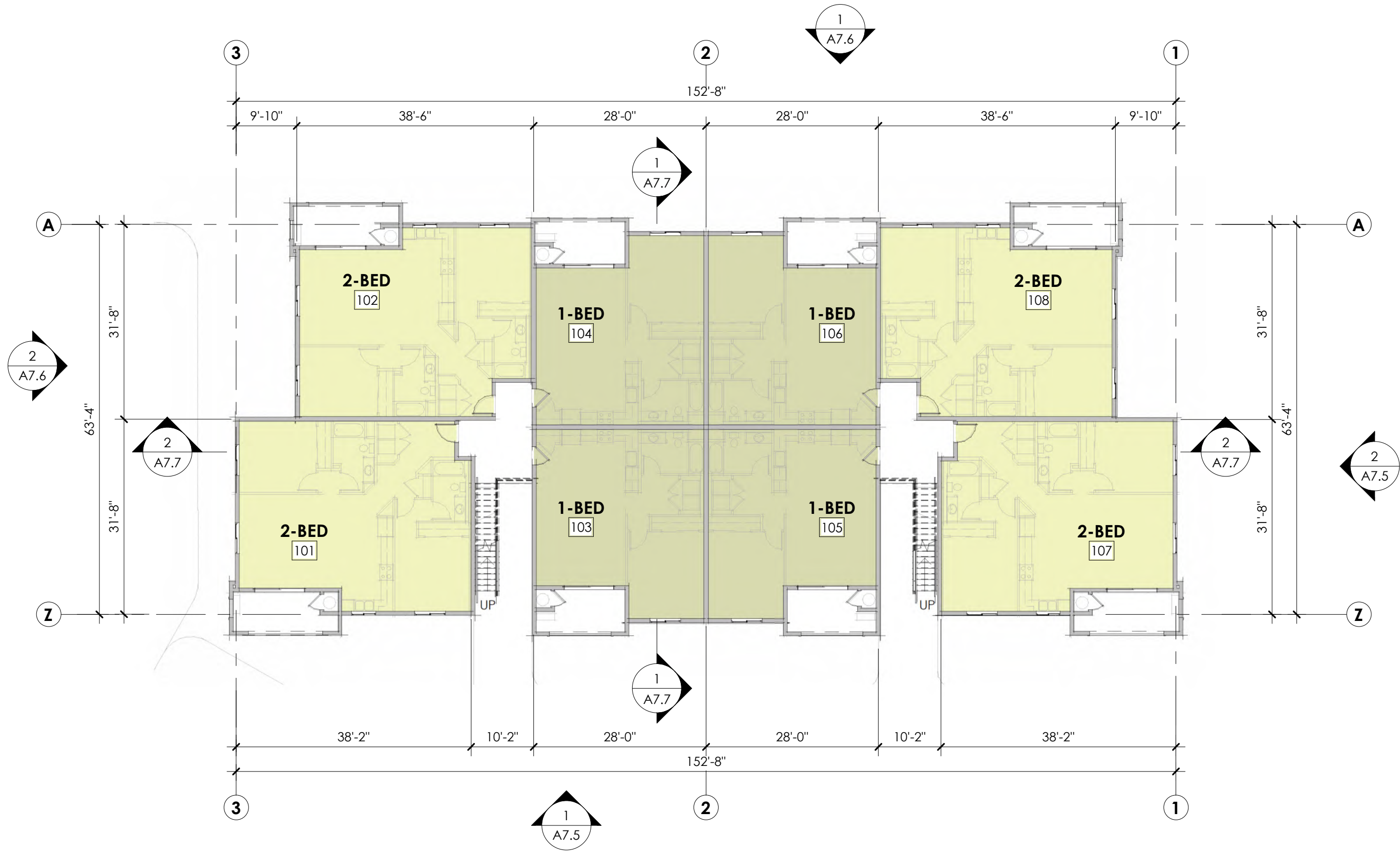
**BUILDING TYPE 4 - LONGITUDINAL SECTION**



**BUILDING TYPE 4 - CROSS SECTION**

	<b>Dove Creek Mixed-Use</b>	<small>Date: DECEMBER 20, 2023</small>
	ATASCADERO, CA	<small>Project #: A22025</small>
	<b>BUILDING TYPE 4 - SECTIONS</b>	<small>Scale: 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"</small>
		<b>A6.7</b>





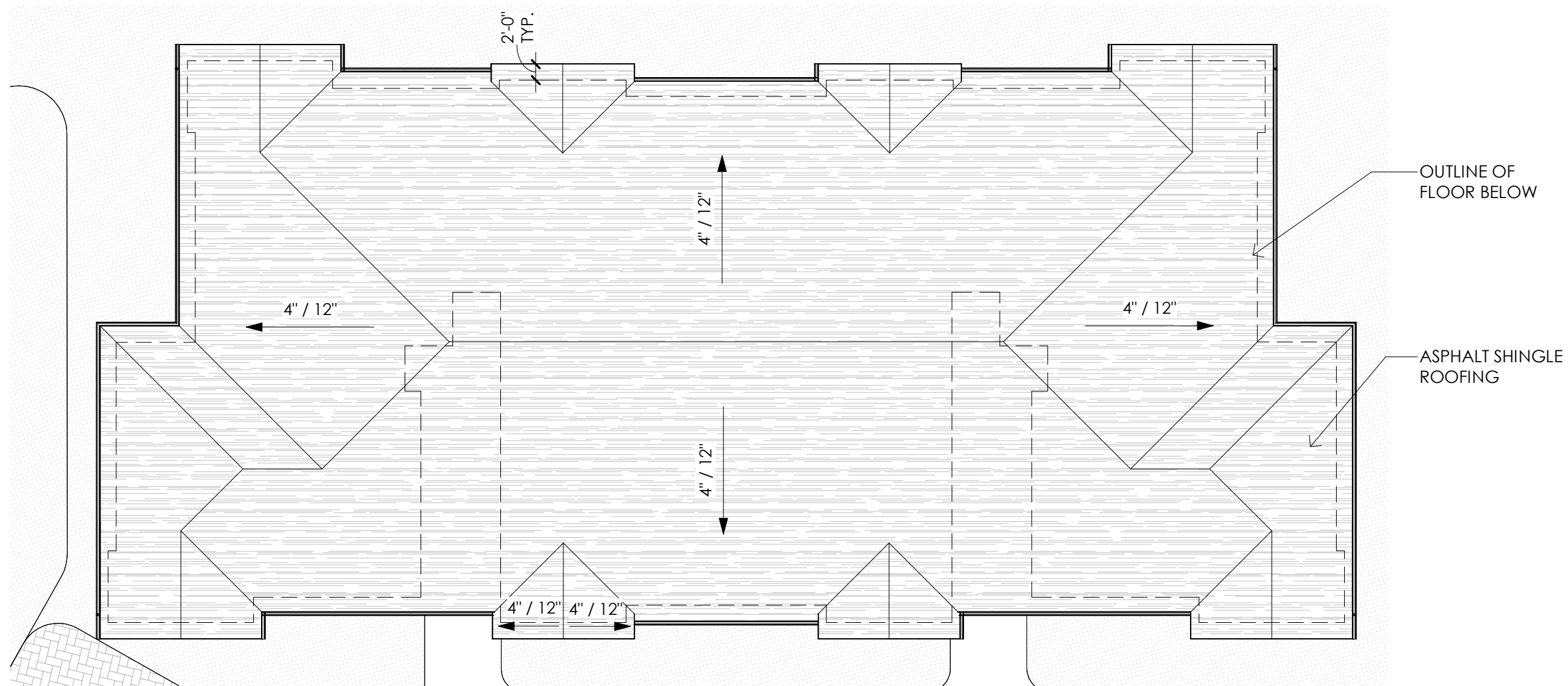
**BUILDING TYPE 5 - FIRST FLOOR PLAN (SECOND FLOOR SIMILAR)**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
**BUILDING TYPE 5 - FIRST FLOOR PLAN**  
 (SECOND FLOOR SIM.)



Date	DECEMBER 22, 2023
Project #	A22025
Scale	11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
Sheet	<b>A7.1</b>

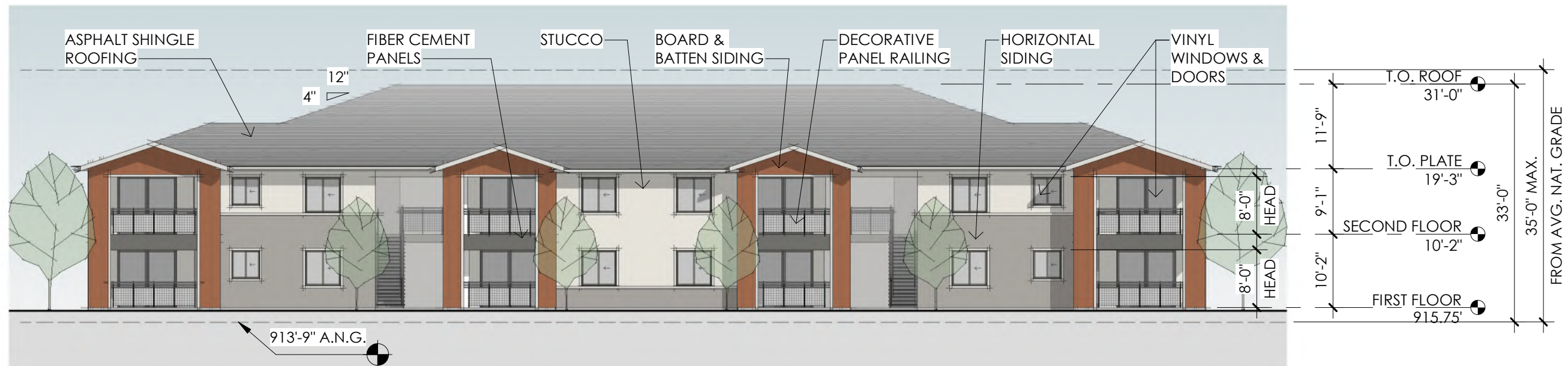


**BUILDING TYPE 5 - ROOF PLAN**

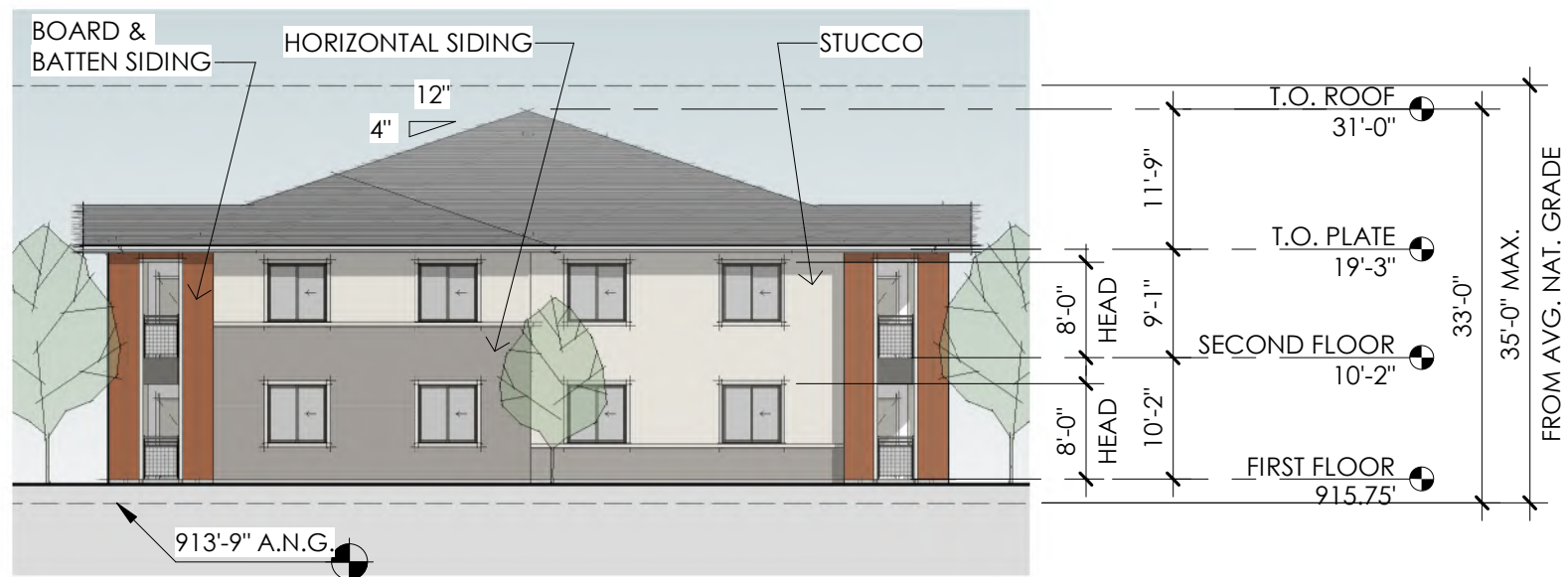


**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 BUILDING TYPE 5 - ROOF PLAN

Date: DECEMBER 22, 2023  
 Project #: A22025  
 Scale: 11x17: 1/16" = 1'-0"  
 24x36: 1/8" = 1'-0"  
 Sheet: **A7.2**



**BUILDING TYPE 5 - FRONT ELEVATION (FACING BUILDING 2)**

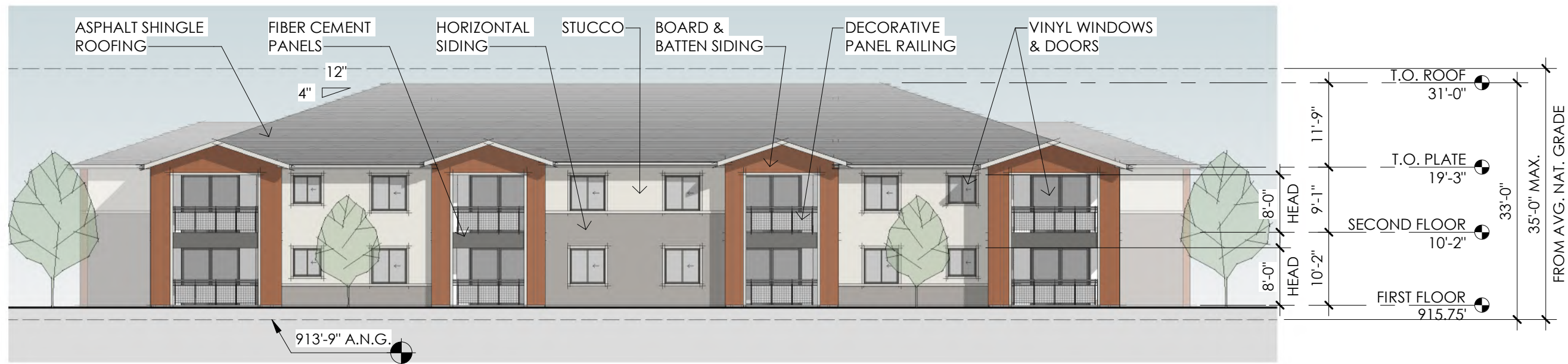


**BUILDING TYPE 5 - RIGHT ELEVATION**

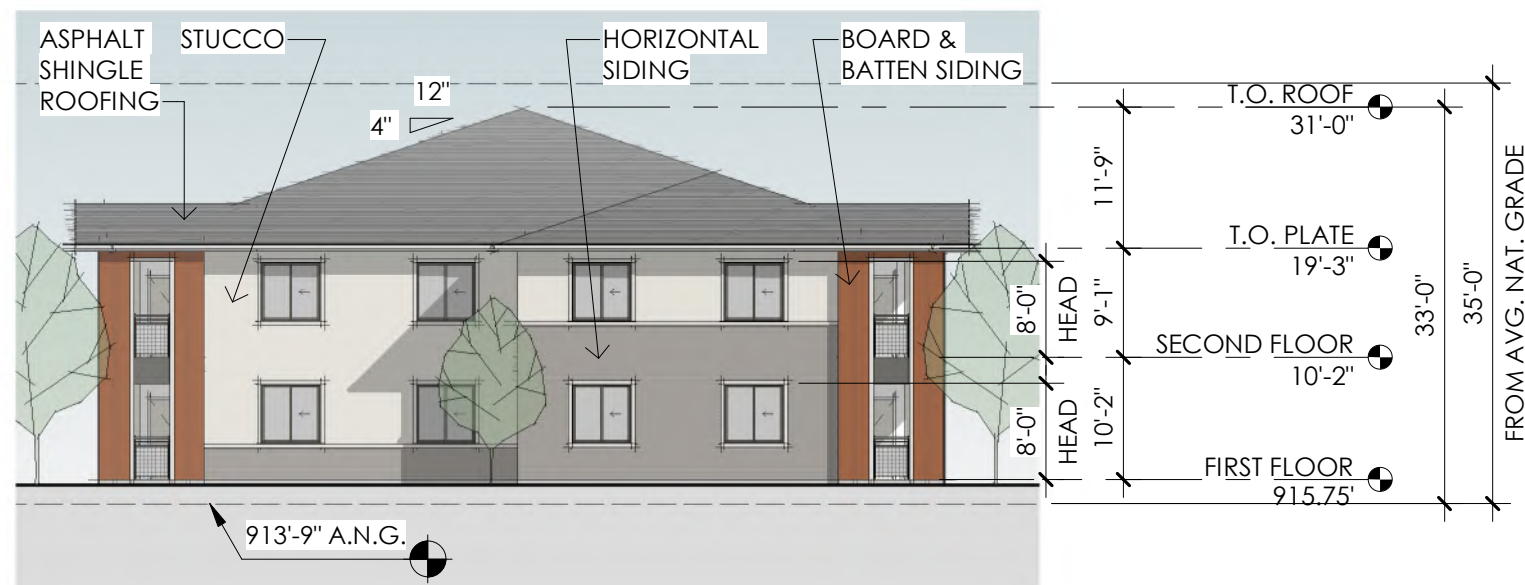


	<b>Dove Creek Mixed-Use</b>	Date: DECEMBER 22, 2023
	ATASCADERO, CA	Project #: A22025
	BUILDING TYPE 5 - ELEVATIONS	Scale: 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
	A7.5	Sheet:





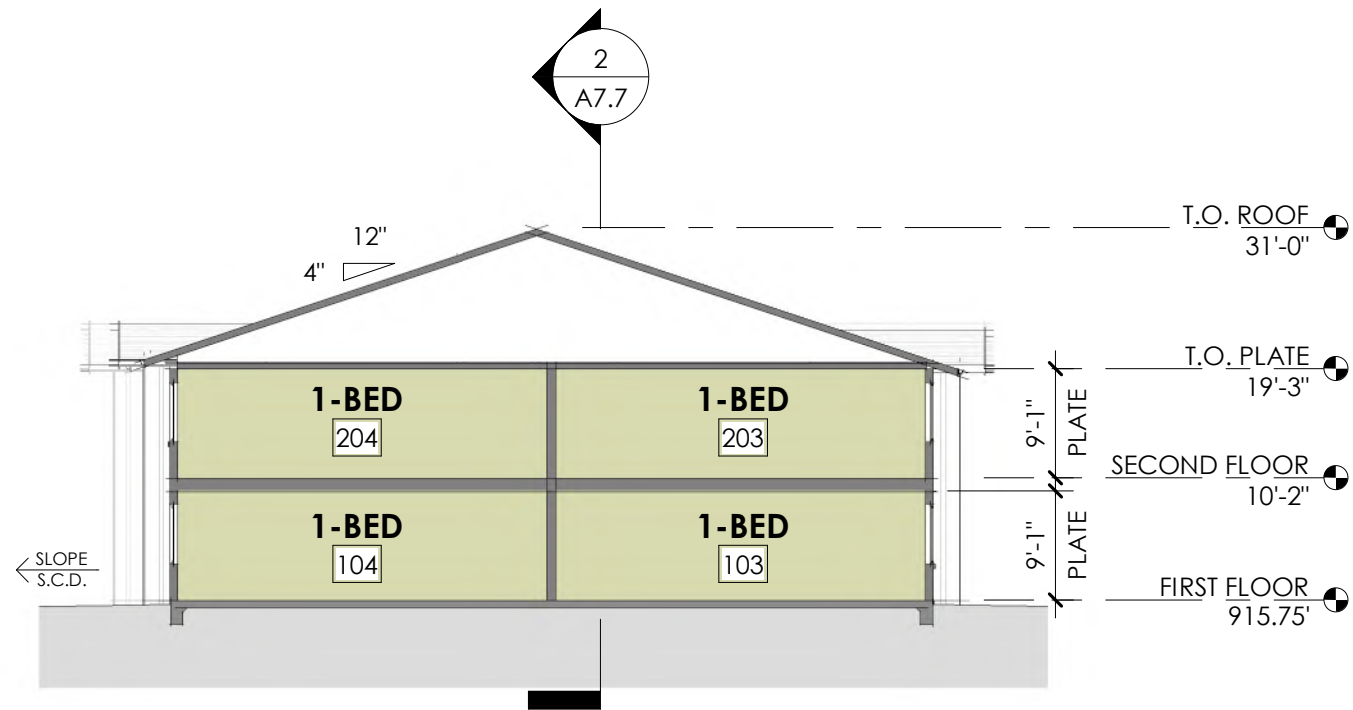
**BUILDING TYPE 5 - REAR ELEVATION (FACING BLISS/CASHIN STREET)**



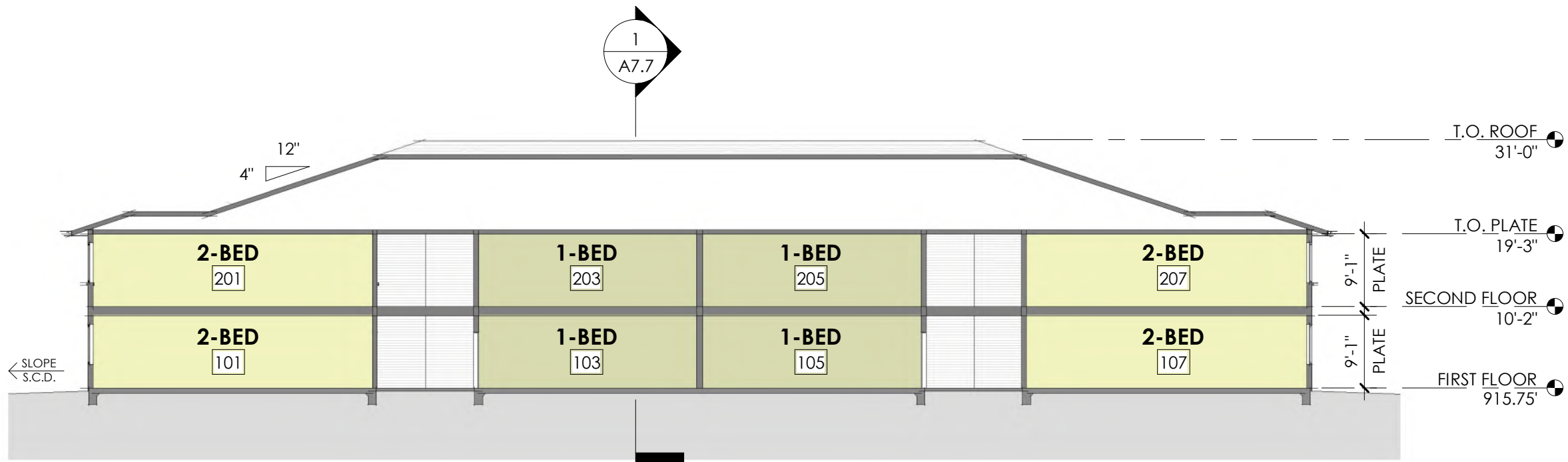
**BUILDING TYPE 5 - LEFT ELEVATION**



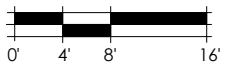
	<b>Dove Creek Mixed-Use</b>	Date: DECEMBER 22, 2023
	ATASCADERO, CA	Project #: A22025
	BUILDING TYPE 5 - ELEVATIONS	Scale: 11x17: 1/16" = 1'-0" 24x36: 1/8" = 1'-0"
	A7.6	Sheet



**BUILDING TYPE 5 - CROSS SECTION**



**BUILDING TYPE 5 - LONGITUDINAL SECTION**



**Dove Creek Mixed-Use**  
 ATASCADERO, CA  
 BUILDING TYPE 5 - SECTIONS

Date: DECEMBER 22, 2023  
 Project #: A22025  
 Scale: 11x17: 1/16" = 1'-0"  
 24x36: 1/8" = 1'-0"  
 Sheet: **A7.7**



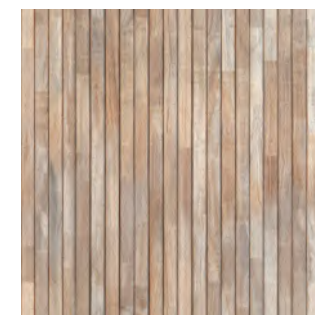
**LEGEND**



**P1**  
**PAINTED STUCCO**  
SMOOTH FINISH  
BENJAMIN MOORE  
1548 - "CLASSIC GRAY"



**F1**  
**FIBER CEMENT PANELS**  
BENJAMIN MOORE  
HC-166 -  
"KENDALL CHARCOAL"



**W1**  
**WOOD PLANKS**



**ST1**  
**STONE VENEER**  
EL DORADE - STACKED STONE  
"DARK RUNDLE"



**S1**  
**SIDING**  
BENJAMIN MOORE  
1468 - "WILLOW CREEK"



**S2**  
**SIDING - BOARD & BATTEN**  
BENJAMIN MOORE  
105 - "TERRA MAUVE"



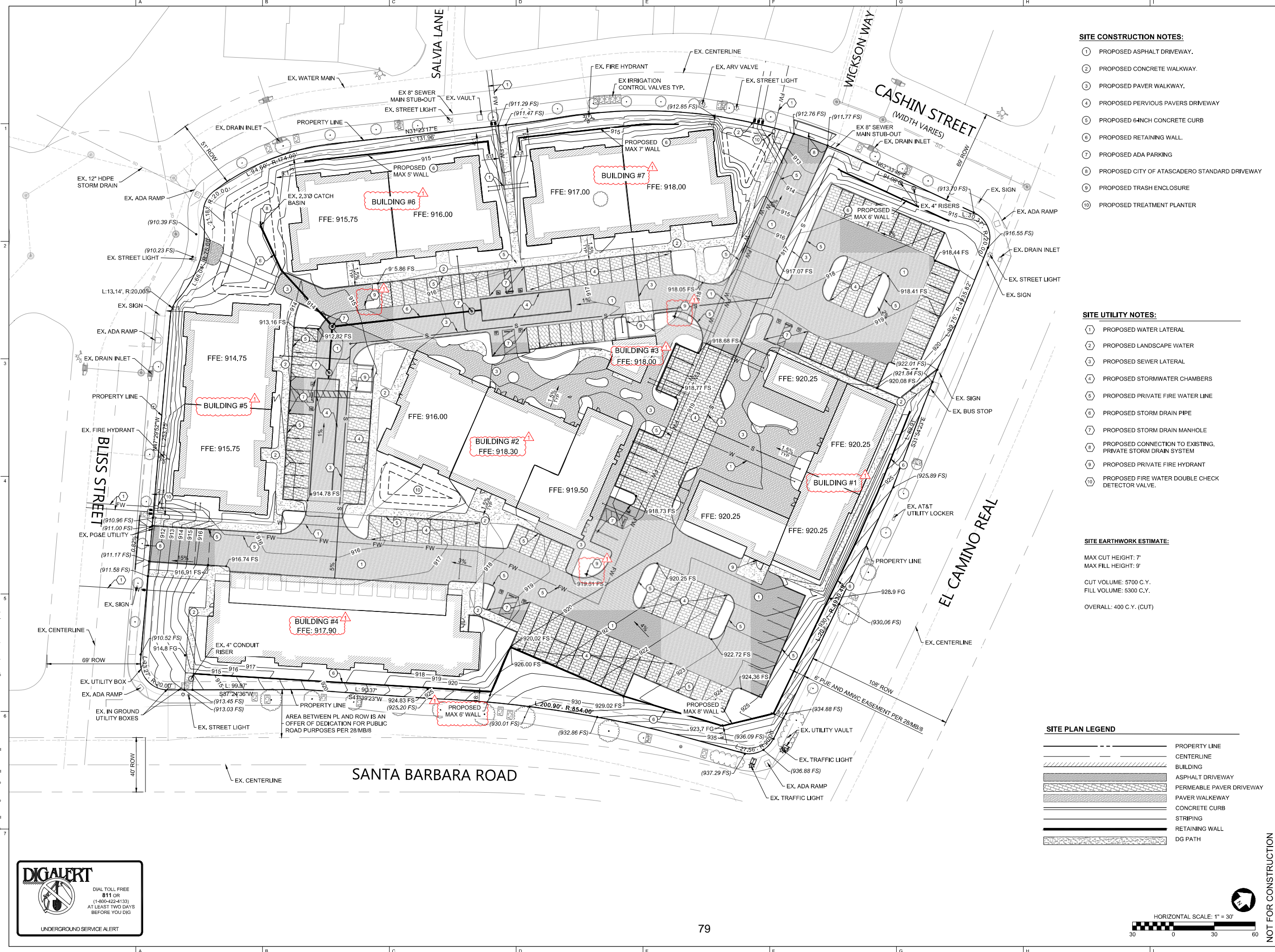
**Dove Creek Mixed-Use**

ATASCADERO, CA

**COLORS & MATERIALS**

Date: FEBRUARY 20, 2024  
Project #: A22025  
Scale: 1/16" = 1'-0"  
24x36"  
Sheet

**A7.0**



- SITE CONSTRUCTION NOTES:**
- PROPOSED ASPHALT DRIVEWAY.
  - PROPOSED CONCRETE WALKWAY.
  - PROPOSED PAVER WALKWAY.
  - PROPOSED PERVIOUS PAVERS DRIVEWAY
  - PROPOSED 6-INCH CONCRETE CURB
  - PROPOSED RETAINING WALL.
  - PROPOSED ADA PARKING
  - PROPOSED CITY OF ATASCADERO STANDARD DRIVEWAY
  - PROPOSED TRASH ENCLOSURE
  - PROPOSED TREATMENT PLANTER

- SITE UTILITY NOTES:**
- PROPOSED WATER LATERAL
  - PROPOSED LANDSCAPE WATER
  - PROPOSED SEWER LATERAL
  - PROPOSED STORMWATER CHAMBERS
  - PROPOSED PRIVATE FIRE WATER LINE
  - PROPOSED STORM DRAIN PIPE
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED CONNECTION TO EXISTING PRIVATE STORM DRAIN SYSTEM
  - PROPOSED PRIVATE FIRE HYDRANT
  - PROPOSED FIRE WATER DOUBLE CHECK DETECTOR VALVE.

**SITE EARTHWORK ESTIMATE:**

MAX CUT HEIGHT: 7'  
 MAX FILL HEIGHT: 9'

CUT VOLUME: 5700 C.Y.  
 FILL VOLUME: 5300 C.Y.

OVERALL: 400 C.Y. (CUT)

**SITE PLAN LEGEND**

	PROPERTY LINE
	CENTERLINE
	BUILDING
	ASPHALT DRIVEWAY
	PERMEABLE PAVER DRIVEWAY
	PAVER WALKWAY
	CONCRETE CURB
	STRIPING
	RETAINING WALL
	DG PATH

**Ashley & Vance**  
 ENGINEERING, INC.

1229 Carmel Street  
 San Luis Obispo, CA 93401  
 (805) 545-0010  
 www.ashleyandvance.com

CIVIL • STRUCTURAL

The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these plans and specifications remain with Ashley & Vance Engineering, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

DOVE CREEK MIXED-USE  
 11700 EL CAMINO REAL  
 ATASCADERO, CA 93422

Revisions:

	1st Review_Dev23-0079

Project Engineer: DB      Ext: 208  
 Project Manager: KEA

Date: 02.15.2024      Scale: PER PLAN  
 AV Job No: 231423      Sheet Size: 24" x 36"

NOT FOR CONSTRUCTION

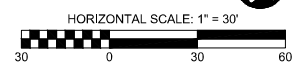
PRELIMINARY  
 GRADING, DRAINAGE  
 AND UTILITY PLAN

C-2.1

**DIGALERT**

DIAL TOLL FREE  
 811 OR  
 (1-800-422-4133)  
 AT LEAST TWO DAYS  
 BEFORE YOU DIG

UNDERGROUND SERVICE ALERT





**KEYNOTE LEGEND #**

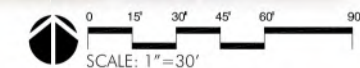
- 1 ENHANCED SURFACES IN PEDESTRIAN USE AREAS
- 2 POROUS PAVING IN PARKING AREAS
- 3 PEDESTRIAN CROSSWALK
- 4 PEDESTRIAN PLAZA (SEE ENLARGEMENT, L2)
- 5 STREETScape LANDSCAPING PER CITY GUIDELINES
- 6 EXISTING PARKWAY TREES AND SHRUBS TO REMAIN
- 7 STORMWATER TREATMENT BASIN PER CIVIL PLANS
- 8 PEDESTRIAN BRIDGE OVER BASIN
- 9 5' TREE PLANTER DIAMONDS
- 10 RETAINING WALL PER CIVIL PLANS
- 11 CITY OF ATASCADERO GATEWAY MONUMENT
- 12 PARKING LOT SHADE TREES
- 13 SPECIALIZED ENTRY LANDSCAPING
- 14 MAILBOXES FOR COMMERCIAL USE

**TREE LEGEND**

-  ACCENT TREE
-  PARKING LOT SHADE TREE
-  CITY STREET TREE
-  DECIDUOUS CANOPY SHADE TREE
-  VERTICAL TREE
-  EVERGREEN CANOPY SHADE TREE

**CONCEPT NOTES**

1. PLANT MATERIAL WAS CHOSEN FOR ITS COMPATABILITY WITH THE MACRO/MICROCLIMATIC CONDITIONS OF THE REGION AND SITE; TOLERANCE OF WIND; TOLERANCE OF DROUGHT CONDITIONS; LONGEVITY; SCREENING CAPABILITIES; AND OVERALL ATTRACTIVENESS.
2. IRRIGATION SYSTEM SHALL BE DESIGNED FOR MAXIMUM WATER EFFICIENCY AND SHALL INCLUDE AN AUTOMATIC CONTROLLER, BACKFLOW PREVENTION DEVICE, AND LOW-GALLONAGE HEADS FOR TURF AND LARGE GROUND COVER AREAS. A DRIP-TYPE SYSTEM SHALL BE USED WHERE APPROPRIATE. TREES SHALL BE IRRIGATED ON SEPARATE BUBBLER SYSTEMS.
3. PLANT MATERIAL QUANTITIES, NARRATIVE SPECIFICATIONS, SITE DETAILS, AND MATERIAL DEFINITIONS WILL BE DETERMINED AND NOTED ON THE CONSTRUCTION DRAWINGS.





**KEYNOTE LEGEND #**

- 1 ENHANCED SURFACES IN PEDESTRIAN USE AREAS
- 2 POROUS PAVING IN PARKING AREAS
- 3 COLORED CONCRETE EDGE RESTRAINT
- 4 SYNTHETIC TURF WITH LAWN GAMES
- 5 RAISED STAGE
- 6 SEATWALL
- 7 SMOOTH SEATING BOULDERS, TYP.
- 8 LINEAR FIREPIT
- 9 FARMING IMPLEMENT DECORATION
- 10 CLIMBING ELEMENTS FOR SMALL KIDS (2-5 YEARS)
- 11 SHADE PERGOLA OVER PATIO
- 12 SCREEN FENCE/WALL
- 13 FLUSH CURB BETWEEN VEHICULAR AND PEDESTRIAN AREAS
- 14 RAISED PLANTER WITH SPECIMEN TREE
- 15 SEATING AROUND FIREPIT
- 16 COMMUNAL TABLES, TYP.
- 17 MAILBOXES FOR COMMERCIAL USE



**PROPOSED SITE AMENITIES & ELEMENTS**



**DOVE CREEK MIXED-USE**  
ATASCADERO, CA

**CONCEPTUAL LANDSCAPE PLAN - ENLARGEMENT**

**L-2**  
2/21/24



**OASIS ASSOCIATES**  
LANDSCAPE ARCHITECTURE + PLANNING





**GATEWAY MONUMENT ELEVATION**



**KEYNOTE LEGEND #**

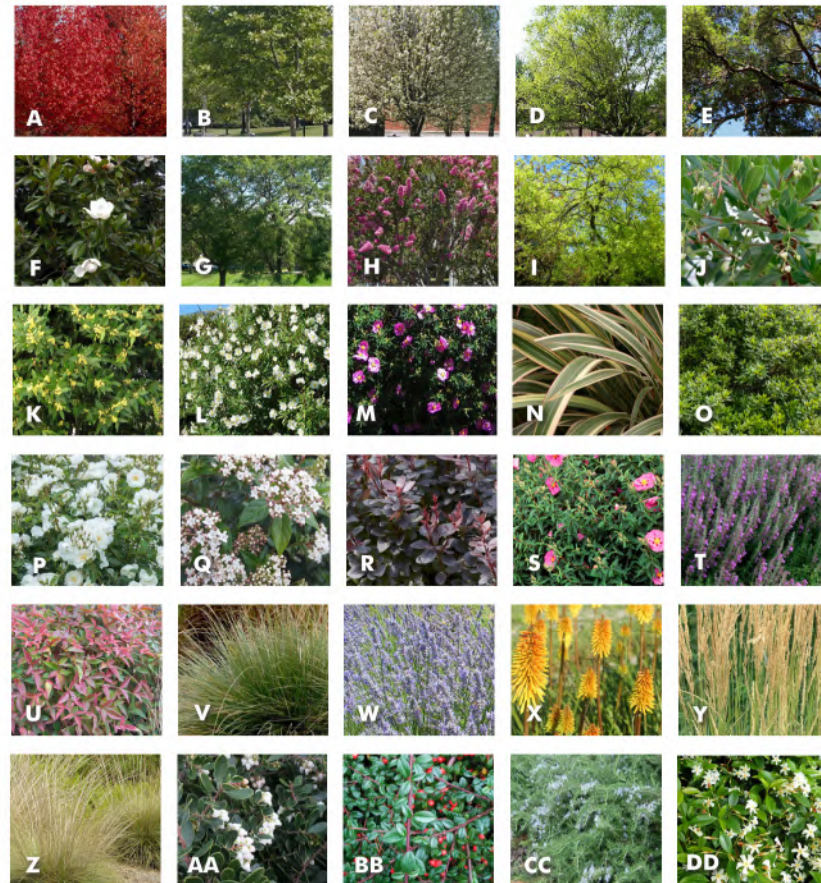
- 1 CORTEN STEEL PANEL
- 2 CUT CORTEN STEEL STRIPS, ARRANGED VERTICALLY
- 3 LASER-CUT LETTERING, RAISED AGAINST PANEL
- 4 CITY SEAL, RAISED AGAINST PANEL
- 5 VERTICAL TOWER ELEMENT, INTERNALLY ILLUMINATED, WITH PROJECT SIGNAGE
- 6 SPECIMEN OAK TREES, BEHIND.
- 7 ACCENT TREES, BEHIND.
- 8 BACKDROP PLANT SPECIES
- 9 LOW-HEIGHT FOREGROUND PLANT SPECIES

NOTE: SIGN PANELS WILL BE LIT BY IN-GROUND UPLIGHTS

**PROPOSED PLANT LIST**

	SIZE	WUCOLS*	NOTES
<b>DECIDUOUS CANOPY TREES</b>			
A LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEETGUM	50' X 20'	M	FALL COLOR
B PLATANUS X ACERFOLIA 'BLOODGOOD' / LONDON PLANE	60' X 50'	M	LARGE GROWING HABIT
C PYRUS CALLERYANA CLTVS. / CALLERY PEAR	40' X 35'	M	WHITE FLOWERS
D ULMUS PARVIFOLIA 'DRAKE' / CHINESE ELM	50' X 60'	L	BARK FLAKES
<b>EVERGREEN CANOPY TREES</b>			
E QUERCUS AGRIFOLIA / COAST LIVE OAK	50' X 60'	VL	DARK GREEN FOLIAGE
F MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	60' X 40'	M	PINK FLOWERS
<b>DECIDUOUS PEDESTRIAN SCALE TREES</b>			
G GLEDITSIA TRIACANTHOS 'MORAINÉ'	30' X 30'	L	YELLOW FALL COLOR
H LAGERSTROEMIA VARS. / CRAPE MYRTLE	20' X 15'	L	FLOWERING
I PISTACIA CHINENSIS / CHINESE PISTACHE	30' X 30'	L	FALL COLOR
<b>EVERGREEN PEDESTRIAN SCALE TREES</b>			
J ARBUTUS 'MARINA' / STRAWBERRY TREE	20' X 20'	L	MULTI-STEMMED FORM
K LAURUS NOBILIS 'SARATOGA' / SWEET BAY LAUREL	25' X 15'	L	AROMATIC
<b>MEDIUM SHRUBS</b>			
L CARPENTERIA CALIFORNICA / BUSH ANENOME	5' X 7'	M	WHITE FLOWERS
M CISTUS X PURPUREUS / ROCKROSE	4' X 5'	M	PURPLE FLOWERS
N PHORMIUM SP. / NEW ZEALAND FLAX	5' X 5'	L	BLADE-SHAPED FOLIAGE
O RHAMNUS CALIFORNICA / COFFEEBERRY	6' X 8'	L	REDDISH GREEN FOLIAGE
P ROSA 'ICEBERG' / ICEBERG ROSE	4' X 4'	L	FLOWERING
Q VIBURNUM TINUS / LAURUSTINUS	10' X 8'	M	WHITE FLOWERS
<b>SMALL SHRUBS</b>			
R BERBERIS THUNBERGII / JAPANESE BARBERRY	4' X 4'	M	BURGUNDY FOLIAGE
S CISTUS 'SUNSET' / MAGENTA ROCK ROSE	3' X 5'	L	PURPLE PINK FLOWERS
T TEUCRIUM CHAMEDRYS / WALL GERMANDER	2' X 2'	L	AROMATIC
U NANDINA DOM. 'HARBOR DWARF' / HEAVENLY BAMBOO	2' X 3'	L	SPREADING HABIT
<b>GRASSES AND PERENNIALS</b>			
V FESTUCA MAIREI / ATLAS FESCUE	2' X 2'	L	FOUNTAIN-LIKE MOUNDS
W LAVANDULA SP. / LAVENDER	3' X 3'	L	AROMATIC
X KNIPHOFIA UVARIA / RED HOT POKER	3' X 3'	L	VIBRANT COLORS
Y CALAMAGROSTIS 'KARL FOERSTER' / FEATHER REED GRASS	2' X 2'	L	UPRIGHT GROWTH
Z MUHLENBERGIA RIGENS / DEERGRASS	3' X 3'	L	SUN AND SHADE TOLERANT
<b>GROUNDCOVER</b>			
AA ARCTOSTAPHYLOS 'EMERALD CARPET' / CARPET MANZANITA	2' X 5'	M	SMALL, GLOSSY GREEN LEAVES
BB COTONEASTER DAM. 'LOWFAST' / BEARBERRY COTONEASTER	1' X 10'	L	WHITE, FRAGRANT FLOWERS
CC ROSMARINUS OFF. 'PROSTRATUS' / CREEPING ROSEMARY	2' X 6'	L	BLUE FLOWERS
DD TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE	2' X 10'	M	TIGHT, DARK GREEN

\*WUCOLS (WATER USE CLASSIFICATIONS OF LANDSCAPE SPECIES) IS A GUIDE TO HELP IDENTIFY IRRIGATION WATER NEEDS OF PLANT SPECIES. DEVELOPED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF WATER RESOURCES, 2000.



**WATER CONSERVATION STATEMENT**

THE CONCEPTUAL LANDSCAPE PLAN, CONCURRENT WITH THE PLANTING AND IRRIGATION CONSTRUCTION DOCUMENTS, PLAN INSTALLATION, RELATED SPECIFICATIONS AND NOTES, QUALIFIES THIS PROJECT AS ONE WHICH EMBRACES THE FOLLOWING CURRENT WATER CONSERVATION TECHNOLOGY AND METHODOLOGIES:

1. UTILIZATION OF STATE OF THE ART IRRIGATION CONTROLLER(S) ALLOWING FOR PRECISION INCREMENTAL WATER SCHEDULING IN ALL HYDROZONES.
2. USE OF DRIP-TYPE AND/OR MICROSPRAY SYSTEMS ONLY.
3. INTEGRATED PLANT DESIGN. PLANT PALETTES HAVE BEEN FORMED TO REFLECT PARALLEL WATERING REQUIREMENTS WITHIN EACH HYDROZONE GROUP.
4. PLANTS INSTALLED WITH MOISTURE RETENTIVE SOIL AMENDMENTS, ENABLING STRONG ROOT AND PLANT GROWTH, WITH THE USE OF LESS WATER.
5. 3" DEEP MULCHING OF ALL PLANT BASINS AND PLANTING AREAS, INHIBITING EVAPORATION.
6. USE OF LOW WATER USE PLANTS.





## PROJECT SIGN PROGRAM

### WALL SIGNS

Wall signs may be externally lit or internally illuminated individual channel letters with light directed through the letters set in an opaque background. If the sign is externally lit, top mounted light fixtures which shine light downward and are fully shielded must be used. Wall signs may contain stylized font and/or company logos. Refer to the MPD elevations for size limitation. Letter height shall be proportionate to the sign size and the building architecture. **The area of the sign shall not exceed one square foot per lineal foot of business frontage.**



### PROJECTING SIGNS

One suspended or projecting sign is allowed per business. Projecting signs must have 8' of clearance from the sidewalk and project no more than 5' beyond the building facade. Projecting signs shall not exceed 15 SF with a maximum letter height of 10'. Projecting signs, if lit, shall be externally lit with top mounted light fixtures which shine light downward and are fully shielded.  
**NOTE: Projecting and/or under canopy signs to have 3D appearance with dimension, with a ten (10) inch maximum letter height.**



### HANGING SIGNS

One suspended or projecting sign is allowed per business. Hanging or Under Canopy signs must have 7' of clearance from the sidewalk. Hanging signs shall not exceed 15 SF with a maximum letter height of 10'. Hanging signs, if lit, shall be externally lit with top mounted light fixtures which shine light downward and are fully shielded.  
**NOTE: Projecting and/or under canopy signs to have 3D appearance with dimension, with a ten (10) inch maximum letter height.**



### AWNING/ SUSPENDED SIGNS

Awning Signs shall be limited to the front valance of the awning and shall contain the name of the business. Awning or canopy signs must have 8' of clearance from the sidewalk and project no more than 5' beyond the building facade with maximum slope less than sixty degrees. Projecting signs shall not exceed 15 SF. Awning signs shall not be illuminated.



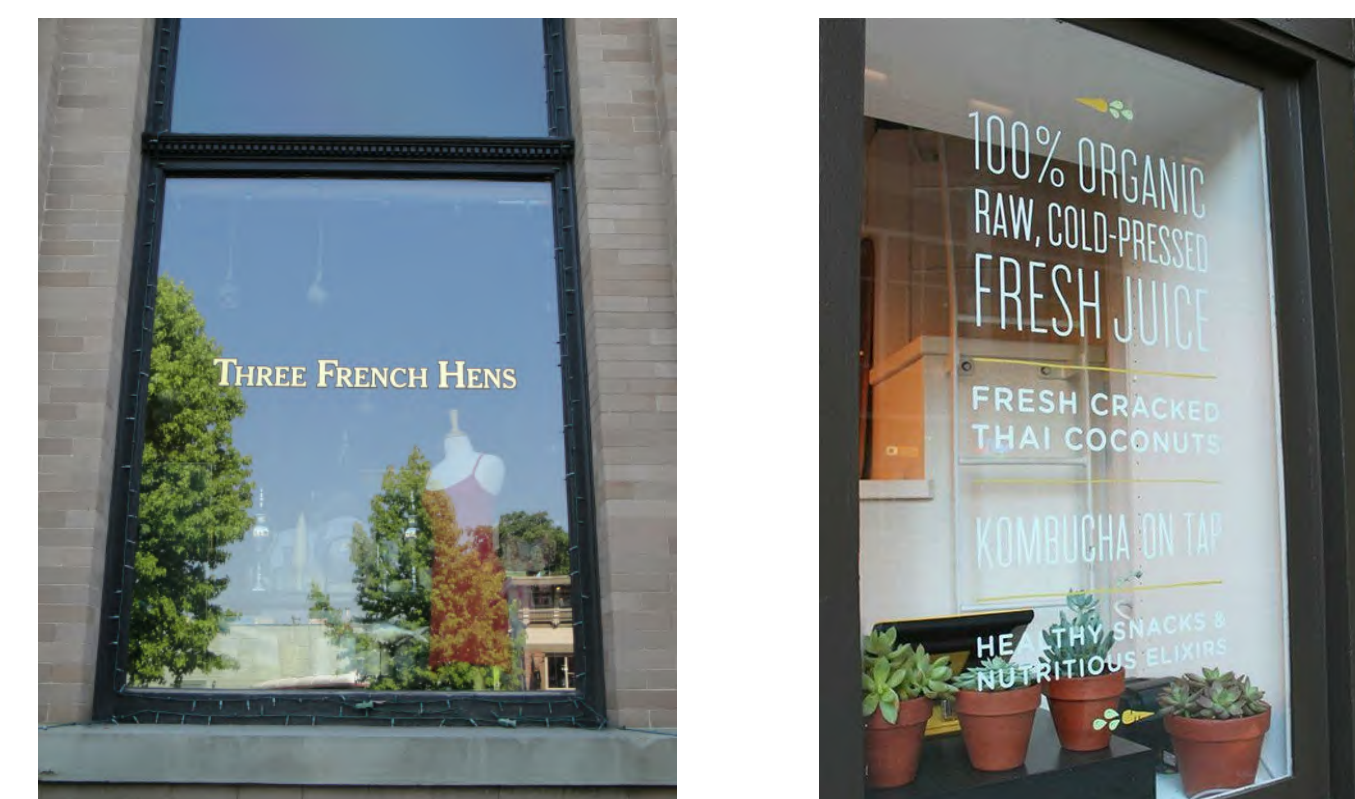
### CHALKBOARD SIGNS

Chalkboard or changeable menu signs shall be made of a smooth hard panel for writing on with chalk. This type of sign is permitted for restaurants, wine tasting rooms and other businesses whose primary business is food/beverage. The chalkboard shall not exceed 6 SF and may be either attached to a wall, on a pole in the ground or in a planter, if illuminated, it must be externally lit with top mounted light fixtures which shine light downward and are fully shielded. The chalkboard sign contributes to the maximum overall aggregate area of 150 SF.



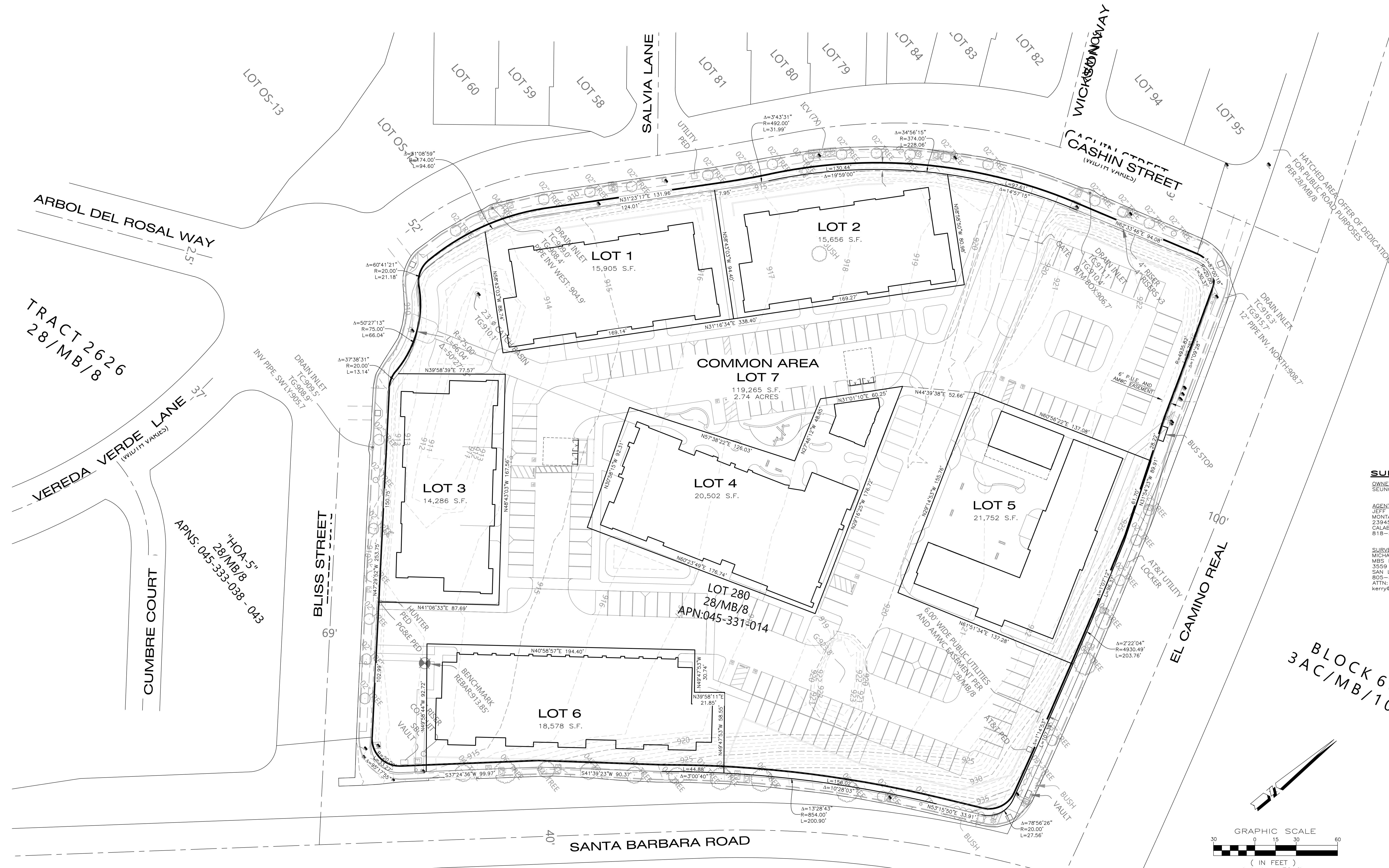
### WINDOW LETTERING

Window lettering shall be done professionally and may be painted on the inside or the outside of the window. If painted on the outside, a sealer must be applied and regular maintenance is required. Only the name of the business and/or logo is permissible. Lettering is limited to 8" in height and shall not exceed 50% of the window area. Lessee may have window lettering on one window on each frontage. If the window is paned (i.e., French windows), then lettering shall be limited to a single pane (i.e., a word may not be spelled out with one letter in each pane extending across several panes).

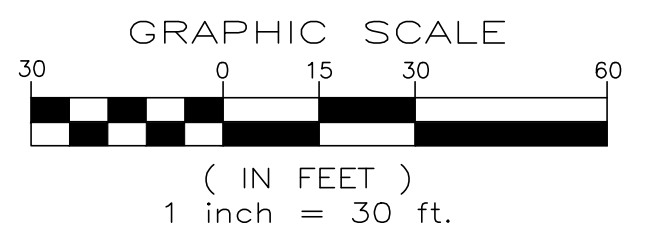




N:\2024\24-114 Dove Creek Mixed Use Project - Atascadero\CD\24-114 Dove Creek Tentative Map.apr\_30x42 TTM\_May 13, 2024 1:15pm\_LRichardson



**SUBDIVISION NOTES:**  
 OWNER: SEUNG M. YOON  
 AGENT: JEFF SHAFFER, MONTAGE DEVELOPMENT, INC.  
 SURVEYOR: MICHAEL STANTON, PLS  
 UTILITIES: WATER: ATASCADERO MUTUAL WATER, SEWER: CITY OF ATASCADERO, CABLE TV: SPECTRUM, GAS: SOUTHERN CAL GAS



**CONDOMINIUM UNITS**

	RESIDENTIAL UNITS	COMMERCIAL UNITS
LOT 1	16	0
LOT 2	16	0
LOT 3	16	0
LOT 4	20	2
LOT 5	0	0
LOT 6	23	0

**SITE DATA:**  
 ASSESSOR'S PARCEL NO. APN 045-331-014

**VESTING TENTATIVE TRACT 3229 DOVE CREEK MIXED USE**  
 BEING A SUBDIVISION FOR 3 COMMERCIAL AND 91 RESIDENTIAL AIRSPACE CONDOMINIUM UNITS ON LOT 280 OF TRACT 2626 AS SHOWN ON MAP FILED IN MAP BOOK 28 AT PAGES 8-32, IN THE CITY OF ATASCADERO, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

AT THE REQUEST OF MONTAGE DEVELOPMENT, INC.  
**MBS LAND SURVEYS** MICHAEL B. STANTON, PLS 5702 3559 SOUTH HIGUERA ST, SAN LUIS OBISPO, CA 93401 805-594-1960  
 May 13, 2024 JOB #24-114

DATE	REVISION



**§ 9-3.657 Establishment of Planned Development Overlay Zone No. 12 (PD12).**

Planned Development Overlay Zone No. 12 is established as shown on the official zoning maps (Section 9-1.102 of this title). A Planned Development Overlay Zone No. 12 is established on all parcels ~~APNs 045-342-003, 045-381-010, 045-381-007, 045-381-009, 045-331-002, 045-331-004, 045-331-008, 045-331-001, 045-342-005, 045-342-004, 045-342-013, 045-342-001, 045-342-008, 045-342-002, 045-352-005~~ within Tract 2626 including any future subdivision thereof with a combined total gross acreage of 63.3 acres. The maximum residential density within the planned development shall not exceed ~~279~~ 350 residential units- , including a maximum base residential density for the vacant commercial site at 71 residential units, consistent with the previous environmental analysis for the project site. A minimum of ~~6.31~~ 5.19 acres ~~of~~ commercial retail use-property and 27.7 acres of common and natural open space on the 63.3-acre project site shall be provided. The development standards contained within the master plan of development document (CUP 2003-0099) and DEV23-0079, as conditioned shall be applied to all future development within the project area, and as follows:

- (a) The Vesting Tentative Tract Map (TTM 2003-0033) and Tentative Tract Map (Tract 3229) and any subsequent amendments for the site shall be consistent with CUP 2003-0099 and DEV23-0079. All construction and development shall conform to the approved master plan of development, as conditioned.
- (b) No subsequent tentative parcel or tract map shall be approved unless found to be consistent with the approved master plan of development.
- (c) The commercial area, residential dwelling units, landscaping, walls and fencing shall be subject to review under the City's Appearance Review requirements consistent with the approved master plan of development.
- (d) Building setbacks lot sizes, landscape area, and lot coverage shall be as identified within the approved master plan of development.
- (e) Alterations or additions to established dwelling units shall be subject to the density and development standards of the master plan of development.
- (f) Subsequent amendments to the master plan of development shall be approved by Planning Commission Resolution.
- (g) The commercial center will retain the Commercial Retail zoning district designation. The following allowable uses are proposed for this district within the PD12 overlay zone:

- 1) Artisan Food and Products;
- 2) Bar / Tavern;
- 3) Farmer's Market;
- ~~(1) Broadcast studios;~~
- ~~(2) Building materials and hardware (indoor only);~~
- ~~(3)4) -Food and beverage retail sales;~~
- 5) General Retail;
- ~~(4) Furniture, home furnishings and equipment;~~
- ~~(5) General merchandise stores;~~
- ~~(6) Mail order and vending;~~
- 6) Indoor Recreation Services;
- 7) Mircobrewery / Brewpub;

- 8) Tasting Room;
- 9) Winery – Boutique;
- ~~(7)10) –Temporary or seasonal sales;~~
- ~~(8)11) –Financial services;~~
- ~~(9) –Health care services;~~
- ~~(10)12) Offices;~~
- ~~(11) Small scale manufacturing;~~
- ~~(12)13) Temporary offices;~~
- ~~(13)14) Personal services;~~
- ~~(14) Light repair services;~~
- ~~(15)15) Eating and drinking places;~~
- ~~(16)16) Membership organizations;~~
- ~~(17) Horticultural specialties;~~
- ~~(18)17) Schools—business and vocational;~~
- ~~(19) Business support services, where all areas of use are located within a building;~~
- ~~(20) Farm equipment and supplies;~~
- ~~(21) Fuel and ice dealers;~~
- ~~(22)18) Hotels and motels;~~
- ~~(23) Skilled nursing facility;~~
- ~~(24)19) Bed and breakfast;~~
- ~~(25) Funeral services;~~
- ~~(26) Schools;~~
- ~~(27) Utility service center;~~
- ~~(28)20) Libraries and museums;~~
- ~~(29)21) Temporary events;~~

(h) The conditionally allowed uses within the Commercaill Retail zone shall be limited to the following:

- 1) Amusement Services;
- 2) Indoor Recreation Services
- 3) Multi-Family Dwelling

(i) All residential and open space use shall be consistent with the requirements of the underlying zoning district except as allowed by the master plan of development.









**MEMORANDUM**

Date: February 16, 2024  
 To: Stephen C. Ross, Montage Development, Inc.  
 From: Joe Fernandez and Michelle Matson, CCTC  
 Subject: **Dove Creek– Trip Generation Comparison**

This memorandum presents the trip generation comparison for the proposed Dove Creek Mixed-Use project in the City of Atascadero. The project would develop the last vacant portion of the Dove Creek Development with 71 multifamily residential units, 20 short-term rental units, and 14,840 square feet of commercial space. The purpose of this memorandum is to estimate vehicle trips for the currently proposed project and compare trip levels to the previously approved project.

In summary, the trip generation of the proposed project is lower than the previously approved project.

**TRIP GENERATION COMPARISON**

The Dove Creek Development TIS (OMNI-MEANS, 2004) analyzed the overall 64-acre Dove Creek project. At that time, Dove Creek included multiple residential villages and a commercial center. While the residential villages have been built and occupied as planned, the commercial center never developed and is now the site of the proposed project.

The Institute of Transportation Engineers (ITE) *Trip Generation Manual* 11th Edition was used to estimate project trip generation on a typical weekday. No internal capture or pass-by reductions were applied to present a conservative analysis. **Table 1** summarizes the project trip generation.

**Table 1: Dove Creek Trip Generation**

Trip Generation								
Land Use	Size	Daily Total	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Multifamily Housing <sup>3</sup>	71 DU	530	11	34	45	32	19	51
Hotel <sup>2</sup>	20 Rooms	160	5	4	9	6	6	12
Retail <sup>3</sup>	14,840 KSF	856	22	15	37	51	52	103
<b>Total New Vehicle Trips</b>		<b>1,546</b>	<b>38</b>	<b>53</b>	<b>91</b>	<b>89</b>	<b>77</b>	<b>166</b>
<i>Previous Project Trip Generation</i>		<i>2,475</i>	<i>54</i>	<i>57</i>	<i>111</i>	<i>93</i>	<i>84</i>	<i>177</i>
<b><i>New-Old Project Delta</i></b>		<b><i>-929</i></b>	<b><i>-16</i></b>	<b><i>-4</i></b>	<b><i>-20</i></b>	<b><i>-4</i></b>	<b><i>-7</i></b>	<b><i>-11</i></b>

DU = Dwelling Unit; SF = Square Feet; ITE = Institute of Transportation Engineers.  
 1. ITE Land Use Code #220, Multifamily Housing (Low-Rise). Fitted curve equations used.  
 2. ITE Land Use Code #310, Hotel. Average rates used based on data cluster.  
 3. ITE Land Use Code #822 Strip Retail Plaza. Fitted curve equations used.  
 Source: ITE Trip Generation Manual, 11th Ed.

The proposed project would generate 1,546 trips per weekday, including 91 AM peak hour trips and 166 PM peak hour trips. The trip generation would be lower than that of the previously approved project.

Please let us know if you have any questions.





DOVE CREEK SEWER CAPACITY ANALYSIS

TECHNICAL MEMORANDUM

# DOVE CREEK MIXED USE IMPACT ANALYSIS



FINAL / March 2024





Dove Creek Sewer Capacity Analysis

TECHNICAL MEMORANDUM

# DOVE CREEK MIXED USE IMPACT ANALYSIS

FINAL / March 2024





## Contents

PROJECT BACKGROUND AND SCOPE	1
SECTION 1 SEWER FACILITIES	1
1.1 Existing and Proposed Sewer Facilities	1
1.2 Sewer Evaluation Criteria	3
1.3 Wastewater Flows	3
1.4 Sewer Capacity Analysis	4
SECTION 2 SUMMARY OF FINDINGS	4

## Appendices

APPENDIX A SITE PLAN A2.1	
APPENDIX B DOVE CREEK SEWER GENERATION MEMO	

## Tables

Table 1	Wastewater Collection System Evaluation Criteria	3
Table 2	Dry Weather Wastewater Flow Summary(1)(2)	3
Table 3	Capacity Evaluation Results	4

## Figures

Figure 1	Study Area	2
----------	------------	---

## Abbreviations

ADWF	average dry weather flow
Ashley & Vance	Ashley & Vance Engineering, Inc.
City	City of Atascadero
d/D	depth of flow to pipeline diameter ratio
gpd	gallons per day
mgd	million gallons per day
Montage	Montage Development, Inc.
PDWF	peak dry weather flow
Project	Dove Creek Mixed-Use
PWWF	peak wet weather flow
sf	square feet
TM	technical memorandum
WRF	Water Reclamation Facility



## PROJECT BACKGROUND AND SCOPE

Montage Development, Inc. (Montage) is proposing to develop a new mixed-use development called Dove Creek Mixed-Use (Project). The Project is located on an existing 5.19-acre vacant parcel at the northwest corner of Santa Barbara Road and El Camino Real in Atascadero, California, as shown on Figure 1. This vacant lot was previously planned to be approximately 60,000 square feet (sf) of commercial space as part of the Tract No. 2626 Dove Creek Development. The updated improvements include a total of seven buildings with 71 condominium units, 20 short-term rentals, and 13,700 sf of commercial space. The site plan for the Project is included in Appendix A.

The purpose of this Technical Memorandum (TM) is to summarize the evaluation of the impacts of the Project on the City of Atascadero's (City's) existing wastewater collection system. The specific objectives of this study include:

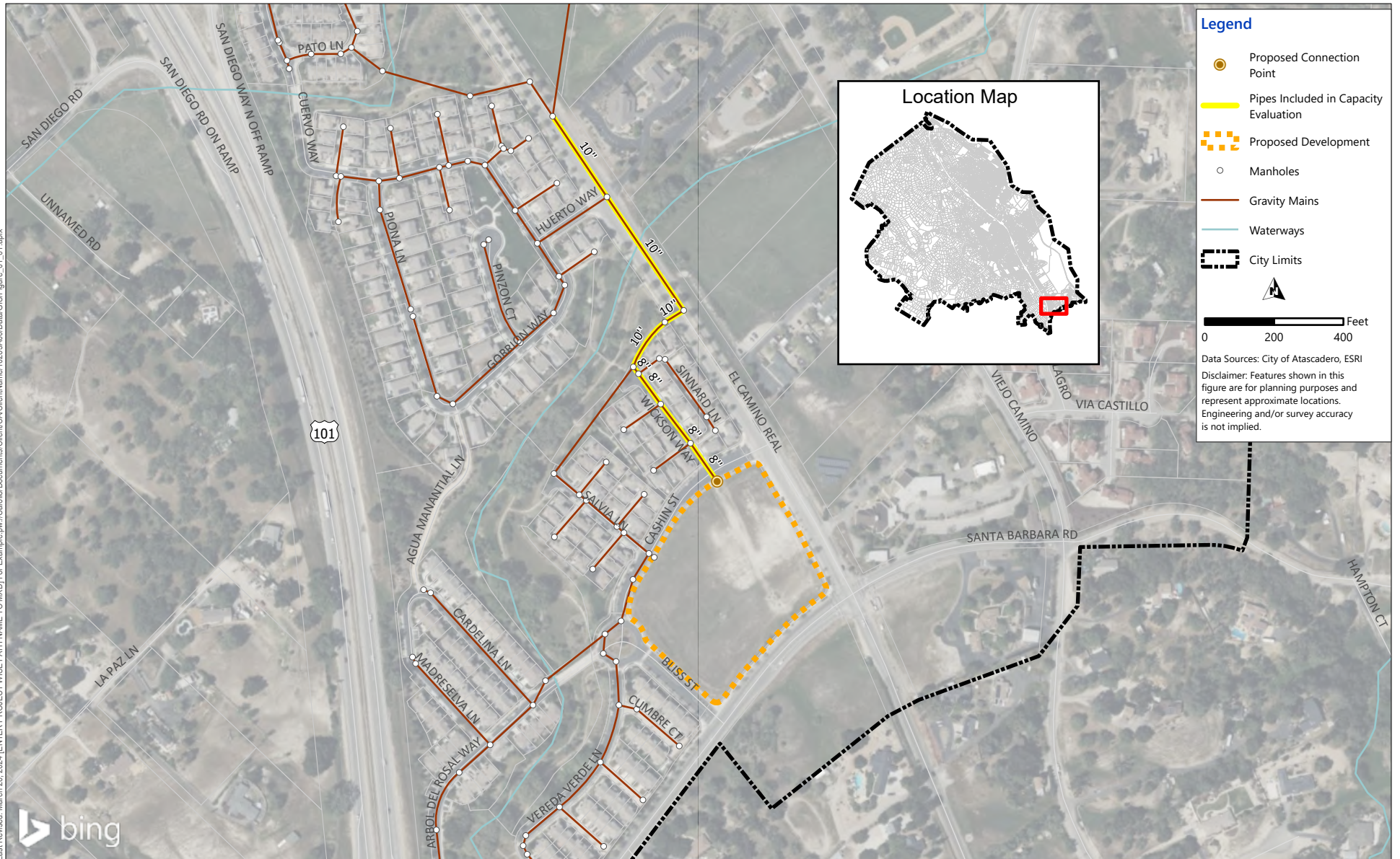
- Determine the impact of the Project on the City's existing wastewater collection system, under existing and future dry weather and wet weather conditions.
- Identify pipe capacity improvements if the capacity analysis indicates deficiencies in the City's existing collection system.

### SECTION 1 SEWER FACILITIES

This section provides an overview of the City's wastewater collection system and the facilities proposed as part of the Project. This section also summarizes the results of the capacity analysis of the City's existing gravity sewer pipelines downstream of the proposed Project.

#### 1.1 Existing and Proposed Sewer Facilities

The City's existing collection system is comprised of approximately 63 miles of gravity sewer lines, 12 lift stations, and approximately 8 miles of force mains. All wastewater generated within the City's collection system is conveyed and treated at the City's Water Reclamation Facility (WRF). The City's system experiences typical daily flows of 1.3 million gallons per day (mgd). The pipelines evaluated as part of this capacity evaluation are shown on Figure 1 with a yellow highlight and include the existing 8-inch and 10-inch diameter sewers downstream of the proposed Project just before it crosses El Camino Real at northwest of Huerta Way. The capacity evaluation is only based on existing system conditions and does not include future flows from any other planned developments or connection of additional septic systems to sewer.



Last Revised: March 26, 2024 [ENTER PROJECT WISE PATH NAME TO MXD] For Example: p:\Carollo\Documents\Client\CA\ClientName\10265400\Data\GIS\Figure\_01.aprx

Figure 1 Study Area  
 MONTAGE DEVELOPMENT, INC.  
 DOVE CREEK MIXED USE IMPACT ANALYSIS



## 1.2 Sewer Evaluation Criteria

Gravity sewer main capacities are dependent on many factors. These factors include pipe roughness, maximum allowable depth of flow, minimum and maximum velocity, minimum slope, and the method used to calculate the peak wet weather flow (PWWF). The PWWF is defined as the peak hourly flow rate occurring after a 10-year design storm. Table 1 summarizes the criteria used to evaluate the impact of the Project on the wastewater collection system, based on planning criteria recently established during the City’s ongoing Wastewater Collection System Master Plan Update. As shown in Table 1, the existing public sewer main must maintain a depth of flow to pipeline diameter ratio (d/D) less than 0.75 under peak dry weather flow (PDWF) conditions and less than 1.0 (no surcharging) under peak wet weather flow (PWWF) conditions.

Table 1 Wastewater Collection System Evaluation Criteria

Description	Value <sup>(1)</sup>
Manning’s Roughness Coefficient	0.013
Maximum d/D Existing Pipelines	<0.75 under PDWF <1.0 (no surcharging) under PWWF
Velocity	2-10 feet per second

Notes:

(1) Based on the ongoing Wastewater Collection System Master Plan Update.

## 1.3 Wastewater Flows

The average dry weather flow (ADWF) for the Project was provided by Ashley & Vance Engineering, Inc (Ashley & Vance). Table 2 summarizes the ADWF and PDWF for the Project by land use component. The total ADWF for the Project is estimated to be 9,677 gallons per day (gpd) and the PDWF is estimated to be 43,007 gpd. The wastewater flow estimates completed by Ashley & Vance are provided in Appendix B.

Table 2 Dry Weather Wastewater Flow Summary<sup>(1)(2)</sup>

Land Use Type	Size (Units, sf)	ADWF Factor (gpd/unit or sf)	ADWF (gpd)	PDWF to ADWF Peaking Factor	PDWF (gpd)
Multi-Family (Condominiums)	71	105	7,455	4.24	31,636
Commercial	13,700	60	822	5.29	4,349
Motel/Hotel	20	70	1,400	5.02	7,022
<b>Total</b>	--	--	<b>9,677</b>	--	<b>43,007</b>

Notes:

(1) Provided by Ashley & Vance (February 2024).

(2) Does not include wet weather flow, which is estimated to add 5,190 gpd of peak inflow to the projected PDWF.

For the purposes of this study, the PWWF for the Project was based on a peak inflow rate of 1,000 gpd/acre. This would result in a peak inflow of 5,190 gpd for the 5.19-acre property, which yields a PWWF of 48,197 gpd. This PWWF was added to the model and was used to evaluate the existing collection system downstream of the project.

## 1.4 Sewer Capacity Analysis

The sewer system capacity analysis was performed under existing dry and wet weather flow conditions. The wet weather flow was performed by routing a 10-year, 24-hour design storm through the hydraulic model. The maximum flow depth within the existing City pipelines downstream of the Project were evaluated under dry and wet weather conditions. There are eight pipe reaches downstream of the Project that were evaluated. The hydraulic analysis showed that none of the pipes downstream of the Project are surcharged under PWWF conditions. Table 3 summarizes the maximum flow depth results for the existing dry and wet weather scenarios. Based on the hydraulic analysis of the model, the Project does not increase the flow depth within the existing evaluated pipelines to a point where it exceeds the City's performance criteria.

Table 3 Capacity Evaluation Results

Scenario	Flow (gpd) <sup>(1)</sup>	Performance Criteria (Maximum Allowable d/D Ratio)	Modeled Maximum d/D	Meets Performance Criteria?
PDWF	43,007	0.75	0.20-0.25	Yes
PWWF	48,026	1.00	0.29-0.43	Yes

Notes:

(1) Flows input in model as constant flow.

## SECTION 2 SUMMARY OF FINDINGS

The capacity analysis for the proposed Dove Creek Mixed-Use development revealed no major potential impacts to the City's existing collection system. The hydraulic model shows that the existing 8-inch and 10-inch sewers downstream of the Project have sufficient capacity to accommodate increased flows associated with the Project. The following should be noted:

- This evaluation was based on the ADWF and PDWF flows provided by Montage and Ashley & Vance.
- PWWF was based on 1,000 gpd/acre of peak inflow (5,019 gpd) which results in a total PWWF of 48,197 gpd.
- This study was based on the evaluation of the existing collection system plus this project only. No other future growth (from other planned developments, or the connection of septic parcels) were included.



APPENDIX A      **SITE PLAN A2.1**



2-STORY RESIDENTIAL CONDOMINIUM BUILDINGS FRONTING CASHIN & BLISS STREETS

PEDESTRIAN CONNECTION THROUGH SITE TO ADJACENT RESIDENTIAL WITH FOOTBRIDGE OVER BIORETENTION AREA

3-STORY MIXED-USE BUILDING W/ COMMERCIAL SPACE, RESIDENTIAL AMENITIES AND SHORT-TERM VACATION RENTAL UNITS

ONSITE RESIDENT AMENITY SPACES (LOBBY/ LOUNGE/ FITNESS/ ETC.)

RESIDENTIAL MAILROOM  
DRIVEWAY ENTRANCE ON BLISS STREET

3-STORY RESIDENTIAL CONDOMINIUM BUILDING W/ PRIVATE GARAGES ON GROUND FLOOR

- NOTE:**
- A. REFER TO CIVIL PLANS FOR ALL GRADING, DRAINAGE & UTILITY INFORMATION.
  - B. REFER TO LANDSCAPING/ IRRIGATION PLANS FOR NEW PLANTINGS AND IRRIGATION INFORMATION.
  - C. ALL PROPERTY LINES, EASEMENTS, AND BUILDINGS (EXISTING & PROPOSED) ARE SHOWN ON THIS SITE PLAN. SEE SURVEY FOR ADDITIONAL INFORMATION.
  - D. VEHICULAR PARKING STALLS ARE 9-FEET WIDE BY 18-FEET DEEP, TYPICAL, UNLESS NOTED OTHERWISE.

DRIVEWAY ENTRANCE ON CASHIN STREET  
MONUMENT/WELCOME SIGNAGE

PARKING FOR COMMERCIAL PORTION DIRECTLY ADJACENT TO ENTRY

6'-WIDE PUBLIC UTILITIES & AMWC EASEMENT

COMMERCIAL CLUSTER MAILBOX (CBU)  
AREA IN FRONT OF BUILDING 1 TO HAVE DECORATIVE PAVING AND CAN BE CLOSED OFF FOR FARMERS' MARKETS OR OTHER EVENTS

EXISTING BUS STOP

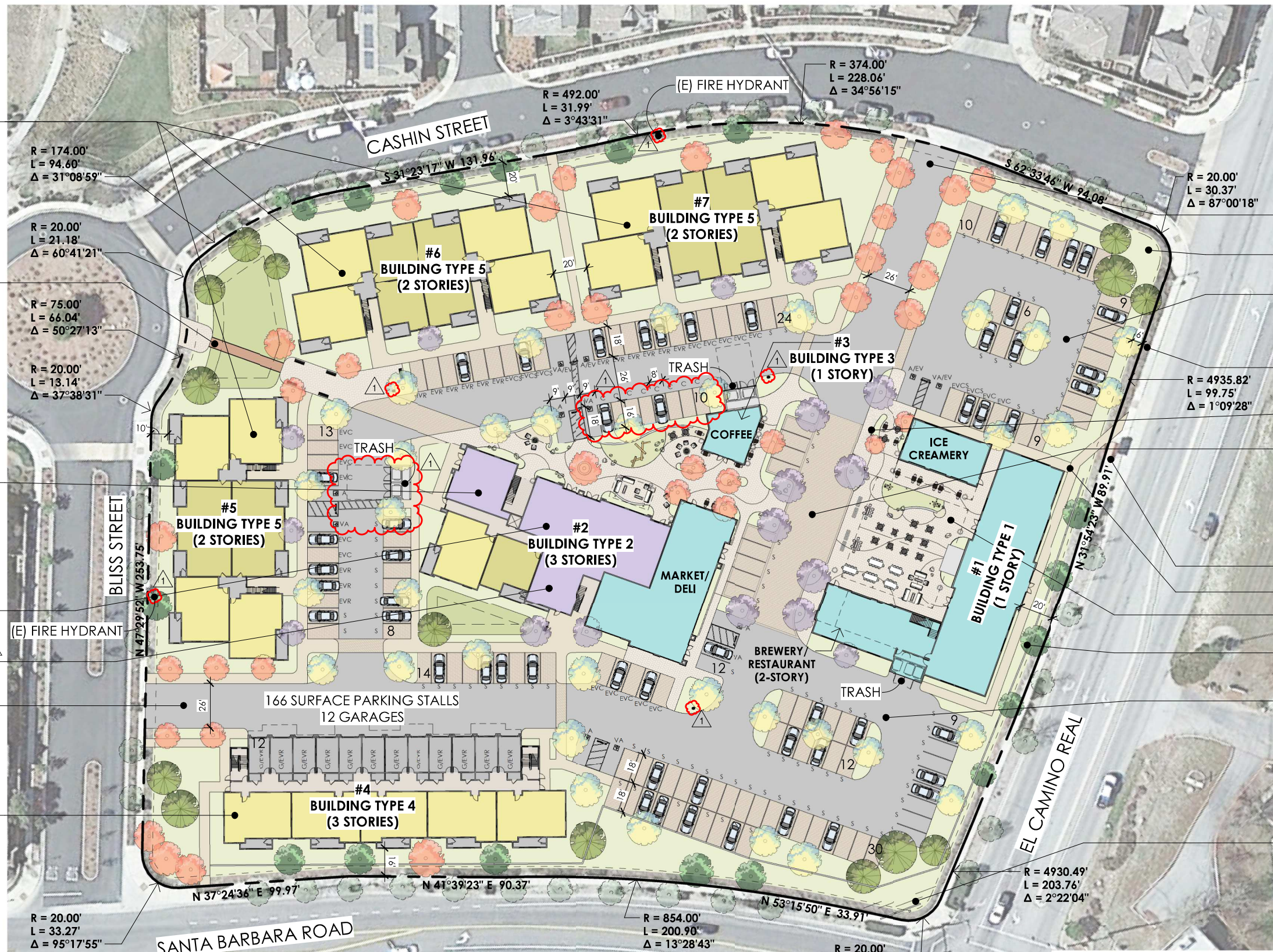
PEDESTRIAN PATHWAY

OUTDOOR LIVING ROOM (GAME & DINING AREA)

SITE RETAINING WALLS, S.C.D.

SHARED PARKING FOR RESIDENTIAL AND COMMERCIAL USES

MONUMENT/WELCOME SIGNAGE, S.L.D.



**PROPOSED ARCHITECTURAL SITE PLAN**



**Dove Creek Mixed-Use**  
ATASCADERO, CA  
CONCEPTUAL SITE PLAN

Scale	FEBRUARY 20, 2024
Project #	A22025
Scale	11x17: 1" = 40'
	24x36: 1" = 30'
Sheet	<b>A2.1</b>



APPENDIX B

# DOVE CREEK SEWER GENERATION MEMO

**Date:** February 22, 2024

**Project:** Dove Creek Mixed-Use Site Improvements

**Address:** Corner of El Camino Real and Santa Barbara Rd, Atascadero, Ca 93422

**Job #:** 231423

**Subject:** Sewer Capacity Analysis

To Whom it May Concern,

This memo has been prepared to present the results of a sewer capacity analysis for the proposed Dove Creek Mixed-Use Improvements located at the northwest corner of El Camino Real and Santa Barbara Road, herein called the project. The site improvements being proposed are located on an existing 5.19-acre vacant lot that was previously to be comprised of approximately 60,000 square feet (sf) of commercial center as part of the Tract No.2626 Dove Creek Development. A comparison of the sewer flows generated by the current project and the 60,000-square-foot commercial center that was previously entitled as a part of the Dove Creek Tract 2626 development is provided.

The project consists of (7) seven buildings made up of (5) five different building types with a total of 71 condominiums and 20 short-term rental units. The short-term rentals are a part of the project's commercial element and will function similarly to a hotel. Towards the middle of the site and along El Camino Real, Building 1 will be a beer/wine/dining hub, circling a public outdoor courtyard for dining, recreation, and musical events. Building 2 contains a ground-floor commercial space, short-term rental units, and a residential clubhouse with an onsite manager's office, residential lounge, and fitness center. Building 3, across from a residential courtyard from building 2 will be entirely commercial. Buildings 4, 5, 6, and 7, along Cashin and Bliss stress, will be comprised of for-sale condominiums.

The City of San Luis Obispo Uniform Design Criteria (Section 7.1.1) in the 2020 Standard Specifications and Engineering Standards was used as a design basis for the quantification of the new wastewater flows. Wastewater flows for the (2006) Tract 2626 Dove Creek Development commercial center were not completed. So, this hypothetical site was also analyzed per the City of San Luis Obispo Uniform Design Criteria (Section 7.1.1). A summary of the calculations is shown in Table 1 and Table 2.

**Table 1 –Sewer Design Flows for The Project (current)**

	Units or k-SQFT	ADWF Factor***	ADWF Unit	ADWF* (GPD)	Q (MGD)	Peak Factor, PF	PDWF** (GPD)	
SFU	-	150	gpd/EDU	-	-	-	-	
MFU	71	105	gpd/EDU	7,455	0.00746	4.24	31,636	
Industrial/Manufacturing	-	54	gpd/k-sqft gross floor area	-	-	-	-	
Business Park	-	54	gpd/k-sqft gross floor area	-	-	-	-	
Commercial	13.7	60	gpd/k-sqft gross floor area	822	0.00082	5.29	4,349	
Motel/Hotel	20	70	gpd/room	1,400	0.00140	5.02	7,022	
				<b>9,677</b>	<b>GPD</b>		<b>43,007</b>	<b>GPM</b>
				<b>7</b>	<b>GPM</b>		<b>30</b>	<b>GPM</b>

\*Average dry-weather flow (ADWF)

\*\*Peak dry-weather flow (PDWF)

\*\*Per Section 7.1.1, City of SLO 2020 Standard Specifications and Engineering Standards



**Table 2 – Sewer Design Flows for the 60,000 sf. Commercial center (previously entitled)**

	Units or k-SQFT	ADWF Factor***	ADWF Unit	ADWF* (GPM)	Q (MGD)	Peak Factor, PF	PDWF** (GPD)	
SFU	-	150	gpd/EDU	-	-	-	-	
MFU	-	105	gpd/EDU	-	-	-	-	
Industrial/Manufacturing	-	54	gpd/k-sqft gross floor area	-	-	-	-	
Business Park	-	54	gpd/k-sqft gross floor area	-	-	-	-	
Commercial	60	60	gpd/k-sqft gross floor area	3,600	0.00036	4.56	16,430	
Motel/Hotel	-	70	gpd/room					
				3,600	GPD		16,430	GPM
				3	GPM		11	GPM

\*Average dry-weather flow (ADWF)

\*\*Peak dry-weather flow (PDWF)

\*\*\*Per Section 7.1.1, City of SLO 2020 Standard Specifications and Engineering Standards

The City's existing sewer system is stubbed to the property along Cashin Street in two locations according to the Tract 2626 Dove Creek Development record drawings. There is an 8-inch PVC stub at the manhole near the intersection of Cashin Street and Salvia Lane, and there is another stub near the intersection of Wickson Way and Cashin Street. It is expected that the proposed project will connect to the city's existing sewer system near the intersection of Wickson Way and Cashin Street. The proposed peak flows of the project are approximately 3 times greater than the peak flows generated by a 60,000-square foot commercial space.

Attachments:  
 Exhibit- City Sewer Atlas Markup

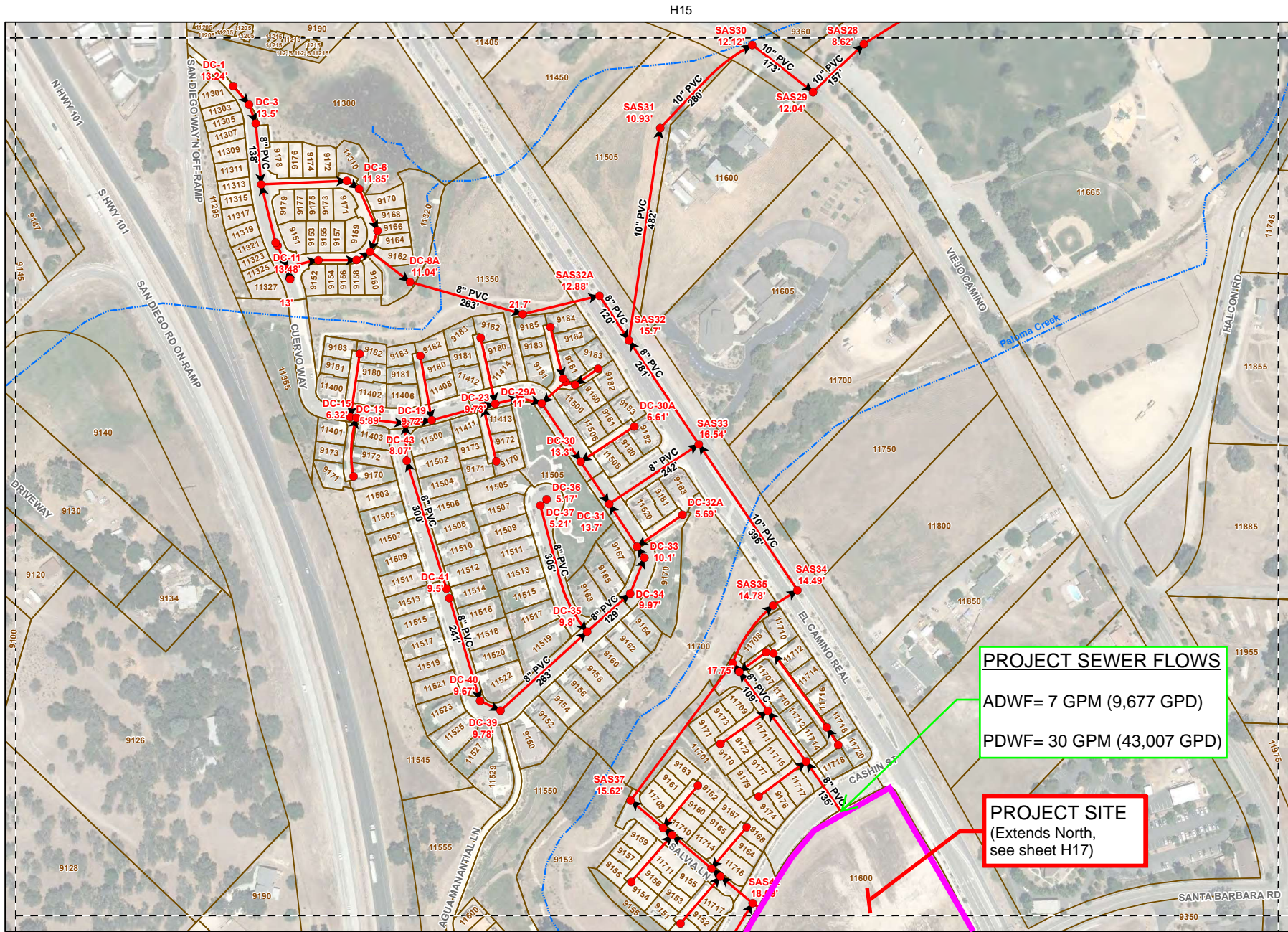
Sincerely,



Dan Bergam, P.E.  
 (805) 545-0010 x.208



Kathleen Allwine, P.E.  
 (805) 545-0010 x.165



**WASTEWATER COLLECTION SYSTEM ATLAS**

- LEGEND**
- MANHOLE
  - LIFT STATION
  - WWTP
  - GRAVITY PIPE
  - FORCE MAIN
  - WATERWAYS
  - CITY LIMITS
  - PARCELS
  - ATLAS GRID

16  
  
 1 INCH : 200 FEET

SHEET:  
**H16**

NOTES:  
 BASEMAP PROVIDED BY CITY OF ATASCADERO.  
 MAP DEVELOPED FOR SEWER FACILITY MANAGEMENT. NOT TO BE USED FOR DESIGN OR CONSTRUCTION.  
 PUBLISHED OCTOBER 2015.



**PROJECT SEWER FLOWS**

ADWF= 7 GPM (9,677 GPD)  
 PDWF= 30 GPM (43,007 GPD)

**PROJECT SITE**  
 (Extends North, see sheet H17)





**WASTEWATER  
COLLECTION  
SYSTEM ATLAS**

**LEGEND**

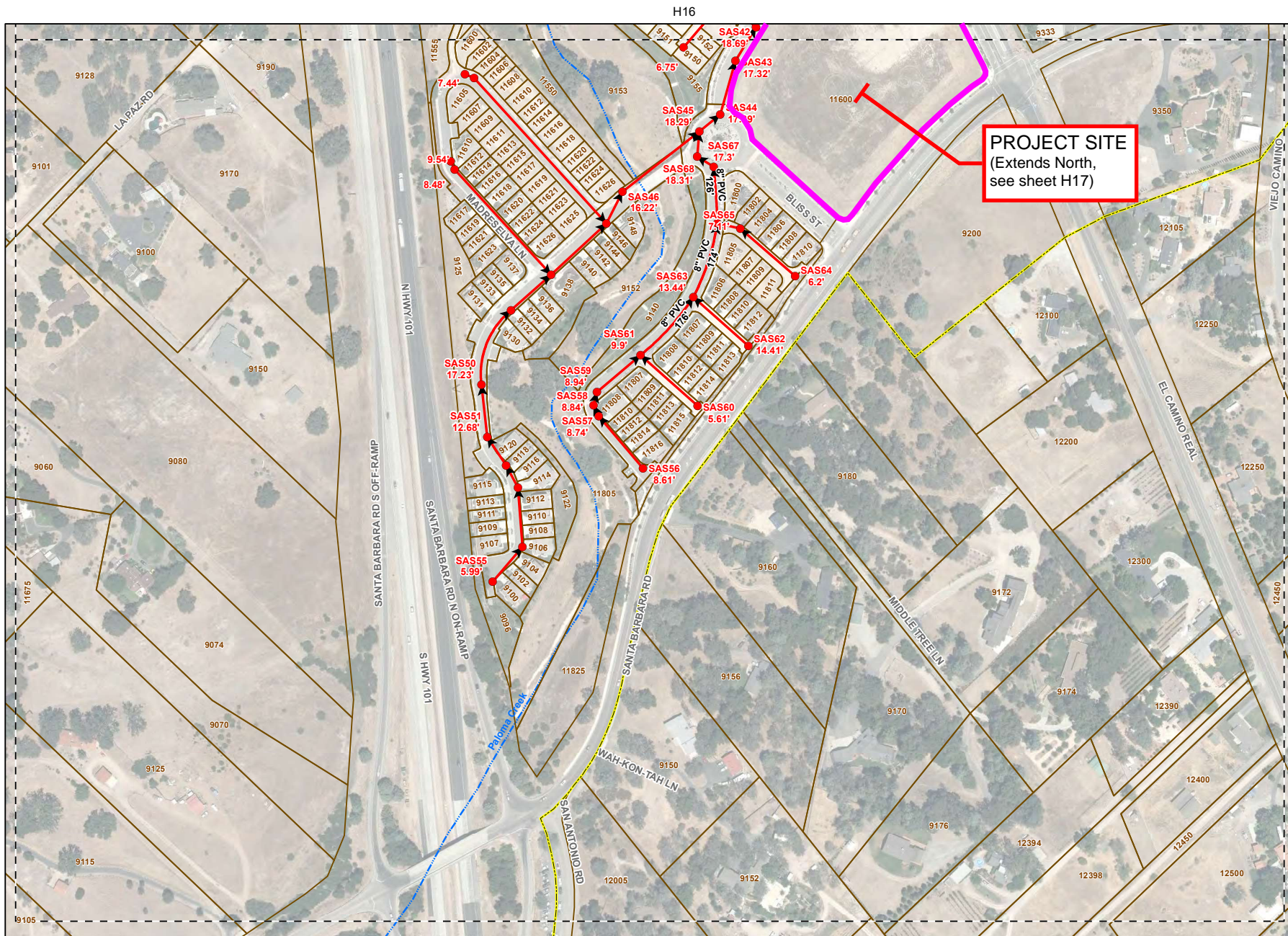
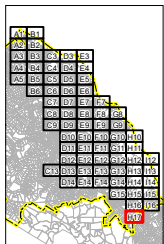
- MANHOLE
- LS LIFT STATION
- WTP WWTP
- GRAVITY PIPE
- FORCEMAIN
- WATERWAYS
- CITY LIMITS
- PARCELS
- ATLAS GRID



1 INCH : 200 FEET

**SHEET:  
H17**

**NOTES:**  
BASEMAP PROVIDED BY  
CITY OF ATASCADERO.  
MAP DEVELOPED FOR  
SEWER FACILITY  
MANAGEMENT. NOT TO  
BE USED FOR DESIGN  
OR CONSTRUCTION.  
PUBLISHED OCTOBER 2015.



**PROJECT SITE**  
(Extends North,  
see sheet H17)



# CITY OF ATASCADERO

## PLANNING COMMISSION STAFF REPORT

Item 3

**Department:** Community Development  
**Date:** 5/21/2024

**TO:** Phil Dunsmore, Community Development Director

**FROM:** Kelly Gleason, Planning Manager

**PREPARED BY:** Xzandrea Fowler, Senior Planner

**SUBJECT:** USE24-0033, Barber Automotive Repair, Towing, and Outdoor Vehicle Storage  
7625 San Luis Avenue, Atascadero, CA 93422 (APN 030-241-058)

---

### RECOMMENDATION:

Planning Commission adopt Draft Resolution A, approving Conditional Use Permit USE24-0033 allowing for the establishment of an Automotive Repair Shop with Towing and Outdoor Vehicle Storage, and a modification of the required fence screening and landscape setback, subject to findings and conditions of approval.

### DISCUSSION:

#### PROJECT SUMMARY

Barber Towing and Service proposes to relocate its existing automotive repair and towing service business to a 0.39-acre property located at 7625 San Luis Avenue (APN 030-241-058) in the Commercial Service (CS) zoning district. The property is developed with an existing 3,000-square-foot (SF) building that will be used for automotive repair service and associated administrative office uses. The project includes the construction of an interior fence behind the existing building with a controlled access gate to securely store towed vehicles and the tow truck fleet within an approximately 9,000 SF area (4,000 SF for access to the automotive repair service bay and the parking area for tow fleet vehicles, and 5,000 SF for towed vehicle storage), and minor façade changes to the existing building and landscape improvements. The business currently has four employees. The existing structure is currently undergoing replacement of damaged siding and interior improvements to the existing plumbing fixtures. New commercial signage will be installed.

#### BACKGROUND

In 2024, the City Council adopted zoning code updates to add towing services as a use separate from service stations. The code updates established zoning and development requirements for towing services under the definition "Towing and Impound Yards" (AMC 9-3.330, AMC 9-3.500, and 9-6.167). The update established towing services as allowed or conditionally allowed in the service commercial and industrial zone, subject to specific standards. Under the previous



regulations and standards, there were few if any locations in the city that could accommodate a towing service with a small impound yard. The amendment to the land use definition was approved with the intent to increase the locations that a towing service may locate in the city while applying standards to how large the impound area can be. Under the newly adopted standards, towing services is a conditionally allowed use in the Commercial Service zoning district.

**EXISTING BUILDING AND SITE CONDITIONS**

The existing building is a 3,000 SF single-story structure with a gable roof and metal siding painted a neutral color with brown fascia, facing San Luis Avenue and Highway 101. The existing gable roof has a deep overhang on the front elevation and no overhang on the side or rear elevations. The sole articulation to the exterior of the building is around the front entrance where a partial brick façade frames the black metal and glass front door and extends underneath the black metal sliding window frames.

The front elevation also has a four-post wood awning extending the length of the brick façade. The wood posts and support beams are rotten due to exposure to the elements. The project proposal includes the repair and replacement of the damaged wood posts and beams, and the installation of an awning cover to provide screening from the sun.

The existing landscaping consists of two landscape areas, the first is on the northwest corner of the site and the second is on the southwest corner of the existing building. The project proposal includes replanting in the existing landscape areas, and planters may be added near the building's entrance.

**ANALYSIS**

Automotive Repair and Service is an allowed use in the Commercial Service (CS) zoning district subject to the approval of a Zoning Clearance. Towing and Outdoor Vehicle Storage is an allowed use in the CS zoning district subject to the approval of a Conditional Use Permit by the Planning Commission. The project complies with all applicable development standards of the CS zone, except the fence screening and landscape setback requirements, for which the applicant is requesting modification. On May 2, 2024, the Design Review Committee (DRC) reviewed and endorsed the project design, subject to recommendations which have been included as conditions of approval.

***FENCE SCREENING AND LANDSCAPE SETBACK MODIFICATION***

The request for this Conditional Use Permit includes a modification to allow for only the portion of the existing fence that is located along the eastern property line abutting an existing residential use to be screened, and to waive the minimum 10-foot landscape setback between the public street and the parking lot area and the planting of street trees.



Atascadero Municipal Code (AMC) §9-4.128 requires outdoor storage, including stored towed vehicles, to be screened on all sides by a wall or solid fencing. However, Atascadero Municipal Code (AMC) § 9-4.113 allows the Planning Commission to approve modifications to fencing and screening requirements as follows:

*Planning Commission Modification. Any of the requirements of this section [AMC § 9-4.128] may be waived or modified through conditional use permit approval, provided the Planning Commission first finds that specifically identified characteristics of the site or site vicinity would make required fencing or screening unnecessary or ineffective.*

There is existing 6'-0" tall chain link fencing along the entire northern and eastern property lines. Along the southern property line, there is a significant elevation change with an existing concrete masonry wall and a 3'-0" tall chain link fence on top. The existing fencing encloses the entire portion of the property that is located behind the existing structure but is transparent in nature and does not provide solid screening as required by the municipal code. The applicant is proposing to screen the portion of the existing fence that is located along the eastern property line abutting an existing residential use utilizing typical plastic slats. The applicant is requesting modification of the screening requirement along the northern and western property lines due to



the existing site characteristics, an existing non-screened outdoor storage operation (Waste Management bin storage), and the location of the existing building blocking the visibility of the proposed outdoor storage area from the public view. A condition to screen the fence along the east property line adjacent to the residential use and the access gate with a corrugated metal fence panel or similar material is included as a condition of approval. A condition is also included to ensure that the fencing and screening are maintained for the project's life. The findings indicated in the code section above are listed and discussed in the attached resolution.

AMC §9-6.167 identifies site design criteria for Towing Services that require a minimum 10-foot-wide landscape setback to be provided along all street frontages. AMC §9-4.125 requires street trees to be provided along all public street frontages at a minimum of 30 feet on the center. However, AMC §9-4.125 allows the Planning Commission to approve modifications to landscaping requirements as follows:

*Planning Commission Modification. Where conditional use permit approval is required, the Planning Commission may waive, modify, or increase the landscaping requirements of this section if a finding can be made that existing vegetation, topography or structural arrangement precludes the need for landscaping.*

The existing site is paved or improved with a structure, except for the two landscape areas along the northwest corner of the site and the southwest corner of the building. To bring the site into compliance with the minimum 10-foot landscape setback and the street tree requirement, substantial reconfiguration of the parking lot area would be necessary. As this site exists with minimal ability to reconfigure the parking lot area, staff recommends approval of the modification as requested.

### **PARKING**

AMC standards require four parking spaces per service bay for auto repair uses. No specific parking requirement is included for vehicle storage provided that adequate parking is available to accommodate all employees and visitor vehicles on-site.

There are currently 4 spaces on site in front of the building. Based on the number of service bays, 1 parking spaces are required for the auto repair use. The applicant estimates to have between 4 and 6 employees. The applicant is proposing to utilize an approximately 4,000 SF area directly behind the existing building as the dedicated parking area for the towing operation fleet vehicles and any additional employees. The applicant is not proposing stripping the parking spaces within this area to provide more operational flexibility and fleet diversity (i.e., size and type of tow vehicle – wheel lift, flatbed, etc.). Restriping of spaces in the front lot will be required to meet requirements for the auto repair use and comply with ADA standards.

### **LANDSCAPING**

AMC 9-4.125 requires a minimum 10% landscaped area based on the net site area for projects within the Commercial Service zoning district and a minimum five-foot landscaping strip within the side yard of all commercial project sites.

There are two existing landscape areas on the northwest corner of the site and the southwest corner of the existing building. No additional landscaping is proposed. As described above,

applicant is requesting a modification to retain and refresh only the and the existing landscape planters. A condition is included requiring the existing landscape areas to be replanted.

**NEIGHBORHOOD COMPATIBILITY**

The project design is within a service oriented commercial area adjacent to highway 101. The project site is surrounded by the following uses: a brewery and restaurant (Blast and Brew) to the south, non-conforming residential uses to the east, an outdoor storage facility (Waste Management) to the north, and San Luis Avenue and Highway 101 to the west.

The existing location of the building restricts the visibility of the proposed outdoor vehicle storage area from the public right-of-way. The existing site conditions and adjacent land use minimize the potential for neighborhood compatibility conflicts to arise. The existing brewery and restaurant to the south of the project site use the area adjacent to the site for deliveries and outdoor storage of products and supplies. The non-conforming residential uses to the east are setback from the shared property line and the property is heavily vegetated. The proposed activities on the site adjacent to the non-conforming residential property will be limited to towed vehicle storage that will be screened by the existing vegetation and the proposed 6'-0" high fence along the entire eastern property line. The existing outdoor storage facility to the north operated by Waste Management is not screened and the proposed project will not result in any compatibility conflicts.

**CONCLUSION**

- The request for Conditional Use Permit USE24-0033 to allow for the operation of an automotive repair shop with towing and outdoor vehicle storage at 7625 San Luis Avenue (APN 030-241-058) complies with all requirements of the City Municipal Code, as conditioned.
- Findings are included to approve fence screening modifications along the northern and western property lines due to the existing site characteristics, an existing outdoor storage operation (Waste Management bin storage), and the existing building blocking visibility from the public right-of-way.
- Landscape modifications to waive the requirement for the minimum 10-foot-wide landscape setback to be provided along all street frontages due to the existing site configurations and the minimal ability to reconfigure the parking lot area without substantial investment in a property that is being leased for the proposed use are also recommended, based on findings.
- The proposed automotive repair service with towing and outdoor vehicle storage has been designed for compatibility with the surrounding development.

**ENVIRONMENTAL DETERMINATION:**

The proposed project qualifies for a Class 1 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) under CEQA Guidelines Section 15301, which exempts the operation or leasing of existing facilities that involve negligible or no expansion. This exemption is included in the draft resolution.



**ALTERNATIVES:**

1. The Planning Commission may include modifications to the project and/or conditions of approval for the project. Any proposed modifications including conditions of approval, should be clearly re-stated in any vote on any of the attached resolutions.
2. The Planning Commission may determine that more information is needed on some aspect of the project and may refer the item back to the applicant and staff to develop the additional information. The Commission should clearly state the type of information that is required. A motion, and approval of that motion, is required to continue the item to a future date.
3. The Planning Commission may deny the project. The Commission must specify what findings cannot be made, and provide a brief oral statement, based on the Staff Report, oral testimony, site visit, correspondence, or any other rationale introduced and deliberated by the Planning Commission.

**REVIEWED BY OTHERS:**

The Project has undergone the standard development review process which includes review by Fire, Planning, and Public Works, as well as design review and endorsement by the DRC.

**REVIEWED AND APPROVED FOR PLANNING COMMISSION AGENDA**

---

Phil Dunsmore, Community Development Director

**ATTACHMENTS:**

1. Draft Resolution
2. Site Pictures

**ATTACHMENT 1: Draft Resolution  
USE24-0033**

**DRAFT PC RESOLUTION**

**RESOLUTION OF THE PLANNING COMMISSION OF  
THE CITY OF ATASCADERO, CALIFORNIA,  
APPROVING CONDITIONAL USE PERMIT USE24-0033 ALLOWING FOR  
THE ESTABLISHMENT OF AN AUTOMOTIVE REPAIR SHOP WITH  
TOWING AND OUTDOOR VEHICLE STORAGE, AND A MODIFICATION  
OF FENCE SCREENING AND LANDSCAPE SETBACK**

**Barber Towing and Service  
7625 San Luis Avenue, APN 030-241-058**

**WHEREAS**, an application has been received from Barber Towing and Service (Applicant) and Larry Price (Owner) to consider Conditional Use Permit USE24-0033 allowing for the establishment of an automotive repair shop with towing and outdoor vehicle storage, and a modification of the required fence screening and landscape setback on a 0.39-acre property located a 7625 San Luis Avenue (APN 030-241-058); and

**WHEREAS**, the site has a General Plan Designation of Service Commercial (SC); and

**WHEREAS**, the site is in the Commercial Service (CS) zoning district; and

**WHEREAS**, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the state and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

**WHEREAS**, a timely and properly noticed Public Hearing upon the subject Conditional Use Permit application was held by the Planning Commission of the City of Atascadero, at which hearing evidence, oral and documentary, was admitted on behalf of said Conditional Use Permit and Fence Screening and Landscape Setback Modification; and

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Atascadero, California, makes the following findings, determinations, and recommendations with respect to the proposed Conditional Use Permit and Fence Screening and Landscape Setback Modification:

**SECTION 1. Recitals**: The above recitals are true and correct and incorporated herein as if set forth in full.

**SECTION 2. Public Hearings**. The Planning Commission held a duly noticed public hearing to consider the project on May 21, 2024, and considered testimony and reports from staff, the applicants, and the public.



**SECTION 3. Findings for approval of Conditional Use Permit and Fence Screening and Landscape Setback Modification.** The Planning Commission finds as follows:

1. The proposed use is consistent with the General Plan.

**Fact:** The Project is consistent with all applicable General Plan goals and policies. The project site has a Service Commercial use designation and is zoned Commercial Service. The project site is privately owned and developed with a vacant 3,000 SF structure. In the Commercial Service zoning district, Automotive Repair and Service is an allowable use, subject to a Zoning Clearance, and Towing and Outdoor Vehicle Storage is an allowable use, subject to the approval of a Conditional Use Permit.

2. The proposed project satisfies all applicable provisions of Title 9 of the City of Atascadero Municipal Code (Zoning Regulations of the City of Atascadero).

**Fact:** The Project will satisfy all provisions of the Atascadero Municipal Code Title 9 of the City of Atascadero Municipal Code. The project site is zoned Commercial Service which allows Automotive Repair and Service is an allowed use, subject to a Zoning Clearance, and Towing and Outdoor Vehicle Storage is an allowed use, subject to the approval of a Conditional Use Permit. The fence screening modification to allow for only the portion of the existing fence that is located along the eastern property line abutting an existing residential use to be screened and the landscape setback modification to waive the minimum 10-foot landscape setback between the public street and the parking lot area and the planting of street trees are permissible subject to the approval of a Conditional Use Permit. The use, as well as the general project location and design, are consistent with development standards prescribed by the municipal code.

3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use or be detrimental or injurious to property or improvements in the vicinity of the use.

**Fact:** The Project is not detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, nor is it detrimental or injurious to property or improvements in the vicinity of the use. The construction and operation shall be expected to meet all applicable local regulations, project conditions, and requirements of the state building code as adopted by the City.

4. That the proposed project will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development.

**Fact:** The project is consistent character of the immediate neighborhood and aligned with its orderly development. The project consists of the operation of an automotive repair shop with towing and outdoor vehicle storage by utilizing the existing 3,000-SF

building for automotive repairs and associated administrative office uses, installing an interior fence to restrict access to the rear of the property for the secured storage of towed vehicles and tow truck within an approximately 9,000 SF area (4,000 SF for access to the automotive repair service bay and the parking area for tow fleet vehicles, and 5,000 SF for towed vehicle storage), and minor facade changes to the building and landscaping improvements on the 0.39-acre property. The property is surrounded by the following uses: a brewery and restaurant (Blast and Brew) to the south, non-conforming residential uses to the east, an outdoor storage facility (Waste Management) to the north, and San Luis Avenue and Highway 101 to the west. The facility will be staffed by four to six employees and minimally intrusive to any of the surrounding uses. Conditions of approval are included to ensure the facility is appropriately maintained for the life of the project.

5. That the proposed project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

**Fact:** Traffic generated by the Project will not exceed the road capacities of the General Plan. The facility will have four to six permanent onsite employees and a minimal number of customers dropping off vehicles for service or picking up towed vehicles during normal business hours (8:00 am to 5:00 pm).

#### *Fence Screening and Landscape Setback Modification Findings*

6. That the specifically identified characteristics of the site or site vicinity would make required fencing or screening unnecessary or ineffective.

**Fact:** There is existing 6'-0" tall chain link fencing along the entire northern and eastern property lines. Along the southern property line, there is a significant elevation change with an existing concrete masonry wall and a 3'-0" tall chain link fence on top. The existing fencing encloses the entire portion of the property that is located behind the existing structure. The project includes screening the portion of the existing fence that is located along the eastern property line abutting an existing residential use. Screening is unnecessary along the northern and western property lines due to the existing site characteristics, an existing non-screened outdoor storage operation (Waste Management bin storage), and the location of the existing building blocking the visibility of the proposed outdoor storage area from the public view. A condition is included to ensure that the fencing and screening are maintained for the project's life.

7. That the existing vegetation, topography or structural arrangement precludes the need for landscaping.



**Fact:** The existing site is paved or improved with a structure, except for the two landscape areas along the northwest corner of the site and the southwest corner of the building. To bring the site into compliance with the minimum 10-foot landscape setback required between the public street and the parking lot area and the street tree requirement, substantial reconfiguration of the parking lot area would be necessary. Due to the existing site conditions, the ability to reconfigure the parking lot area is limited.

**SECTION 4. CEQA.** The project is exempt from the California Environmental Quality Act (CEQA), under Categorical Exemption §15301, Class 1: Existing Facilities as identified in the attached Notice of Exemption.

**SECTION 5. Approval.** The Planning Commission of the City of Atascadero, in a regular session assembled on May 21, 2024, resolves to approve Conditional Use Permit USE24-0033, subject to the following:

- EXHIBIT A: Conditions of Approval
- EXHIBIT B: San Luis Avenue Elevation
- EXHIBIT C: Site Plan
- EXHIBIT D: Notice of Exemption

On motion by Commissioner \_\_\_\_\_, and seconded by Commissioner \_\_\_\_\_ the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES:	( )
NOES:	( )
ABSTAIN:	( )
ABSENT:	( )
ADOPTED:	

CITY OF ATASCADERO, CA

\_\_\_\_\_  
Tori Keen  
Planning Commission Chairperson

Attest:

\_\_\_\_\_  
Phil Dunsmore  
Planning Commission Secretary

**Exhibit A: Conditions of Approval  
USE24-0033**

<b>Conditions of Approval USE24-0033 Barber Towing and Service  APN 030-241-058</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<b>PLANNING DIVISION</b>		
1. This approval is for Conditional Use Permit USE24-0033 as depicted and described on the attached exhibits allowing for the establishment of an automotive repair shop with towing and outdoor vehicle storage, and a modification of the required fence screening and landscape setback at 7625 San Luis Avenue (APN 030-241-058). The approval of these entitlements project runs with the land, regardless of the owner.	<b>Ongoing</b>	<b>PS</b>
2. The approval of these entitlements shall become final and effective for the purposes of issuing building permits fourteen (14) days after the Planning Commission hearing unless an appeal is made in accordance with the Atascadero Municipal Code.	<b>Ongoing</b>	<b>PS</b>
3. In accordance with the Atascadero Municipal Code section 9-8.105, any violation of any of the conditions of approval may be cause for revocation of this entitlement and subject the applicant and/or future property owners to the penalties set for in the Atascadero Municipal Code, as well as any other available legal remedies.	<b>Ongoing</b>	<b>Ongoing</b>
4. The Community Development Department shall have the authority to approve the following minor changes to the project that (1) modify the site plan project by less than 10%, and/or (2) result in a superior site design or appearance.	<b>BP</b>	<b>PS, CE</b>
5. Approval of these entitlements shall be valid for twenty-four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless the project has received a time extension consistent with the Atascadero Municipal Code.	<b>BP</b>	<b>PS</b>
6. The applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning this conditional use permit.	<b>Ongoing</b>	<b>PS</b>
7. All outdoor lighting shall be fully shielded and directed downward directly to the ground. Any parking lot lighting shall include a minimum 2" shield or 2" lens recess.	<b>Ongoing</b>	<b>PS</b>
8. The existing wood posts and beams shall be repaired and /or replaced.	<b>BP</b>	<b>PS</b>
9. The existing landscape areas shall be refreshed and replanted with additional landscaping material (i.e., drought-tolerant and/ or native plants. One shade tree shall be planted in the existing planters.  Planning shall ensure landscaping is installed consistently before final building inspection. The applicant shall maintain the approved landscaping for the life of the project. Compliance shall be	<b>BP, FI</b>  <b>Ongoing</b>	<b>PS</b>

<p><b>Conditions of Approval</b>  <b>USE24-0033</b>  <b>Barber Towing and Service</b></p> <p><b>APN 030-241-058</b></p>	<p><b>Timing</b></p> <p>BL: Business License  GP: Grading Permit  BP: Building Permit  FI: Final Inspection  TO: Temporary Occupancy  FO: Final Occupancy</p>	<p><b>Responsibility /Monitoring</b></p> <p>PS: Planning Services  BS: Building Services  FD: Fire Department  PD: Police Department  CE: City Engineer  WW: Wastewater  CA: City Attorney</p>
<p>monitored and enforced during subsequent permitting for the facility. All trees shall be maintained in a manner that allows the tree to grow to its natural height and spread. No topping or application of growth inhibitors shall be allowed.</p>		
<p>10. The applicant shall submit a building permit to stripe the parking stalls in the lot in front of the building. Accessibility standards shall be met, as required.</p>	<p><b>BP, FI</b></p>	<p><b>PS</b></p>
<p>11. The fence along the east property line and the access gate shall be screened with corrugated metal fence panels or similar material to minimize the visual impact of the outdoor vehicle storage area from the adjacent residential uses and the public right-of-way.</p>	<p><b>BP, FI</b></p>	<p><b>PS</b></p>
<p>12. All fencing and landscaping shall be maintained in substantial conformity in perpetuity unless otherwise approved by the Community Development Department.</p>	<p><b>Ongoing</b></p>	<p><b>PS</b></p>
<p>13. Commercial signage shall comply with AMC 9-15.007. A building permit shall be required prior to the installation of any future commercial signage.</p>	<p><b>BP, FI</b></p>	<p><b>PS</b></p>



**EXHIBIT B: Elevation – View from San Luis Avenue  
USE24-0033**



**EXHIBIT C: Site Plan**  
**USE24-0033**



**EXHIBIT D: Notice of Exemption**  
**USE24-0033**



**CITY OF ATASCADERO**  
**NOTICE OF EXEMPTION**

6500 Palma Avenue Atascadero, CA 93422 805.461.5000

TO:  Clerk-Recorder Office  
County of San Luis Obispo  
1055 Monterey Street Suite D120  
San Luis Obispo, CA 93408

Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

FROM: City of Atascadero  
Community Development Department  
6500 Palma Avenue  
Atascadero, CA 93422

Date Received Stamp

[Empty dashed box for Date Received Stamp]

**SUBJECT: Filing of Notice of Exemption in Compliance with Sections 15062 and 21152 of the Public Resources Code**

Project Title: USE24-0033, Barber Automotive Repair, Towing, and Outdoor Vehicle Storage

Project Applicant: Barber Towing and Service, 4490 Traffic Way, Atascadero, CA 93422;  
barber.towingandservice@gmail.com; (805) 305-8976

Project Location: 7625 San Luis Avenue, Atascadero, CA 93422 (APN 030-241-058)

Project Description: Conditional Use Permit with Fence Screening and Landscape Setback Modification allowing for the establishment of an automotive repair shop with towing and outdoor vehicle storage on a 0.39-acre property located at 7625 San Luis Obispo Avenue (APN 030-241-058) in the Commercial Service (CS) zoning district. The existing 3,000 SF building will be used for automotive repair service and associated administrative office uses. A 6'-0" interior fence will be constructed behind the existing building with a controlled access gate to securely store towed vehicles and tow truck fleet within an approximately 9,000 SF area (4,000 SF for access to the automotive repair service bay and the parking area for the tow fleet vehicles, and 5,000 SF for towed vehicle storage), and minor faced changes to the existing buildings and landscape improvements.

Name of Public Agency Approving Project: City of Atascadero

Name of Person or Agency Carrying Out Project: Barber Towing and Service



Exempt Status:

- |                          |                                       |                                     |  |
|--------------------------|---------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | Ministerial (Sec. 15268);             | <input type="checkbox"/>            | General Rule Exemption (Sec. 15061. c);    |
| <input type="checkbox"/> | Declared Emergency (Sec. 15269(a));   | <input checked="" type="checkbox"/> | Categorically Exempt (Sec. 15301 - 15333); |
| <input type="checkbox"/> | Emergency Project (Sec. 15269(b)(c)); | <input type="checkbox"/>            | Statutory Exemption (Sec. 15261 - 15285)   |

Reasons why the project is exempt: The project is exempt from environmental review pursuant to CEQA Guidelines Section 15301 (Existing Facilities). The proposed project will utilize a previously developed site for the establishment of an automotive repair shop with towing and outdoor vehicle storage. The proposed alterations to the interior of the existing 3,000 SF building are limited to the repair and replacement of existing plumbing fixtures. The exterior alterations are limited to the installation of a 6'-0" chain link fence with a controlled access gate and the repair and replacement of the damaged existing four-post wood awning wood posts and support beams. The site alterations are limited to replanting existing landscape areas and striping parking spaces within the existing parking lot area. There are no sensitive environmental resources on the project site or unusual environmental circumstances surrounding the project site. There are no scenic or historical resources in the vicinity of the project site. The site is not a listed hazardous waste site property. There are no cumulative impacts from associated successive projects.

Lead Agency Contact Person: Xzandrea Fowler, Planner  
(805) 470-3160  
xfowler@atascadero.org

Date Exemption Accepted: 05/21/2024

---

**ATTACHMENT 2: Site Photos  
USE24-0033**

**1) Existing Building – Front (West Facing)**



**2) Existing Building – Rear (East Facing)**



**3) Existing Building – Siding to be Repaired/Replaced**



**4) Existing Landscape Area – North Property Line**





**5) Existing Landscape Area – Corner of Building**



**6) Existing Damaged Wood Post and Beams**



**7) Existing Concrete Masonry Wall and Fence – South Property Line**



**8) Proposed Tow Truck Fleet Parking Area – North Property Line**



**9) Proposed Outdoor Vehicle Storage Area – Northeast Corner**



**10) Proposed Outdoor Vehicle Storage Area –  
West Property Line Abutting Residential Use**





**11) Proposed Location of Access Gate – South Property Line Facing San Luis Avenue**





**Department:** Community Development  
**Date:** 5/21/24  
**Placement:** Public Hearing

**TO:** PHIL DUNSMORE, COMMUNITY DEVELOPMENT DIRECTOR  
**FROM:** KELLY GLEASON, PLANNING MANAGER  
**PREPARED BY:** SAM MOUNTAIN, ASSISTANT PLANNER  
**SUBJECT:** Conditional Use Permit for Jax Smoke Emporium

---

**RECOMMENDATION:**

Planning Commission adopt Draft PC Resolution, approving USE24-0018 and allowing a tobacco retailer at 9520 El Camino Real Suite A, based on findings and subject to conditions of approval.

**REPORT IN BRIEF:**

The applicant seeks a Conditional Use Permit (CUP) to operate a tobacco retailer at 9520 El Camino Real, Suite A, primarily engaged in the sale of tobacco products and related accessories. This land use is classified as “Retail Sales – Restricted” within the Atascadero Municipal Code and requires approval of a Minor CUP to be established in the Commercial Tourist zone. The proposed storefront will share an existing building with a hair salon tenant. The applicants are not proposing any exterior modifications other than new commercial signage.

**DISCUSSION:**

The proposed project consists of an application for a Conditional Use Permit to establish a retail location which sells tobacco products, smoking implements, and related accessories and is open to the general public. This property, zoned Commercial Tourist (CT), currently contains a single two-unit commercial building with an existing hair salon in the adjoining tenant space.

**LAND USE**

The Atascadero Municipal Code (AMC) classifies businesses which sell smoking, tobacco, and vaping products as a primary use under the “Retail Sales – Restricted” land use definition, which is intended for commercial businesses whose products may have a deteriorating effect on the surrounding area if not adequately considered for location, design, and operational parameters to ensure neighborhood and community compatibility. Restricted retail sales uses are a conditionally allowed in the CT zone subject to approval of a Conditional Use Permit. Conditional uses are those uses which may or may not be appropriate based on the specific location or operations of a use. In approving a Conditional Use Permit, findings must be made that the use is consistent with the General Plan and Zoning Ordinance, and that it will not be inconsistent with the character of the immediate neighborhood.

In the case of this request, the project site is adjacent to a gas station and across the street from Motel 6. However, it is approximately 300 feet from nearby multifamily housing to the east behind additional commercial uses fronting El Camino Real. The General Plan describes the CT zone as intended for “uses that serve the traveling public,” such as hotels, gas stations, and fast casual restaurants. A business which sells tobacco and related products near a Highway 101 exit would be generally consistent with the General Commercial land use designation and Commercial Tourist zoning district.



**PARKING**

The Atascadero Municipal Code requires that one parking space be provided for every 300 square feet of sales area for general retail establishments. The subject tenant space is 600 square feet, therefore a total of two parking spaces are required.

The property is party to a shared parking agreement, recorded during the initial development of Montecito Plaza, for a total of 57 parking spaces. Other businesses subject to this agreement include K-Man Cyclery, Suprema Meat Market, and Lattis Networks. The newly-built ARCO station adjacent to the subject property is served by its own separate parking lot and is not a party in this agreement. The existing parking provided by this agreement is adequate to serve the proposed use.

**SAFETY AND WELFARE**

Tobacco retailers can be associated with elevated law enforcement activity and risks to the health, safety, and welfare of the general public. State and local law already provide an avenue for enforcement against common negative externalities associated with these businesses, including State law prohibiting the sale of tobacco products to individuals under the age of 21 and local ordinances prohibiting smoking within 20 feet of commercial establishments and within the El Camino Real right-of-way. Specific project conditions have been added to the attached Draft Resolution which address many potential site development and maintenance concerns, such as



the accumulation of junk and debris around the tenant space and maintenance of the retail storefront appearance. Additionally, a performance condition has been added which allows for review of the use permit if found to be necessary after the first year of operation. The Atascadero Police Department has reviewed the attached conditions and found them satisfactory.

### ***SIGNAGE***

While the applicants have not submitted a signage plan, the building is designed to accommodate tenant signage above the street facing tenant windows. Per the Atascadero Municipal Code, signage is determined by the linear feet of tenant storefront, resulting in a maximum of 30 square-feet of signage along the El Camino Real frontage. Staff has included conditions that the signage be centered above the tenant windows facing El Camino Real and be limited to the size dictated by code. The Municipal Code also provides for an additional 30 square-feet of wall signage along the building's Santa Rosa Road frontage. Staff has added a condition that any signage on the Santa Rosa facing elevation meet Municipal Code size standards and be appropriately placed.

Tobacco retailers commonly utilize a large portion of their window area for product advertisements. Excessive obstruction of retail storefronts diminishes the public pedestrian interface and can alter the intended appearance and design of a commercial building. As a result, conditions have been added which limit the extent to which windows can be obstructed by signage. Due to concerns expressed by the applicant team about theft outside of operating hours, a condition has been added which allows the installation of blinds, slats, or similar visual obstructions as long as they do not block the view of the interior of the tenant space during operating hours, as depicted in Exhibit B.

### **ENVIRONMENTAL DETERMINATION:**

The proposed project qualifies for Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15303, because it is limited to a change of use in an existing small structure with negligible modifications to the exterior of the structure.

### **FINDINGS:**

To approve USE24-0018, the Planning Commission must make the following findings. These findings and the facts to support these findings are included in the attached resolution.

1. The proposed project or use is consistent with the General Plan;
2. The proposed project or use satisfies all applicable provisions of this title;
3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use;
4. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development;
5. The proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in

conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the land use element.

**ALTERNATIVES TO THE STAFF RECOMMENDATION:**

1. The Planning Commission may include modifications to the project and/or conditions of approval for the project. Any proposed modifications, including conditions of approval, should be clearly re-stated in any vote on any of the attached resolutions.
2. The Planning Commission may determine that more information is needed on some aspect of the project and may refer the item back to the applicant and staff to develop the additional information. The Commission should clearly state the type of information that is required. A motion, and approval of that motion, is required to continue the item to a future date.
3. The Planning Commission may deny the project. The Commission must specify what findings cannot be made, and provide a brief oral statement, based on the Staff Report, oral testimony, site visit, correspondence, or any other rationale introduced and deliberated by the Planning Commission.

**ATTACHMENT(S):**

1. Draft Resolution
2. Applicant Submitted Materials

<b>ATTACHMENT 1: Draft Resolution</b> <b>USE 24-0018</b>
---

## DRAFT PC RESOLUTION

### RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ATASCADERO, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT (USE24-0018) ALLOWING A TOBACCO RETAILER USE IN THE COMMERCIAL TOURIST ZONING DISTRICT AT 9520 EL CAMINO REAL, SUITE A

**APN 056-071-014**  
**(JOSEPH)**

**WHEREAS**, an application has been received from Jessie Joseph (Applicant) and Ernesto Gomez, Owner, to consider a Conditional Use Permit (USE 24-0018) to allow a tobacco retailer use in the Commercial Tourist zoning district at 9520 El Camino Real Suite A (APN 056-071-014); and

**WHEREAS**, the site's General Plan Designation is General Commercial (GC); and

**WHEREAS**, the site's Zoning District is Commercial Tourist (CT); and

**WHEREAS**, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the State and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

**WHEREAS**, a timely and properly noticed Public Hearing upon the subject Conditional Use Permit application was held by the Planning Commission of the City of Atascadero at which hearing evidence, oral and documentary, was admitted on behalf of said Conditional Use Permit; and

**NOW THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Atascadero, California, makes the following findings, determinations, and recommendations with respect to the proposed Conditional Use Permit:

**SECTION 1. Recitals.** The above recitals are true and correct.

**SECTION 2. Public Hearing.** The Planning Commission of the City of Atascadero, in a regular session assembled on May 21, 2024, resolved to approve a Conditional Use Permit for a tobacco retailer use at 9520 El Camino Real Suite A (USE24-0018).

**SECTION 3. CEQA.** The Planning Commission finds as follows:

1. The proposed project is Categorically Exempt (Class 3) from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15303, because it is limited to a



change of use in an existing small structure with negligible modifications to the exterior of the structure.

**SECTION 4. Findings.** The Planning Commission finds as follows:

1. The proposed use is consistent with the General Plan; and

**Fact:** The proposed tobacco shop use at this location is consistent with the General Commercial land use designation in the General Plan and General Plan Land Use Element Goals LOC 13 and LOC 14, which aim to establish a wide range of employment and business opportunities.

2. The proposed project satisfies all applicable provisions of the Title (Zoning Ordinance); and

**Fact:** The project satisfies the provisions of the Zoning Ordinance. AMC § 9-3.330 allows tobacco retailers, classified under “Retail Sales – Restricted,” in the CT zone with approval of a Conditional Use Permit. The parking supplied by Montecito Plaza’s shared parking agreement is adequate to serve the proposed use. No exterior modifications to the site or building besides new commercial signage are proposed with this application.

3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use; and

**Fact:** As conditioned, the proposed use is not detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, nor detrimental or injurious to property or improvements in the vicinity of the use.

4. That the proposed project will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development; and

**Fact:** The proposed tobacco retailer use is consistent with the character of the neighborhood. The subject parcel and those directly adjacent are zoned for tourist-serving uses, and nearby commercial uses, such as the adjacent gas station and convenience store, sell a similar range of products. A tobacco shop would be consistent existing and planned land use patterns and supplements the diverse range of businesses in the neighborhood.

5. That the proposed project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

**Fact:** The project is located off of El Camino Real, the most heavily-traveled arterial in the City. Previous uses in this tenant space have generally produced levels of traffic

similar to that which would be produced by the proposed tobacco retailer.

**SECTION 5. Approval.** The Planning Commission of the City of Atascadero, in a regular session assembled on May 21, 2024, resolved to approve Conditional Use Permit USE24-0018 subject to the following:

EXHIBIT A: Conditions of Approval

EXHIBIT B: El Camino Frontage Allowed Signage Area

On motion by Commissioner \_\_\_\_\_, and seconded by Commissioner \_\_\_\_\_, the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ( )

NOES: ( )

ABSENT: ( )

ABSTAINED: ( )

ADOPTED:

CITY OF ATASCADERO, CA

\_\_\_\_\_  
Tori Keen  
Planning Commission Chairperson

ATTEST:

\_\_\_\_\_  
Phil Dunsmore  
Planning Commission Secretary

**Exhibit A: Conditions of Approval**  
**USE 24-0018**

<b>Conditions of Approval / Mitigation Monitoring Program</b>	<b>Timing</b>	<b>Responsibility /Monitoring</b>
<p><b>9520 El Camino Real, Suite A</b></p> <p><b>USE 24-0018</b></p>	BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<b>Planning Services Conditions</b>		
1. This Conditional Use Permit shall allow for the establishment of a tobacco retailer use at 9520 El Camino Real Suite A, described on the attached exhibits and located on APN 056-071-014, regardless of owner.	<b>Ongoing</b>	<b>PS</b>
2. The approval of this use permit shall become final and effective for the purposes of issuing a business license and/or building permits fourteen (14) days following the Planning Commission approval unless an appeal to the decision is filed as set forth in Section 9-1.111(b) of the Zoning Ordinance.	<b>Ongoing</b>	<b>PS</b>
3. The Community Development Department shall have the authority to approve minor changes to the project that (1) modify the project by less than 10%, and/or (2) result in a superior site design or appearance.	<b>BL</b>	<b>PS, BS</b>
4. Approval of this Conditional Use Permit shall be valid for twenty-four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless the project has received a business license or building permit. If the use is established and becomes vacant, establishment of a similar use shall be done in accordance with the City's non-conforming use code.	<b>BL</b>	<b>PS</b>
5. The applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning this conditional use permit.	<b>Ongoing</b>	<b>CA</b>
6. Sales of tobacco products shall be limited to within the exterior walls of the subject tenant space, and shall not occur from a vehicle, on foot, or otherwise from a separate or mobile location.	<b>Ongoing</b>	<b>PS</b>
7. The applicant shall provide a valid California Cigarette and Tobacco Products Retailer's License upon application for a business license and prior to opening of the business.	<b>BL</b>	<b>PS</b>
8. Sales on the premises shall comply with all applicable sections of State law and the Atascadero Municipal Code.	<b>Ongoing</b>	<b>PS/PD</b>
9. Window signs or displays affixed to windows shall occupy no more than 25% of the surface area of any given window, and shall be limited to lettering, graphics, and perforated window film. Signs related to the operation of the business (operating hours, open/closed signs, etc.) or required by law, not to exceed six square feet in total, are excluded from this condition.	<b>Ongoing</b>	<b>PS</b>
10. Permanent signage outside of the window surface shall be limited to the following: - A single wall sign facing El Camino Real with a maximum area of 30 square-feet, which shall be horizontally centered above the main tenant space windows, as shown in Exhibit B.	<b>Ongoing/BP</b>	<b>PS</b>



<b>Conditions of Approval / Mitigation Monitoring Program</b>  <b>9520 El Camino Real, Suite A</b>  <b>USE 24-0018</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<p>-A single wall sign facing Santa Rosa Road with a maximum area of 30 square-feet, which shall be horizontally centered on one of the three architectural projections along the Santa Rosa Road frontage.</p> <p>A building permit must be obtained prior to the installation of any wall sign.</p>		
<p>11. The project site shall be maintained in good, clean, orderly manner, free of any debris or junk materials.</p>	<p><b>Ongoing</b></p>	<p><b>PS/PD</b></p>
<p>12. Storefront glass shall be clear without reflective coating or dark tinting, with the exception of glazing with at least 85% transparency and low emissivity.</p>	<p><b>Ongoing</b></p>	<p><b>PS</b></p>
<p>13. No display cases, blinds, or other obstructions shall cover any window surface, exclusive of signage, whether interior or exterior, during operating hours.</p>	<p><b>Ongoing</b></p>	<p><b>PS</b></p>
<p>14. Blinds, slats, or similar window coverings shall be of high quality, kept in good repair, and not constructed from aluminum or other metals.</p>	<p><b>Ongoing</b></p>	<p><b>PS</b></p>
<p>15. No adult oriented material, as defined in Atascadero Municipal Code § 9-16.02, shall be sold on the premises.</p>	<p><b>Ongoing</b></p>	<p><b>PS/PD</b></p>
<p>16. No bars or other physical security barriers shall be installed over windows or doors without the approval of the City.</p>	<p><b>Ongoing</b></p>	<p><b>PS</b></p>
<p>17. The Community Development Department and Police Department shall reserve the right to add additional requirements related to public safety and welfare if found to be necessary following the first year of business.</p>	<p><b>Ongoing</b></p>	<p><b>PS/PD</b></p>

**Exhibit B: El Camino Frontage Allowed Signage Area  
USE 24-0018**



**Attachment 2: Applicant Submitted Materials**  
**USE 24-0018**

**I. EXECUTIVE SUMMARY**

JAX Smoke Emporium (referred to from hereon in as the "Company") is intended to be established as a Sole Proprietorship at 9520 El Camino Real Unit A, Atascadero, California 93422 with the expectation of rapid success in the retail tobacco industry.

**Business Description**

The Company shall be formed as Sole Proprietorship under California state laws by Jessie Joseph and headed by Alex Souki and Jenny Joseph with previous experience as described below:

Prior ownership and operation of a retail tobacco store, taking sole responsibility for fiscal matters, state and city permits, licensing, and maintaining good relations.

Responsible for vendor relations, market research, sourcing products at the lowest price point available, maximizing profit margins and customer discounts.

Responsible for hiring, training, disciplining and relieving employees as needed to maintain a high standard of customer service.

Responsible for marketing outreach programs, and advertisement for customer draw.

Buildout and remodel experience, with a belief that an open floor plan offers the most mutually beneficial experience for both the customer and store employees, in terms of comfort and theft prevention.

Customer service is the sole principle for which the foundation of success relies on.

**Business Mission**

To provide the highest quality products at the best prices, with a true one-stop-shop experience for our customers while remaining an honest and transparent business.

**Product**

The Company's primary product will be tobacco retail store merchandise and miscellaneous: cigarettes, chewing tobacco, pipe tobacco, pouch tobacco, nicotine pouches, rolling papers, pre-rolled cones, cigar wraps, batteries, lighters, matches, smoking cessation products, herb grinders, rolling trays, water pipes, bubblers, hand pipes, bowls for various glassware, downstems for various glassware, silicone containers, silicone pipes, various CBD products, butane, water pipe and bubbler cleaning products, hookahs, hookah tobacco, coal, cigars, cigar cutters, apparel,



incense, incense holders, novelty items, local souvenirs, body jewelry, magnets, stickers, OTC medications such as ibuprofen, tylenol, allergy medications such as benadryl, condoms, intimacy products, sunscreen, chapstick, gum, snacks, energy drinks, water, and soft drinks.

Our goal is to stock the most products that customers are seeking from a retail tobacco emporium, anything they could need, we want to carry within reason. Additionally, we would be selling clothing/stickers/magnets merchandise representing our own store, and hopefully partnering with other local businesses to stock our store with some of their best selling merchandise.

We want our customers to have a true one-stop-shop experience, with an emphasis on complete customer satisfaction by providing a very transparent business model where kindness and sincerity, reasonable pricing, a clean, well-lit environment, and the highest standard of customer service are the foundation of our intent.

#### **Hours of Operation**

9:00am - 10:00pm

## **II. BUSINESS SUMMARY**

### **Industry Overview**

In the United States, the retail tobacco sales industry, based on the 2022 US tobacco sales census, makes approximately \$11.26 billion/year.

Based on research there has been a market trend of retail tobacco stores growing 2% over the last 5 years with an estimated worth of \$59.9 billion within the year and an estimated profit margin of 8.3% nationally.

Taking into consideration the menthol and flavor tobacco product ban in the state of California, that has shown as high as a 15% drop, we are confident in our projections that it will not hinder our ability to operate successfully.

Research shows that statistically consumers in this industry primarily focus on the following factors when making purchasing decisions: convenience, affordability, availability, friendliness, cleanliness, and lighting, as well as quality of items being purchased.

We believe we can offer this customer base a much more transparent, honest, and comfortable space to purchase their products as an all-in-one stop shop for their needs. This means that our target customers can be a very broad spectrum of individuals.

### **Business Goals and Objectives**

#### **Short Term:**

Begin successful advertising, create a productive system for the business to function, provide the best customer service possible, increase advertising via social media and websites, be able to start gaining enough profit to start saving for future business needs or improvements, potentially begin an effective and proper hiring process of employees.

#### **Long Term:**

Increase revenue, make any improvements based on customer input, stay profitable, grow customer base, improve any functions that need changing/growing, improve hiring process if necessary, continually improve customer service, improve employee satisfaction, improve overall operation efficiency. Potentially consider opening additional location(s).

### **III. MARKETING SUMMARY**

#### **Target Markets**

The Company's major target markets are as follows:

Any individual who uses tobacco products, is looking for gifts, or seeking novelty items.

The estimated number of potential clients within the Company's geographic scope is 31,000 based on data retrieved from Breathe California and SLO Health Counts and from the CDC.

#### **Pricing Strategy**

The Company has completed a thorough analysis of its competitors' pricing. Keeping in mind our competition's pricing and the cost of customer acquisition. We have decided on the following pricing strategy:

Maintaining a 25-35% profit margin on any item sold. Ensuring our business needs are met with profits prior to disbursement of any other profits.

#### **Distribution Strategy**

Distribution will be via storefront initially, with a potential for an online presence as the Company gains traction.

### **Promotional Strategy**

The Company will promote sales using the following methods:

The business will be marketed via social media, local flyers, business cards, and signage, as well as varying promotions and discounts to bring in more customers.

### **Competition**

In the way customers make choices in the retail tobacco industry, we believe we can offer this customer base a much more transparent, honest, and comfortable space to purchase their products as an all-in-one stop shop for their general needs. This means that our target customers can be a very broad spectrum of individuals.

The level of competition is relatively low in this area.

The primary competitors for the business are the following:

Other retail tobacco stores, totaling, with the inclusion of JAX Smoke Emporium, is five tobacco retail stores.

However, we believe the Company has the following competitive advantages:

Strong working knowledge of relevant markets, how to source products at the best prices, understanding the products and ability for store staff to educate customers on all varieties of products carried. With transparent pricing and customer satisfaction, including the ease of shopping from product selection to checkout.

### **Services**

First-rate service is intended to be the focus of the Company and a cornerstone of the store's success. All customers will receive a conscientious, one-on-one, timely service in all capacities, be they transactions, conflicts, or complaints. This is expected to create a loyal store following and return.

## **IV. FINANCIAL PLAN**

### **12-Month Profit and Loss Projection**

- Monthly expense for overhead (projected): \$5,900
- Revenue and sales for first year of business (projected): \$109,500
- Gross profit for first year of business (projected): \$32,850



## V. CONCLUSION

In summary, JAX Smoke Emporium will be operated, managed, and maintained by Alex Souki and Jenny Joseph on behalf of Jessie Joseph who has invested to make our passion and image come to life. We strongly believe that an exceptional level of customer service and positive interactions with our community on a daily basis are the key fundamentals of our projected success. Second to that, is providing a clean, well organized, well stocked, friendly and genuine experience with those whom we interact with whether it be in our store front or out in our community. With these core concepts we believe that our customer base, vendors, city officials, and community will respond to our transparency and passion for what we do with the same regard. San Luis Obispo County and more importantly Atascadero is our home, and we would be proud and privileged to establish the beginning of a very long and exciting journey together with our community whom we are choosing to proudly serve.



# CITY OF ATASCADERO

## PLANNING COMMISSION STAFF REPORT

Item 5

**Department:** Community Development  
**Date:** 5/21/2024

**TO:** Phil Dunsmore, Community Development Director  
**FROM:** Kelly Gleason, Planning Manager  
**PREPARED BY:** Erick Gomez, Associate Planner

**SUBJECT:** USE24-0014, Verizon Wireless Telecommunications Facility  
2605 Traffic Way, Atascadero, CA 93422 (APN 049-063-003)

---

### RECOMMENDATION:

Planning Commission adopt Draft Resolution A, approving Conditional Use Permit USE24-0014, allowing the development of an unmanned telecommunications facility and a height modification for a 63' monopine cell tower, subject to findings and conditions of approval.

### DISCUSSION:

#### PROJECT SUMMARY

Verizon Wireless proposes to construct an unmanned telecommunication facility within a 585-square foot (SF) lease area of 1.57-ac property in the Public (P) zoning district located at 2605 Traffic Way (APN 049-063-003). The facility will be enclosed by a 9' masonry wall and contain various equipment and electrical cabinets, a diesel generator, and a 63' tall monopine cell tower with associated antennas and equipment. The property is developed with an existing 5,000 SF assembly building containing the Congregation Ohr Tzafon Synagogue and an approximately 432 SF pergola. The site has a PD overlay zone (PD-35) which refines allowed uses for this specific public zoned area along Traffic Way.

#### BACKGROUND

In 2003, the Planning Commission approved a Conditional Use Permit and Tentative Parcel Map to subdivide an elongated parcel between Traffic Way and the railroad into four (4) parcels and approve construction of two (2) membership assembly buildings on two (2) of the parcels. One of the other parcels contained an existing single-family residence, which remains today, and the last parcel was offered to the City. At that time, the parcels were zoned Recreation.

In 2019, the City Council approved a zone map change to redesignate all four properties as Public (P) and established PD-35 to allow land uses that are more appropriate with the character of the area, bring the existing land uses into conformance with the zoning code, and allow the establishment of a daycare center on one of the properties. Telecommunications facilities were one of the uses specifically identified as a conditionally allowed use is in PD-35.

## **ANALYSIS**

Telecommunication Facilities are allowed in the Public (P) Zoning District and in PD-35 subject to the approval of a Conditional Use Permit by the Planning Commission. The project complies with all applicable development standards of the Public zone, with the exception of the 50' height limitation for which the applicant is requesting a height modification. On March 28, 2024, the Design Review Committee (DRC) reviewed and endorsed the project design, subject to the following added recommendations which have been incorporated into project conditions:

- The site should retain ongoing conformity with the project plans and elevations.
- Additional landscape screening should be provided along Traffic Way and the adjacent parking lots.
- A darker earth toned block color should be utilized for the enclosure wall.

## **HEIGHT MODIFICATION**

The request for this Conditional Use Permit includes a height modification to allow a 63' monopine cell tower. The Atascadero Municipal Code establishes a maximum height of 50-feet for unmanned structures such as wireless telecommunication towers. However, Atascadero Mutual Code (AMC) § 9-4.113(b) allows the Planning Commission to approve modifications to height limits if the following finding can be made:

- *The project will not result in substantial detrimental effects on the enjoyment and use of adjoining properties, and*
- *The modified height will not exceed the lifesaving equipment capabilities of the Fire Department.*

Height modifications are typical for cell towers. Additional height is needed to achieve necessary cell range for network equipment mounted to the cell tower. The tower will use a stealth monopine design as an alternative to the typical metal monopole. A condition is included to ensure that the monopine is maintained in a condition that visually conforms to the renderings and elevations provided for the life of the project. The findings indicated above are listed and discussed in the attached resolution.

## **EQUIPMENT ENCLOSURE & LANDSCAPE SCREENING**

The telecommunication lease area will be located in the northeast corner of the property, in a landscape area adjacent to the eastern property line. The facility will be fully enclosed by a 9' tall concrete masonry block wall which will fully screen the utility and equipment cabinets, generator, and all other appurtenances from the road and neighboring uses. The proposed 63' stealth telecommunications tower will be the only component of the facility that will be visible.

The proposed project will require minor modifications to the originally approved landscape plan for the development, including removal of two non-native trees and decorative bushes within the lease area. A condition is added to supplement and restore the existing landscaping with a focus on reducing the visibility of the 9' wall from Traffic Way and the east adjacent property at 2607 Traffic Way.





**RADIOFREQUENCY ELECTROMAGNETIC FIELDS**

During their review of the project, the DRC requested that staff work with the applicant to obtain additional information regarding the project Radio Frequency emissions in advance of the Planning Commission hearing. The Federal Communications Commission is the regulating body that ensures compliance with adopted FCC guidelines for evaluating the environmental effects of radio frequency emissions (RFE). Local jurisdictions retain limited authority to regulate the placement and design of telecommunications under typical zoning regulations and subject to standard findings. The Telecommunication Act of 1996 (the “Act”) does not allow permitting decisions to be based on the environmental effects of RFE. This restriction is listed in Section 704 of the Act as follows:

*(A) GENERAL AUTHORITY- Except as provided in this paragraph, nothing in this Act shall limit or affect the authority of a State or local government or instrumentality thereof over decisions regarding the placement, construction, and modification of personal wireless service facilities.*

*(B) LIMITATIONS-*

...

*(iii) Any decision by a State or local government or instrumentality thereof to deny a request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record.*

*(iv) No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emissions.*

The site is presumed to be in compliance with the FCC's safety guidelines and regulations regarding RFE. As typically required for new telecommunications sites, the applicant has provided a Radio Frequency Electromagnetic Fields Exposure Report prepared by a registered engineer at Dtech Communications indicating the site will comply with the FCC's RF safety guidelines. The report summarizes compliance as follows:

*For a typical 6' person standing in accessible areas on the ground & adjacent light poles, calculations for Verizon's site resulted in exposure levels below the FCC's most stringent General Population Maximum Permissible Exposure limits.*

*At antenna elevation, the highest calculated exposure level is above the FCC's General Population Maximum Population Exposure Limits near the Verizon Antenna(s). The overexposed areas extend 92-feet from the front face of the Verizon antenna(s). There are no other building or surrounding structures antenna elevation within the overexposed areas. Beyond these areas, exposure levels are predicted to be below the FCC's most stringent general population guidelines.*

### **NEIGHBORHOOD COMPATIBILITY**

The project design and low-intensity nature of the use is compatible with the surrounding development. The project site is surrounded by the following uses: railroad to the north, the Atascadero Learning Tree Pre-School to the east, the Atascadero Unified School District Maintenance, Operations, and Transportation Center to the south and across Traffic Way, and single-family residential development to the west. The telecommunications facility will occupy a 585-SF lease area in the northeast corner of the property, approximately 16' from the shared property line with the Atascadero Learning Tree Pre-School Property. The proposed location of the telecommunications facility, within a landscape planter between two parking lots, is a minimum of 210 ft away from any buildings in the vicinity. Landscaping will be installed to provide visual relief from 9' block wall enclosing the facility. The wall will utilize dark, earth toned block for compatibility with the surrounding development and landscaping. The 63' tower will utilize a stealth monopine design which will further reduce the visibility of the mounted antenna equipment. No regular employees will be needed at the facility that would create any additional traffic beyond those needed for occasional maintenance. Conditions for maintenance of the site are included that allow the City to enforce visual conformity with the final approved plans and ensure the cleanliness of the site and surrounding area in perpetuity.

### **CONCLUSION**

- The request for Conditional Use Permit USE24-0014 to allow a 585-SF telecommunications facility with 63' monopine cell tower at 2605 Traffic Way (APN 049-063-003) complies with all requirements of the City Municipal Code.

- Height modifications to allow a height beyond the height limitations dictated by the municipal code are a common request for new cell towers because network equipment must be mounted at a significant height to achieve the carrier's desired service range.
- The project is presumed to comply with FCC's RF Safety Guidelines based on analysis provided in Radio Frequency Electromagnetic Fields Exposure Report prepared by a registered engineer at Dtech Communications. Further consideration or evaluation by the Planning Commission regarding on the environmental effects of RFE from the project *is not* allowed under Federal law.
- The proposed telecommunications facility has been designed for maximum compatibility with the surrounding development with material color and new site landscaping.

### **ENVIRONMENTAL DETERMINATION:**

The proposed project qualifies for a Class 3 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15301, which exempts new construction or conversion of small structures. This exemption is included in the draft resolution (Attachment 2).

### **ALTERNATIVES:**

1. The Planning Commission may include modifications to the project and/or conditions of approval for the project. Any proposed modifications including conditions of approval, should be clearly re-stated in any vote on any of the attached resolutions.
2. The Planning Commission may determine that more information is needed on some aspect of the project and may refer the item back to the applicant and staff to develop the additional information. The Commission should clearly state the type of information that is required. A motion, and approval of that motion, is required to continue the item to a future date.
3. The Planning Commission may deny the project. The Commission must specify what findings cannot be made, and provide a brief oral statement, based on the Staff Report, oral testimony, site visit, correspondence, or any other rationale introduced and deliberated by the Planning Commission.

### **REVIEWED BY OTHERS:**

The Project has been reviewed by Fire, Planning, and Public Works, as well as been endorsed by the DRC.

### **REVIEWED AND APPROVED FOR PLANNING COMMISSION AGENDA**

---

Phil Dunsmore, Community Development Director

### **ATTACHMENTS:**

1. Draft Resolution



**ATTACHMENT 1: Draft Resolution  
USE24-0014**

**DRAFT PC RESOLUTION**

**RESOLUTION OF THE PLANNING COMMISSION OF  
THE CITY OF ATASCADERO, CALIFORNIA,  
APPROVING CONDITIONAL USE PERMIT USE24-0014 ALLOWING A  
TELECOMMUNICATIONS FACILITY WITH A HEIGHT EXCEPTION  
FOR A 63' MONOPINE CELL TOWER**

**2605 Traffic Way  
(Verizon Wireless)**

**WHEREAS**, an application has been received from Verizon Wireless (Applicant) and The Congregation Ohr Tzafon (Owner) to consider Conditional Use Permit USE24-0014 to allow 585 SF telecommunications facility with a height modification for a 63' tall monopine cell tower on a 1.57-acre property located a 2605 Traffic Way (APN 049-063-003); and

**WHEREAS**, the site has a General Plan Designation of Public Recreation (REC); and

**WHEREAS**, the site is in the Public (P) zoning district and within Planned Development Overlay Zone #35; and

**WHEREAS**, the laws and regulations relating to the preparation and public notice of environmental documents, as set forth in the state and local guidelines for implementation of the California Environmental Quality Act (CEQA) have been adhered to; and

**WHEREAS**, a timely and properly noticed Public Hearing upon the subject Use Permit application was held by the Planning Commission of the City of Atascadero, at which hearing evidence, oral and documentary, was admitted on behalf of said application; and

**NOW, THEREFORE**, the Planning Commission of the City of Atascadero, California, hereby finds, resolves, and determines as follows:

**SECTION 1. Recitals**: The above recitals are true and correct and incorporated herein as if set forth in full.

**SECTION 2. Public Hearings**. The Planning Commission held a duly noticed public hearing to consider the project on May 21, 2024 and considered testimony and reports from staff, the applicants, and the public.

**SECTION 3. Findings for approval of Conditional Use Permit**. The Planning Commission finds as follows:

1. The proposed use is consistent with the General Plan.

**Fact:** The Project is consistent with all applicable General Plan goals and policies. The project site has a Public Recreation land use designation and is zoned Public. The project site is privately owned and developed with 5,000 SF structure utilized as a synagogue. Telecommunication facilities are an allowed use in the Public zoning district, subject to approval of a Conditional Use Permit.

2. The proposed project satisfies all applicable provisions of Title 9 of City of Atascadero Municipal Code (Zoning Regulations of the City of Atascadero).

**Fact:** The Project will satisfy all provisions of the Atascadero Municipal Code Title 9 of City of Atascadero Municipal Code. The project site is zoned Public which allows telecommunications facilities subject to the approval of a Conditional Use Permit. The height modification for a 63' monopine cell tower is also permissible subject to the approval of a Conditional Use Permit. The use, as well as the general project location and design are consistent with development standards prescribed by the municipal code.

3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety, or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use.

**Fact:** The Project is not detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, nor is it detrimental or injurious to property or improvements in the vicinity of the use. The project is presumed to comply with all FCC safety guidelines and regulations for radio frequency emissions as indicated by the Radio Frequency Electromagnetic Fields Exposure Report prepared by a registered engineer at Dtech Communications. The construction and operation shall be expected to meet all applicable local regulations, project conditions, and requirements of state building code as adopted by the City.

4. That the proposed project will not be inconsistent with the character or the immediate neighborhood or contrary to its orderly development.

**Fact:** The project is consistent character of the immediate neighborhood and aligned with its orderly development. The telecommunications facility will cover a 585-SF area near the northeast corner of a 1.57-acre property that is currently developed with a 5,000-SF building utilized as the Congregation Ohr Tzafon synagogue. The site is adjacent the railroad (north), the Learning Tree pre-school (east), the Atascadero Unified School District Maintenance, Operations, and Transportation Center (south), and single-family residential development (west). The facility will be unmanned and minimally intrusive to any of the surrounding uses. Conditions of approval are included to ensure the facility is appropriately maintained for the life of the project.

5. That the proposed project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood that would result from full development in accordance with the Land Use Element.

**Fact:** Traffic generated by the Project will not exceed the road capacities of the General Plan. The facility will not have any permanent onsite employees and will require only occasional maintenance throughout its operation.

*Height Modification Findings*

6. The project will not result in substantial detrimental effects on the enjoyment and use of adjoining properties.

**Fact:** The project will not result in substantial detrimental effects on the enjoyment and use of adjoining properties. The proposed 63' tall cell tower will utilize a monopine design and be located a minimum of 16' from adjacent properties. The approval includes conditions for long term maintenance to promote compatibility with neighboring uses.

That the modified height will not exceed the lifesaving equipment capabilities of the Fire Department.

7. **Fact:** The Atascadero Emergency Fire Department has reviewed the proposed project and determined based on building occupancy and location that the proposed project will not exceed the lifesaving equipment capabilities of the Department

**SECTION 4. CEQA.** The project is exempt from the California Environmental Quality Act (CEQA), under Categorical Exemption § 15303, Class 3: New Construction or Conversion of Small Structures as identified in the attached Notice of Exemption.

**SECTION 5. Approval.** The Planning Commission of the City of Atascadero, in a regular session assembled on May 21, 2024, resolves to approve Conditional Use Permit USE24-0014, subject to the following:

- EXHIBIT A: Conditions of Approval
- EXHIBIT B: Project Plans and Photo Simulations
- EXHIBIT C: Notice of Exemption



On motion by Commissioner \_\_\_\_\_, and seconded by Commissioner \_\_\_\_\_ the foregoing resolution is hereby adopted in its entirety by the following roll call vote:

AYES: ( )  
NOES: ( )  
ABSTAIN: ( )  
ABSENT: ( )  
ADOPTED:

CITY OF ATASCADERO, CA

---

Tori Keen  
Planning Commission Chairperson

Attest:

---

Phil Dunsmore  
Planning Commission Secretary

**Exhibit A: Conditions of Approval  
USE24-0014**

<b>Conditions of Approval USE24-0014 Verizon Wireless Telecommunications Facility  APN 049-063-003</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
<b>PLANNING DIVISION</b>		
1. This approval is for Conditional Use Permit USE24-0014 as depicted and described on the attached exhibits allows for the development of an unmanned telecommunications facility with 63’ tall monopine at 2605 Traffic Way (APN 049-063-003). The approval of these entitlements project runs with the land, regardless of the owner.	<b>Ongoing</b>	<b>PS</b>
2. The approval of these entitlements shall become final and effective for the purposes of issuing building permits fourteen (14) days after the Planning Commission hearing unless an appeal is made in accordance with the Atascadero Municipal Code.	<b>Ongoing</b>	<b>PS</b>
3. In accordance with the Atascadero Municipal Code section 9-8.105, any violation of any of the conditions of approval may be cause for revocation of this entitlement and subject the applicant and/or future property owners to the penalties set for in the Atascadero Municipal Code, as well as any other available legal remedies.	<b>Ongoing</b>	<b>Ongoing</b>
4. The Community Development Department shall have the authority to approve the following minor changes to the project that (1) modify the site plan project by less than 10%, and/or (2) result in a superior site design or appearance.	<b>BP</b>	<b>PS, CE</b>
5. Approval of these entitlements shall be valid for twenty-four (24) months after its effective date. At the end of the period, the approval shall expire and become null and void unless the project has received a time extension consistent with the Atascadero Municipal Code.	<b>BP</b>	<b>PS</b>
6. The applicant shall defend, indemnify, and hold harmless the City of Atascadero or its agents, officers, and employees against any claim or action brought to challenge an approval by the City, or any of its entities, concerning this conditional use permit.	<b>Ongoing</b>	<b>PS</b>
7. The initial construction and ongoing modifications to the monopine shall substantially conform with Exhibits B and C unless otherwise required by these conditions of approval. Branch arrays shall be staggered at a minimum of four quadrants along the face of the monopole. The dripline of the monopine shall extend at least 2.5’ beyond the edge of mounted equipment and the vertical distance between branch arrays shall be no greater than 1.5’. Planning staff shall ensure compliance with this condition prior to initial permit final and prior to subsequent building permit issuance and final for any permits associated with this facility.	<b>BP</b>	<b>PS</b>
8. A landscape and irrigation plan shall be approved prior to building permit issuance. The landscape plan shall be submitted and include the following:	<b>BP, FI</b>	<b>PS</b>

<b>Conditions of Approval</b> <b>USE24-0014</b> <b>Verizon Wireless Telecommunications Facility</b>  <b>APN 049-063-003</b>	<b>Timing</b>  BL: Business License GP: Grading Permit BP: Building Permit FI: Final Inspection TO: Temporary Occupancy FO: Final Occupancy	<b>Responsibility /Monitoring</b>  PS: Planning Services BS: Building Services FD: Fire Department PD: Police Department CE: City Engineer WW: Wastewater CA: City Attorney
a. Vines or columnar plant material (minimum 1-gallon size plantings) shall be incorporated along the enclosure wall facing the parking areas. b. A minimum of two (2) manzanitas or similar size shrubs (minimum 5-gallon plantings) shall be planted adjacent to the enclosure wall facing Traffic Way. c. The understory of the landscaped areas and dirt areas adjacent to the CMU wall shall be covered with redwood bark mulch, consistent with the previously approved landscape plan.  All landscaping shall be installed consistent with the approved landscaped plans prior to final building inspection. The applicant shall maintain the approved landscaping for the life of the project. Compliance shall be monitored and enforced during subsequent permitting for the facility.		
9. The proposed 9' tall CMU wall shall utilize a darker earthtone split face block color to blend into the surrounding landscape and be less prominent. The final color shall be labeled on the construction plans and approved by planning staff prior building permit issuance.	<b>BP</b>	<b>PS</b>
10. Any debris and litter that falls from the tree (e.g., monopine leaves and branches) shall be removed or swept within three business days of being reported to the property owner and/or facility manager by City staff. Additional time may be granted to clean or remove debris during periods of inclement weather.	<b>Ongoing</b>	<b>PS</b>
11. The stealth monopine shall be maintained regularly to ensure that all facilities are masked per the approved plans and that all branch and faux foliage density is maintained consistent with approved plans. Should branch and/or foliage density be diminished due to felled debris, replacement shall be provided within 30-days. Extensions may be granted by the city during periods of inclement weather.  The contact person responsible for site maintenance shall be provided to the city prior to issuance of any permits.	<b>Ongoing</b>	<b>PS</b>
12. The Permittee shall avail its facility and site to other telecommunication carriers and, in good faith, accommodate all reasonable requests for collocation in the future.	<b>Ongoing</b>	<b>PS</b>
<b>Standard Conditions</b>		
13. The applicant shall be responsible for the relocation and/or alteration of existing utilities.	<b>BP, GP</b>	<b>CE</b>

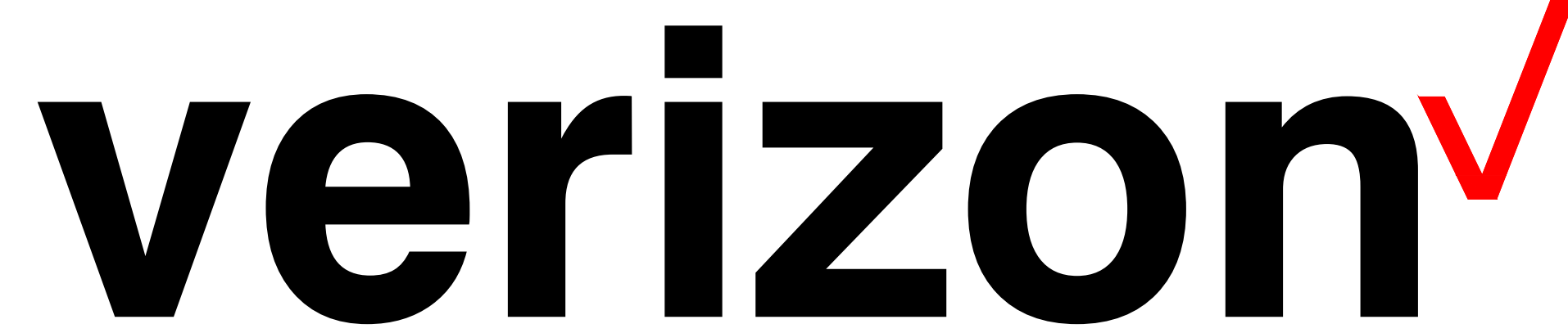


<p><b>Conditions of Approval</b>  <b>USE24-0014</b>  <b>Verizon Wireless Telecommunications Facility</b></p> <p><b>APN 049-063-003</b></p>	<p><b>Timing</b></p> <p>BL: Business License  GP: Grading Permit  BP: Building Permit  FI: Final Inspection  TO: Temporary Occupancy  FO: Final Occupancy</p>	<p><b>Responsibility /Monitoring</b></p> <p>PS: Planning Services  BS: Building Services  FD: Fire Department  PD: Police Department  CE: City Engineer  WW: Wastewater  CA: City Attorney</p>
<p>14. All new utilities (water, sewer, gas, electric, cable TV and telephone) shall be placed underground. Utilities shall be designed in a manner to accommodate future extensions or connection where feasible or required by the City.</p>	<p><b>BP, GP</b></p>	<p><b>CE</b></p>

**EXHIBIT B: Project Plans and Photo Simulations**  
**USE24-0014**

**See Following**





**PROJECT ID:** TRAFFIC WAY  
**SITE ADDRESS:** 2605 TRAFFIC WAY, ATASCADERO, CA 93422  
**COUNTY:** SAN LUIS OBISPO  
**APN:** 049-063-003  
**JURISDICTION:** CITY OF ATASCADERO  
**ZONING:** L-RECREATION  
**PROJECT:** INITIAL BUILD  
**MDG LOCATION ID:** 5000352087  
**FUZE ID:** 17107069



**PROJECT DESCRIPTION**

PROPOSED VERIZON WIRELESS UNMANNED TELECOMMUNICATIONS FACILITY ON PROPOSED MONOPINE. TO CONSIST OF THE FOLLOWING:

**SCOPE OF WORK**

- NEW (APPROX. 585 SQ. FT.) IRREGULAR SHAPE CMU EQUIPMENT LEASE AREA
- NEW 63'-0" HIGH MONOPINE
- INSTALL NEW 9'-0"H. CMU ENCLOSURE
- REMOVE & RELOCATE (2) PLATANUS ACERIFOLIA (LONDON PLANE TREE)
- NEW 400A METER BANK W/ 200A VZW METER
- INSTALL (3) NEW EQUIPMENT CABINETS
- INSTALL (1) ILC CABINET
- INSTALL (1) ILC PANEL
- INSTALL (1) GPS ANTENNA
- INSTALL (1) CONCRETE MOUNTED 30KW DIESEL GENERATOR W/ 210 GAL. TANK
- INSTALL (4) SERVICE LIGHTS
- INSTALL (3) C-BAND PANEL ANTENNAS
- INSTALL (6) LTE PANEL ANTENNAS
- INSTALL (6) LTE RRUS
- INSTALL (1) 2' MW ANTENNA
- INSTALL (4) SURGE SUPPRESSORS (2 @ EQUIPMENT LOCATION # 2 @ ANTENNA LOCATION)

**SITE INFORMATION**

**LATITUDE (NAD83):** 35° 31' 3.80" N (35.517722)  
**LONGITUDE (NAD83):** 120° 41' 4.33" W (-120.684536)  
**ZONING:** L-RECREATION  
**JURISDICTION:** CITY OF ATASCADERO  
**PARCEL NUMBER:** 049-063-003  
**COUNTY:** SAN LUIS OBISPO  
**CONSTRUCTION TYPE:** V-N  
**OCCUPANCY:** U  
**POWER:** PG&E

**SYMBOLS/ABBREVIATIONS LEGEND**

ADD'L	ADDITIONAL	L.	LONG(ITU)DINAL
A.F.G.	ABOVE FINISHED GRADE	MAX.	MAXIMUM
ANT.	ANTENNA	MFR.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
ASS'Y	ASSEMBLY	(N)	NEW
AWG.	AMERICAN WIRE GAUGE	NTS	NOT TO SCALE
BLDG.	BUILDING	O.C.	ON CENTER
BTWN.	BARE TINNED COPPER WIRE	P.T.	PRESSURE TREATED
CLR.	CLEAR	RAD.(R)	RADIUS
CONC.	CONCRETE	REQ'D	REQUIRED
CONN.	CONNECTION(OR)	RGS.	RIGID GALVANIZED STEEL
CONST.	CONSTRUCTION	SCH.	SCHEDULE
CONT.	CONTINUOUS	SIM.	SIMILAR
DBL.	DOUBLE	SQ.	SQUARE
D.F.	DOUGLAS FIR	S.S.	STAINLESS STEEL
DIA.	DIAMETER	STD.	STANDARD
DIM.	DIMENSION	TEMP.	TEMPORARY
EA.	EACH	THK.	THICK(NESS)
ELEV.	ELEVATION	TYP.	TYPICAL
EMT.	ELECTRICAL METALLIC TUBING	U.G.	UNDER GROUND
(E)	EXISTING	U.L.	UNDERWRITERS LABORATORY
F.G.	FINISH GRADE	U.N.O.	UNLESS NOTED OTHERWISE
FT.(')	FOOT (FEET)	V.I.F.	VERIFY IN FIELD
GA.	GAUGE	W	WIDE (WIDTH)
HT.	HEIGHT	w/	WITH
IN.(")	INCH(ES)	WD.	WOOD
LB.(#)	POUND(S)	W.P.	WEATHERPROOF
L.F.	LINEAR FEET (FOOT)		

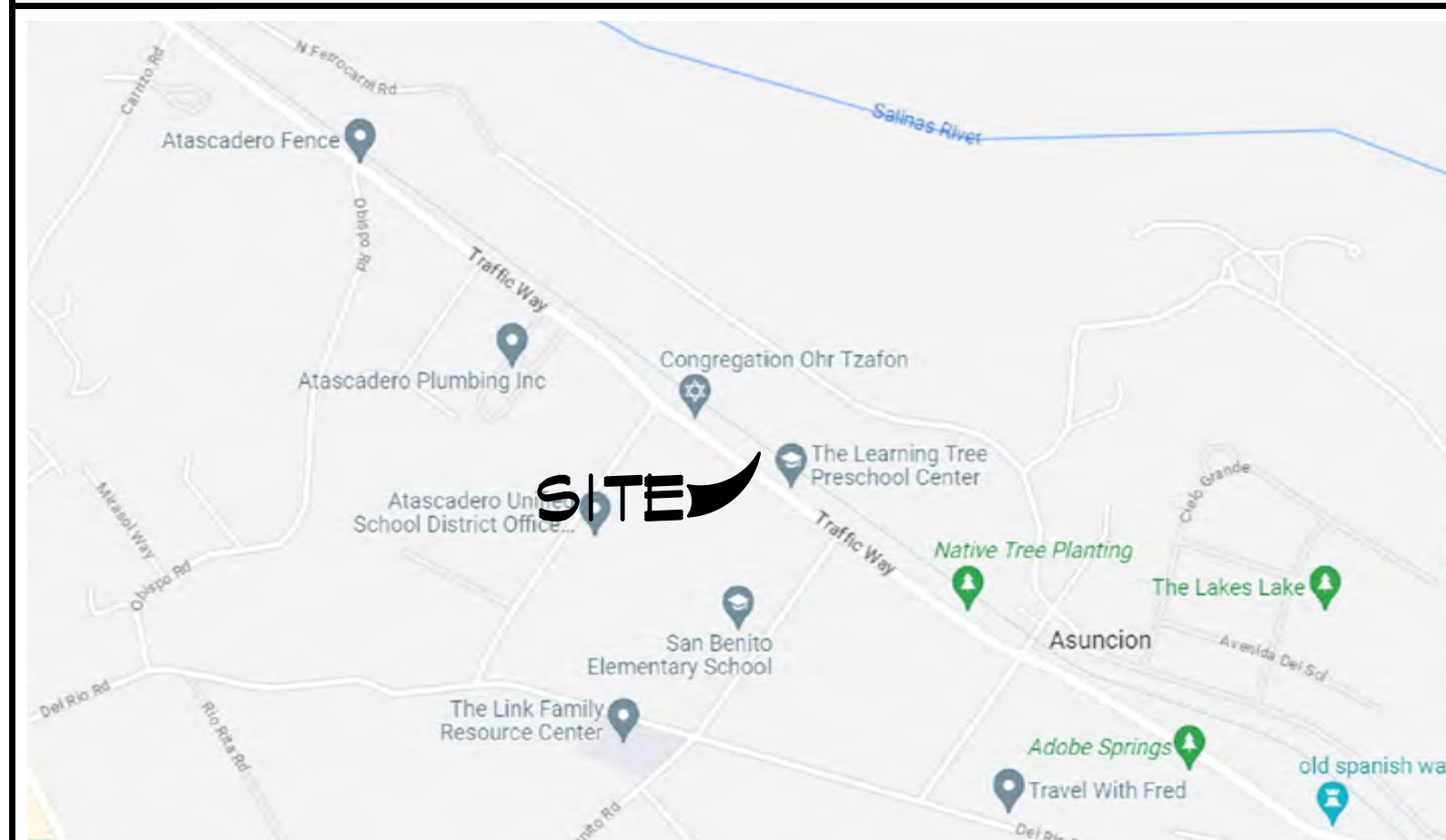
**DRAWING INDEX**

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
C-1	SITE SURVEY
C-2	TITLE & EXCEPTIONS INFORMATION
A-1	OVERALL SITE PLAN
A-2	ENLARGED SITE PLAN
A-2.1	TREE PROTECTION PLAN
A-3	EQUIPMENT LAYOUT PLAN
A-4	ANTENNA LAYOUT PLAN
A-5	ELEVATIONS
<b>LANDSCAPE PLANS</b>	
L-1	EXISTING LANDSCAPE & TREE PROTECTION PLAN
L-2	PROPOSED LANDSCAPE & TREE PROTECTION PLAN
L-3	PLANT'G DETAILS, SPEC'S & GENERAL NOTES
L-4	IRRIG'N DETAILS, SPEC'S & GENERAL NOTES
L-5	MAINTENANCE NOTES, ADD'T'L PLANT'G & IRRIG'N NOTES

**PROJECT ID:** TRAFFIC WAY  
**DRAWN BY:** RC  
**CHECKED BY:** SS

REV	DATE	DESCRIPTION	
2	05/13/2024	PER LANDSCAPE PLANS	SS
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD'S FOR SUBMITTAL	LS
C	09/19/2023	95% ZD'S FOR APPROVAL	LS
B	08/08/2023	95% ZD'S FOR APPROVAL	LS
A	07/03/2023	90% ZD'S FOR REVIEW	RC/KM

**VICINITY MAP & SITE IMAGE**



**PROJECT TEAM**

**APPLICANT:**  
 VERIZON WIRELESS  
 2770 SHADELANDS DRIVE,  
 BUILDING II  
 WALNUT CREEK, CA 94598

**LEASING MANAGER:**  
 SEQUOIA DEPLOYMENT SERVICES, INC  
 1 SPECTRUM POINTE DRIVE, STE 130  
 LAKE FOREST, CA 92630  
 CONTACT: KEN WEINGARTNER  
 PHONE: (949) 310-1582  
 EMAIL: ken.weingartner@sequoia-ds.com

**ZONING MANAGER:**  
 SEQUOIA DEPLOYMENT SERVICES, INC  
 1 SPECTRUM POINTE DRIVE, STE 130  
 LAKE FOREST, CA 92630  
 CONTACT: BEN HACKSTEDTE  
 PHONE: (949) 259-3344  
 EMAIL: ben.hackstedte@sequoia-ds.com

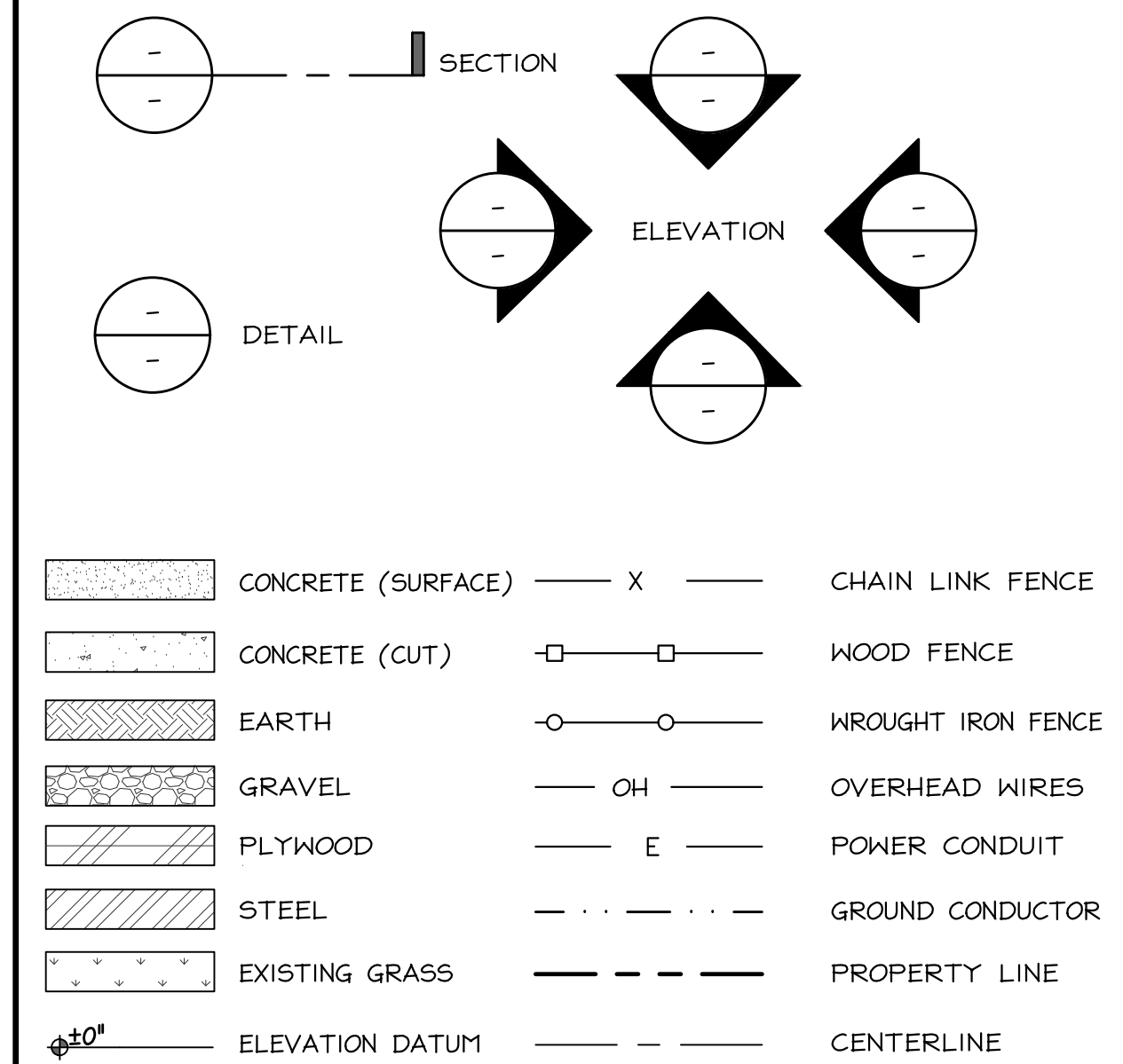
**A&E PROJECT MANAGER:**  
 ALL STATES ENGINEERING & SURVEYING  
 23675 BIRTCHE DRIVE  
 LAKE FOREST, CA 92630  
 CONTACT: SILVIA SANDOVAL  
 PHONE: (949) 273-0996 X107  
 EMAIL: silvia@zalsi.com

**PROPERTY & TOWER OWNER:**  
 JOHN SIDDERS  
 CONGREGATION OHR TZAFON  
 2605 TRAFFIC WAY, CA 93422  
 PHONE: (805) 704-3646  
 EMAIL: jisidmo@gmail.com

**CODE COMPLIANCE**

CONSTRUCTION WORKS AND MATERIALS MUST COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY LOCAL JURISDICTION, INCLUDING BUT NOT LIMITED TO:

- CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRIC CODE
- 2022 CALIFORNIA FIRE CODE
- CALIFORNIA EXISTING BUILDING CODE,
- CALIFORNIA HISTORICAL BUILDING CODE,
- CALIFORNIA RESIDENTIAL CODE
- CALIFORNIA GREEN BUILDING CODE
- 2022 EDITION OF TITLE 24 ENERGY STANDARDS
- ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE CITY / COUNTY ORDINANCES



	CONCRETE (SURFACE)		CHAIN LINK FENCE
	CONCRETE (CUT)		WOOD FENCE
	EARTH		WROUGHT IRON FENCE
	GRAVEL		OVERHEAD WIRES
	PLYWOOD		POWER CONDUIT
	STEEL		GROUND CONDUCTOR
	EXISTING GRASS		PROPERTY LINE
	ELEVATION DATUM		CENTERLINE

**ADMINISTRATIVE REQUIREMENTS**

CONTRACTOR SHALL VERIFY ALL PLANS & (E) DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE.

**DO NOT SCALE DRAWINGS**

SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
**MONOPINE:**  
 2605 TRAFFIC WAY  
 ATASCADERO, CA 93422

SHEET TITLE  
 TITLE SHEET

SHEET NUMBER  
 T-1



**LEGEND**

— x —	CHAIN LINK FENCE	□	U.G. UTILITY VAULT	VLT	U.G. UTILITY VAULT	UP	UTILITY POLE
— □ —	WOOD FENCE	⊕	MANHOLE	AC	ASPHALTIC CONCRETE	LP	LIGHT POLE
— OH —	OVERHEAD LINE	⊙	UTILITY POLE	AP	ASPHALT PAVING	WLP	WOOD LIGHT POLE
— ○ —	METAL FENCE	⊙	SPOT ELEVATION	R.O.W.	RIGHT OF WAY	LUM	LUMINAIRE
— — —	GRADE BREAK	⊙	WATER VALVE	R/W	RIGHT OF WAY	OH	OVERHEAD
— — —	RIGHT OF WAY LINE	⊙	FOUND MONUMENT	PUE	PUBLIC UTILITY EASEMENT	CONC	CONCRETE
— — —	CENTER LINE	⊙	GEODETIC MARKER	BCM	BRASS CAP MONUMENT	PED	PEDESTAL
— — —	EASEMENT LINE	⊙	ROAD SIGN	NG	NATURAL GRADE	MON	MONUMENT
— — —	BOUNDARY LINE					VZW	VERIZON WIRELESS

- NOTES:**
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. THIS SURVEY IS INTENDED FOR EXHIBIT PURPOSES AND NOT FOR RECORDATION AS AN OFFICIAL RECORD OF SURVEY DRAWING. ALL STATES ENGINEERING & SURVEYING / LAYTON SURVEYS LLC. TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING MONUMENT(S)/LANDMARK(S) SHOWN HEREON. NO TITLE RESEARCH WAS PERFORMED BY ALL STATES ENGINEERING & SURVEYING / LAYTON SURVEYS LLC.
  - ANY CHANGES MADE TO THE INFORMATION ON THIS PLAN, WITHOUT THE WRITTEN CONSENT OF ALL STATES ENGINEERING & SURVEYING / LAYTON SURVEYS LLC. RELIEVES ALL STATES ENGINEERING & SURVEYING / LAYTON SURVEYS LLC. OF ANY AND ALL LIABILITY.
  - THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY & COPYRIGHT OF ALL STATES ENGINEERING & SURVEYING / LAYTON SURVEYS LLC. & SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE SURVEYOR, AND BY WRITTEN PERMISSION FROM ALL STATES ENGINEERING & SURVEYING / LAYTON SURVEYS LLC.
  - WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED & SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE NOTICED TO THE SURVEYOR PRIOR TO COMMENCEMENT OF ANY WORK.
  - THIS SITE IS PROPOSED TO BE DEVELOPED ON A PARCEL OF PROPERTY LOCATED WITHIN THE CITY OF ATASCADERO, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.
  - TITLE INFORMATION SHOWN HEREON IS PER A "REPORT OF TITLE" PREPARED BY: FIRST AMERICAN TITLE INSURANCE COMPANY; ORDER NO.: 6999539; CUSTOMER REFERENCE NUMBER: TRAFFIC WAY; AND DATED: JUNE 02, 2023.
  - THIS DRAWING IS NOT INTENDED TO VERIFY OWNERSHIP OR USAGE. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.

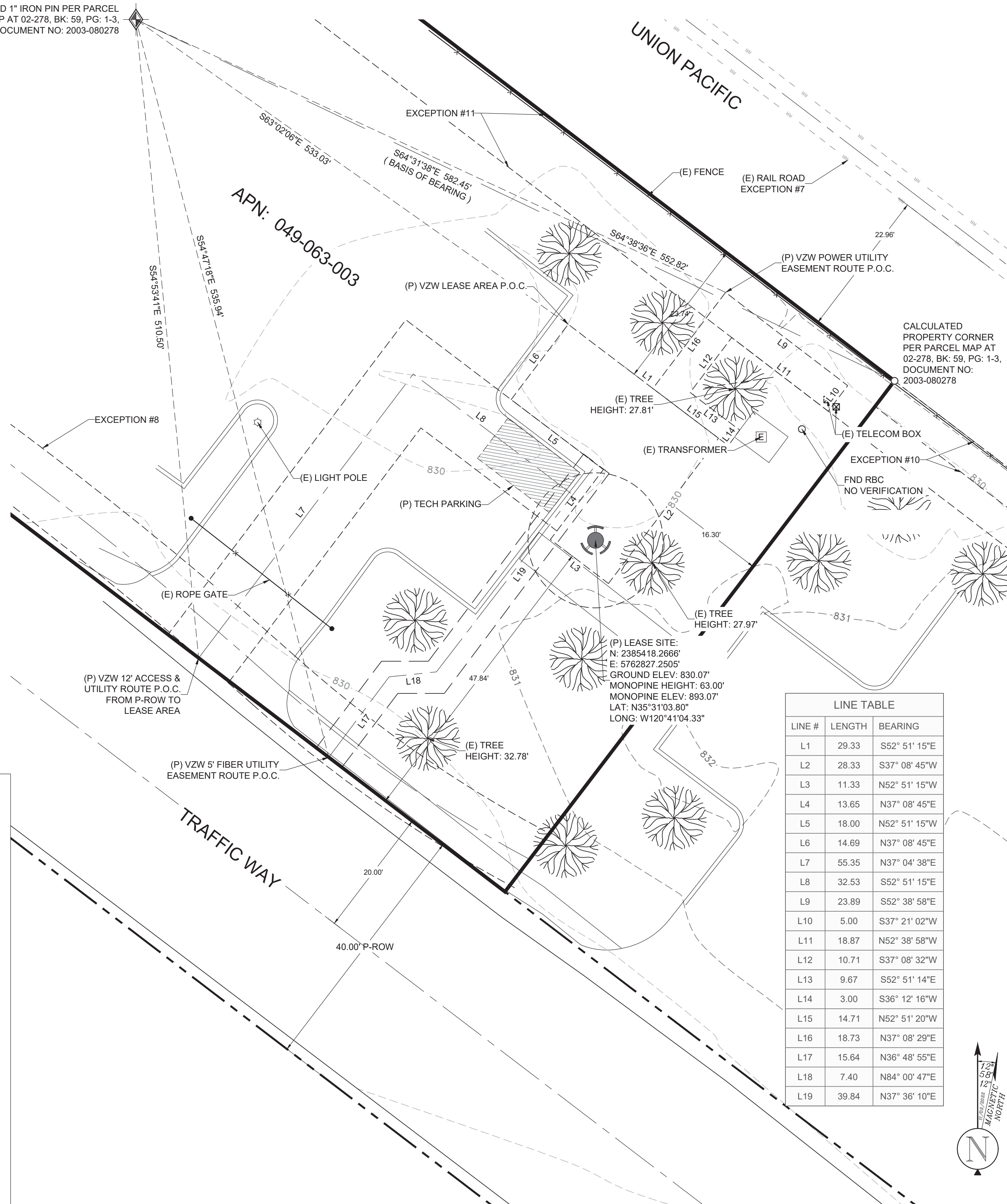
**TITLE INFORMATION**  
 TITLE INFORMATION SHOWN HEREON IS PER A "REPORT OF TITLE" PREPARED BY: FIRST AMERICAN TITLE INSURANCE COMPANY; ORDER NO.: 5026900-6999539; CUSTOMER REFERENCE NUMBER: TRAFFIC WAY. AND DATED: JUNE 02, 2023 AT 7:30 A.M.

**LEGAL DESCRIPTION:**  
 SEE SHEET C-2 FOR A COMPLETE LEGAL DISCRPTION FROM THE TITLE GURANTEE PROVIDED BY THE CLIENT.

**EXCEPTIONS:**  
 NO PLOTTABLE EXCEPTIONS AFFECTING THE PROPOSED LEASE WERE PROVIDED AS A PART OF THE TITLE REPORT FOR INCLUSION INTO THIS SURVEY DRAWING. SEE SHEET C-2 FOR A COMPLETE LIST OF TITL EXCEPTIONS FROM THE TITLE GURANTEE PROVIDED BY THE CLIENT.

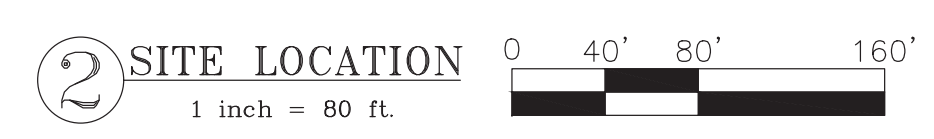
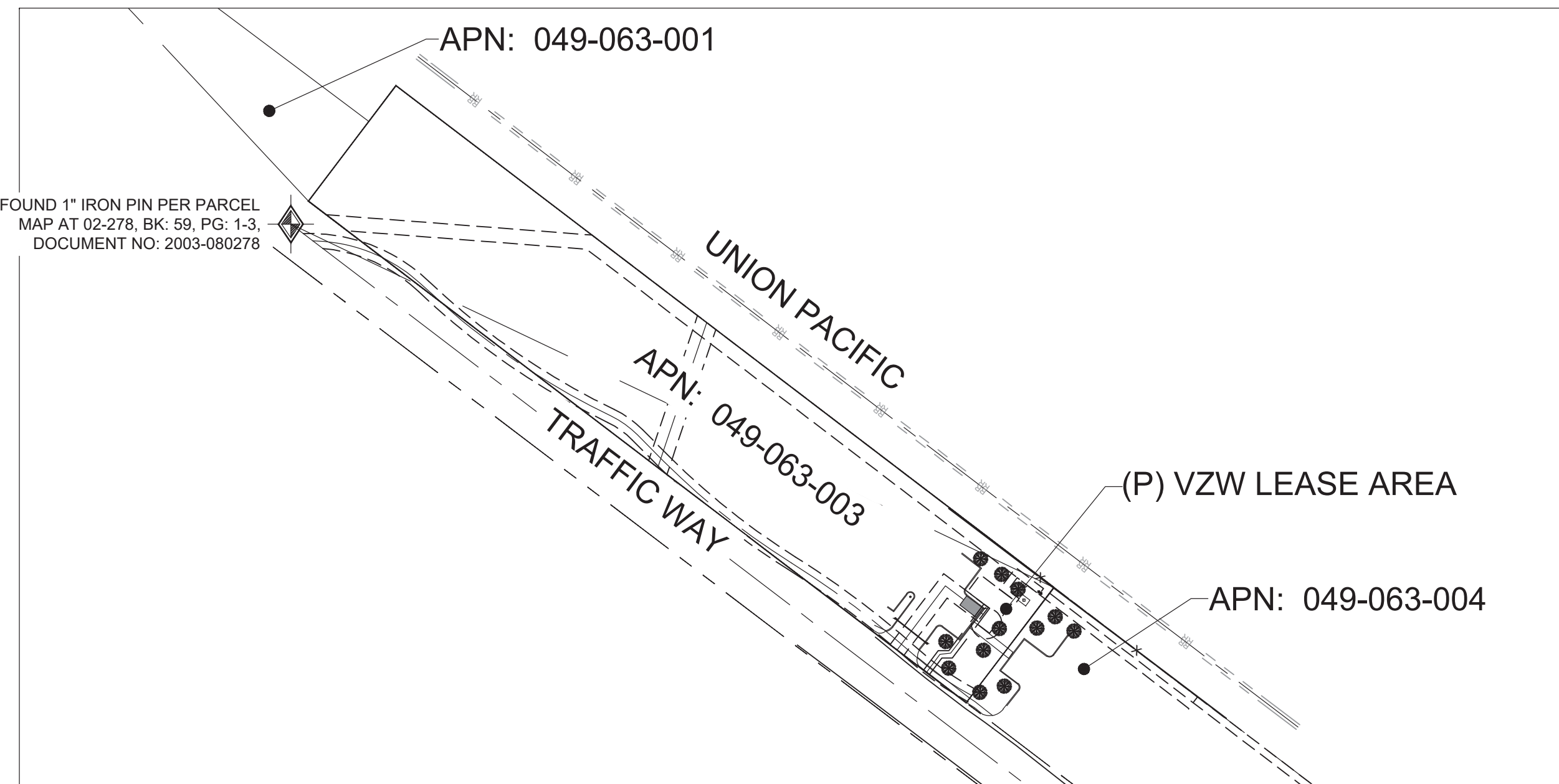
**UTILITY NOTE:**  
 SURVEYOR DOES NOT GUARANTEE THE LOCATION, EXISTENCE, SIZE OR DEPTH, OF ANY PUBLIC OR PRIVATE UTILITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811-CALIFORNIA USA (UNDERGROUND SERVICE ALERT), BLUE STAKE, AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. PROTECTION, REMOVAL, RELOCATION AND/OR REPLACEMENT OF UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

FOUND 1" IRON PIN PER PARCEL  
 MAP AT 02-278, BK: 59, PG: 1-3,  
 DOCUMENT NO: 2003-080278



**LINE TABLE**

LINE #	LENGTH	BEARING
L1	29.33	S52° 51' 15"E
L2	28.33	S37° 08' 45"W
L3	11.33	N52° 51' 15"W
L4	13.65	N37° 08' 45"E
L5	18.00	N52° 51' 15"W
L6	14.69	N37° 08' 45"E
L7	55.35	N37° 04' 38"E
L8	32.53	S52° 51' 15"E
L9	23.89	S52° 38' 58"E
L10	5.00	S37° 21' 02"W
L11	18.87	N52° 38' 58"W
L12	10.71	S37° 08' 32"W
L13	9.67	S52° 51' 14"E
L14	3.00	S36° 12' 16"W
L15	14.71	N52° 51' 20"W
L16	18.73	N37° 08' 29"E
L17	15.64	N36° 48' 55"E
L18	7.40	N84° 00' 47"E
L19	39.84	N37° 36' 10"E



**BASIS OF BEARING**  
 BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE FIVE, DETERMINED BY GPS OBSERVATIONS.

**SURVEY DATE**  
 8/2/2023

**BENCHMARK**  
 FND 1" IP OPUS POSITION  
 NORTHING: 2385693.5560  
 EASTING: 5762347.9170  
 +829.58' (A.M.S.L.)



PROJECT NO:	TRAFFIC WAY
DRAWN BY:	KT
CHECKED BY:	ZQ/BC/DW/WDL

REV	DATE	DESCRIPTION	
0	12/21/2023	FINAL SURVEY (PTR)	KT
B	11/01/2023	DRAFT FINAL SURVEY	KT
A	08/26/2023	SURVEY FIRST DRAFT	KT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

TRAFFIC WAY  
 A.P.N. 049-063-003  
 2605 TRAFFIC WAY,  
 ATASCADERO, CA 93422  
 SITE EXHIBIT

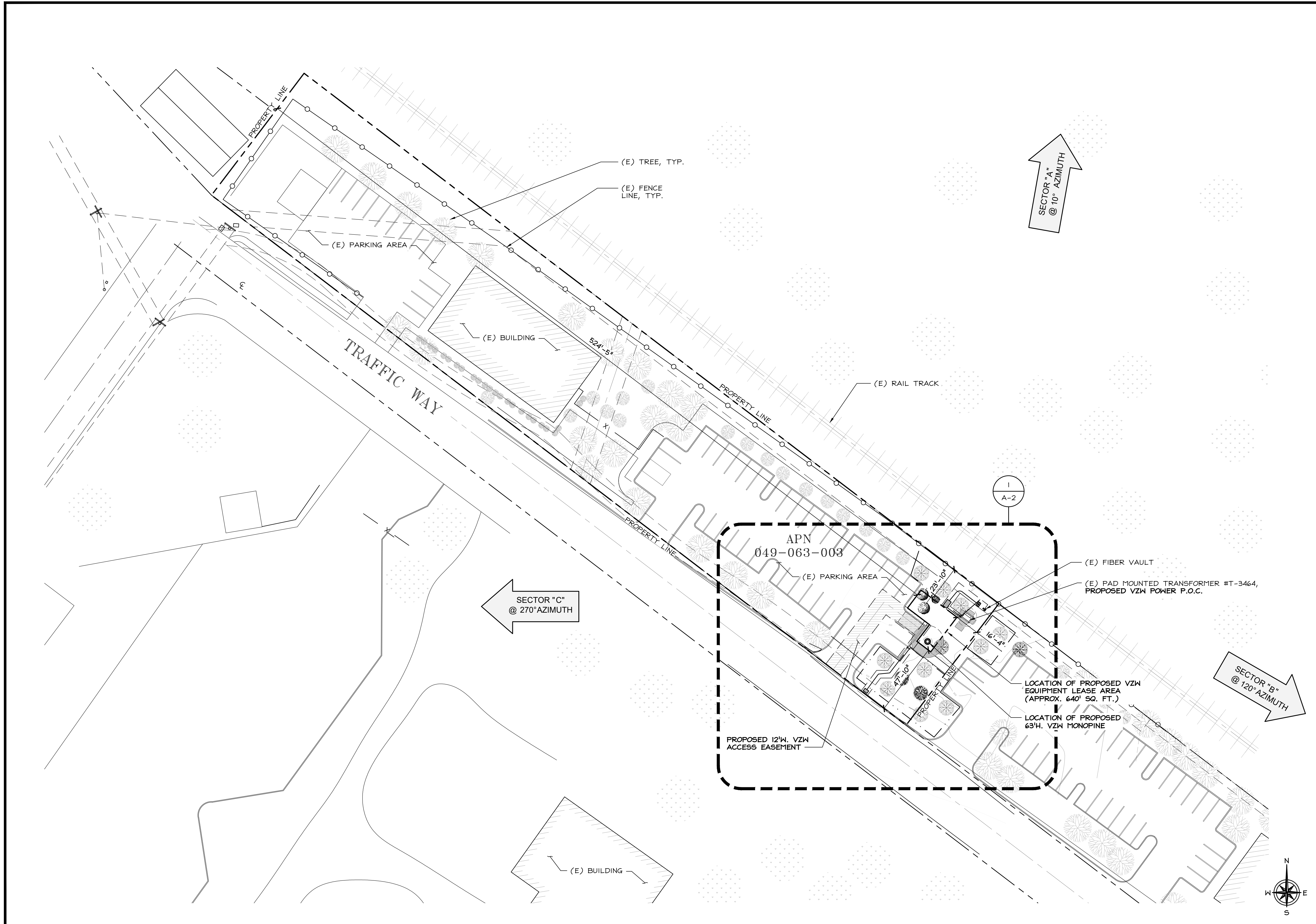
SHEET TITLE  
 SITE SURVEY

SHEET NUMBER  
**C-1**









**verizon**<sup>v</sup>  
 2770 SHADELANDS DRIVE,  
 BUILDING 11  
 WALNUT CREEK, CA 94598

**SEQUOIA**  
 DEPLOYMENT SERVICES, INC.  
 1 SPECTRUM POINTE DRIVE, SUITE 130  
 LAKE FOREST, CA 92630-2283

**ALLSTATES**  
 ENGINEERING & SURVEYING  
 23675 BIRTCHE DRIVE  
 LAKE FOREST, CA 92630

PROJECT ID: TRAFFIC WAY  
 DRAWN BY: RC  
 CHECKED BY: SS

REV	DATE	DESCRIPTION	
2	05/13/2024	PER LANDSCAPE PLANS	SS
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
 MONOPINE:  
 2605 TRAFFIC WAY  
 ATASCADERO, CA 93422

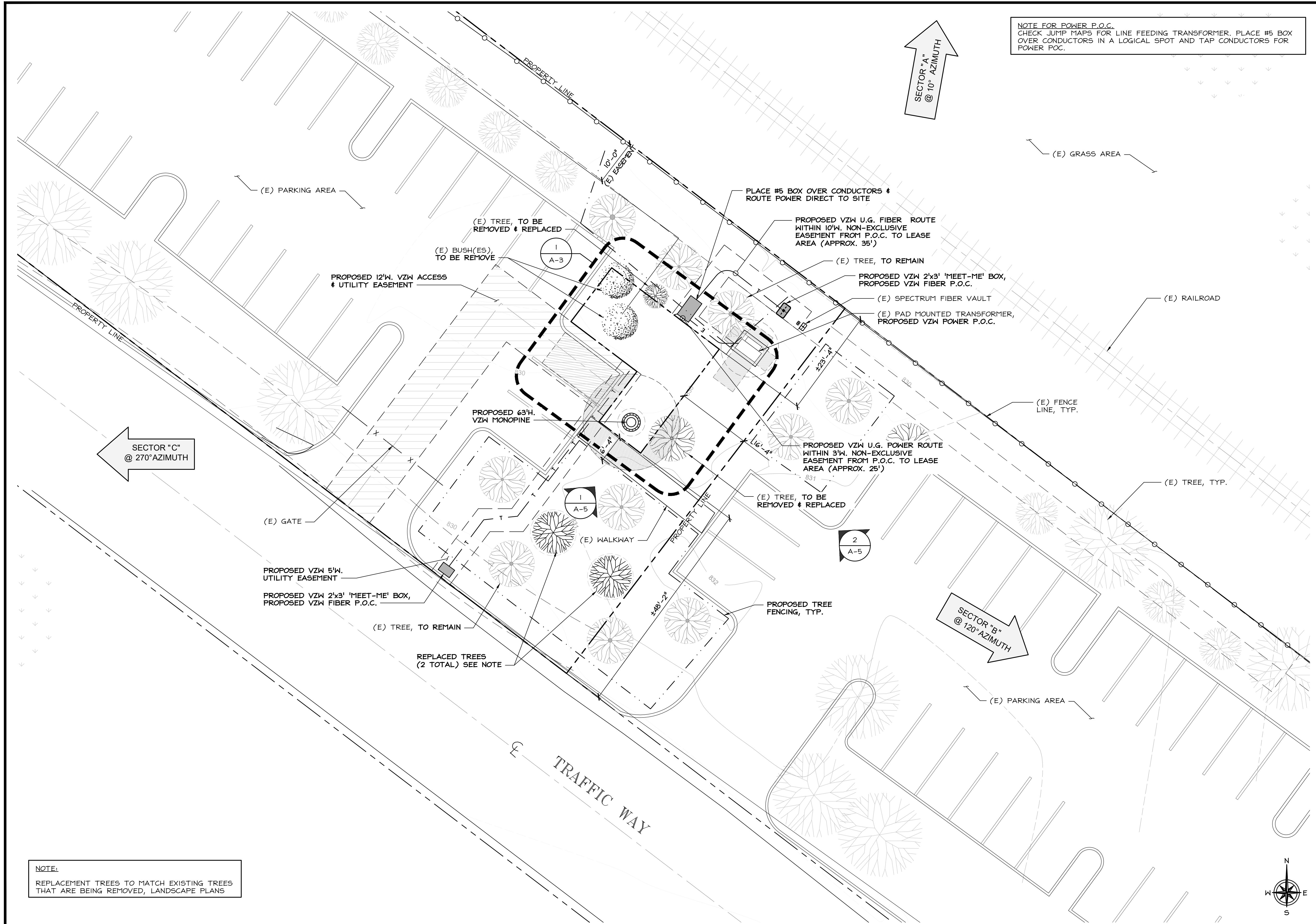
SHEET TITLE  
**OVERALL SITE PLAN**

SHEET NUMBER  
**A-1**

**OVERALL SITE PLAN**

24"x36" SCALE: 1" = 20'-0"  
 11"x17" SCALE: 1" = 40'-0"  
 20' 10' 0' 20' 1





**NOTE:**  
REPLACEMENT TREES TO MATCH EXISTING TREES THAT ARE BEING REMOVED, LANDSCAPE PLANS

**NOTE FOR POWER P.O.C.**  
CHECK JUMP MAPS FOR LINE FEEDING TRANSFORMER. PLACE #5 BOX OVER CONDUCTORS IN A LOGICAL SPOT AND TAP CONDUCTORS FOR POWER P.O.C.

**verizon**<sup>v</sup>  
2770 SHADELANDS DRIVE,  
BUILDING 11  
WALNUT CREEK, CA 94598

**SEQUOIA**  
DEPLOYMENT SERVICES, INC.  
1 SPECTRUM POINTE DRIVE, SUITE 130  
LAKE FOREST, CA 92630-2283

**ALLSTATES**  
ENGINEERING & SURVEYING  
23675 BIRTCHE DRIVE  
LAKE FOREST, CA 92630

PROJECT ID: TRAFFIC WAY  
DRAWN BY: RC  
CHECKED BY: SS

REV	DATE	DESCRIPTION	BY
2	05/13/2024	PER LANDSCAPE PLANS	SS
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD'S FOR SUBMITTAL	LS
C	09/19/2023	95% ZD'S FOR APPROVAL	LS
B	08/08/2023	95% ZD'S FOR APPROVAL	LS
A	07/03/2023	90% ZD'S FOR REVIEW	RC/KM

**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
MONOPINE:  
2605 TRAFFIC WAY  
ATASCADERO, CA 93422

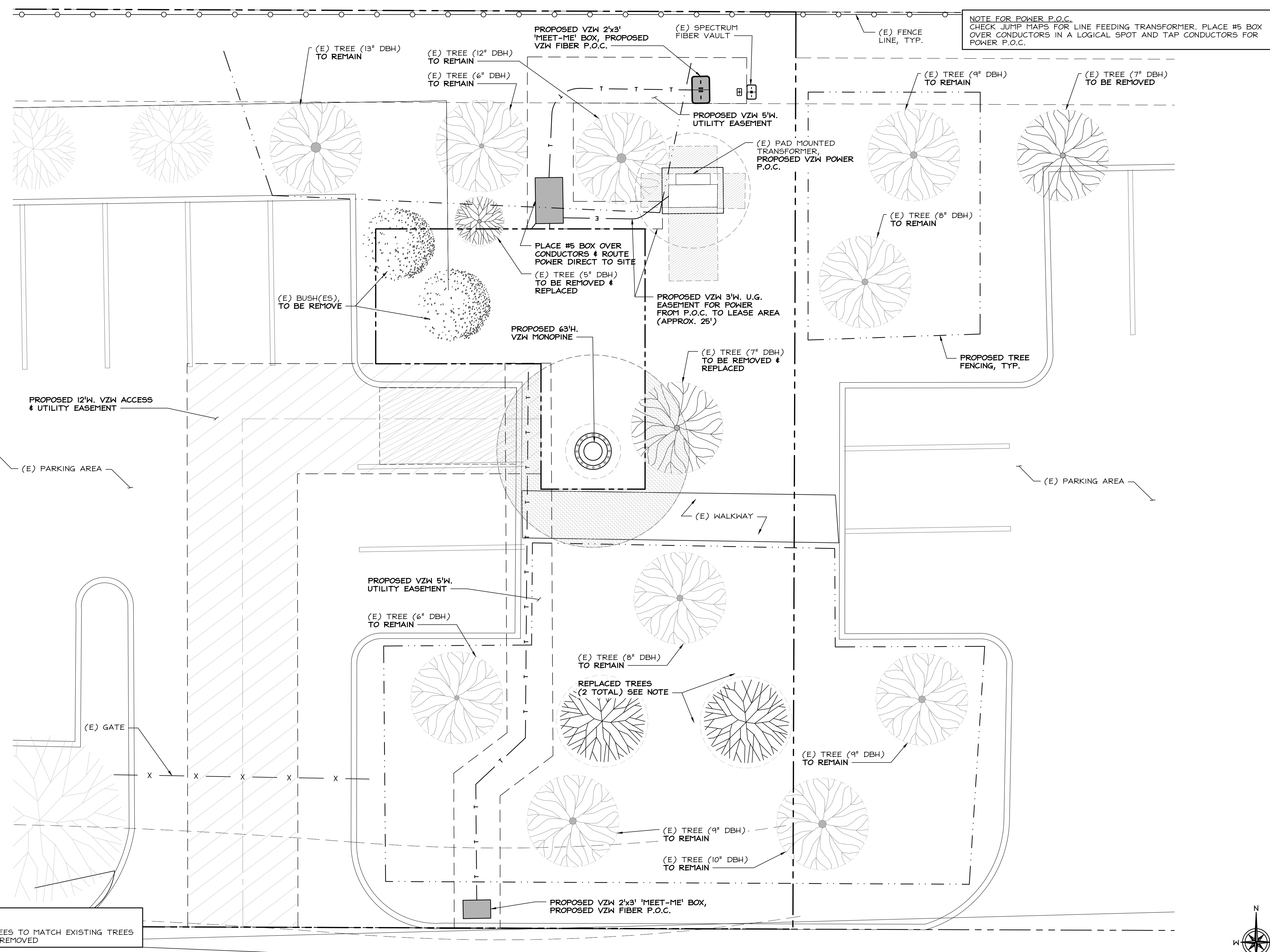
SHEET TITLE  
**ENLARGED SITE PLAN**

SHEET NUMBER  
**A-2**

**ENLARGED SITE PLAN**

24"x36" SCALE: 1" = 10'-0"  
11"x17" SCALE: 1" = 20'-0"  
10' 5' 0' 10' 1





NOTE:  
REPLACEMENT TREES TO MATCH EXISTING TREES THAT ARE BEING REMOVED

**verizon**<sup>v</sup>  
2770 SHADELANDS DRIVE,  
BUILDING 11  
WALNUT CREEK, CA 94598

**SEQUOIA**  
DEPLOYMENT SERVICES, INC.  
1 SPECTRUM POINTE DRIVE, SUITE 130  
LAKE FOREST, CA 92630-2283

**ALLSTATES**  
ENGINEERING & SURVEYING  
23675 BIRTCHE DRIVE  
LAKE FOREST, CA 92630

PROJECT ID: TRAFFIC WAY  
DRAWN BY: RC  
CHECKED BY: SS

REV	DATE	DESCRIPTION	BY
2	05/13/2024	PER LANDSCAPE PLANS	SS
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
MONOPINE:  
2605 TRAFFIC WAY  
ATASCADERO, CA 93422

SHEET TITLE  
**TREE PROTECTION PLAN**

SHEET NUMBER  
**A-2.1**

**TREE PROTECTION PLAN**

24"x36" SCALE: 1" = 10'-0"  
11"x17" SCALE: 1" = 20'-0"  
10' 5' 0' 10' 1







NOTES:  
 1. PROPOSED VZW MONOPINE NEEDLES NOT SHOWN FOR CLARITY  
 2. ALL ANTENNAS WILL BE COVERED WITH SOCKS OR PAINTED TO MATCH

**verizon**<sup>v</sup>  
 2770 SHADELANDS DRIVE,  
 BUILDING 11  
 WALNUT CREEK, CA 94598

**SEQUOIA**  
 DEPLOYMENT SERVICES, INC.  
 1 SPECTRUM POINTE DRIVE, SUITE 130  
 LAKE FOREST, CA 92630-2283

**ALLSTATES**  
 ENGINEERING & SURVEYING  
 23675 BIRTCHE DRIVE  
 LAKE FOREST, CA 92630

PROJECT ID:	TRAFFIC WAY
DRAWN BY:	RC
CHECKED BY:	SS

REV	DATE	DESCRIPTION	BY
2	05/13/2024	PER LANDSCAPE PLANS	SS
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

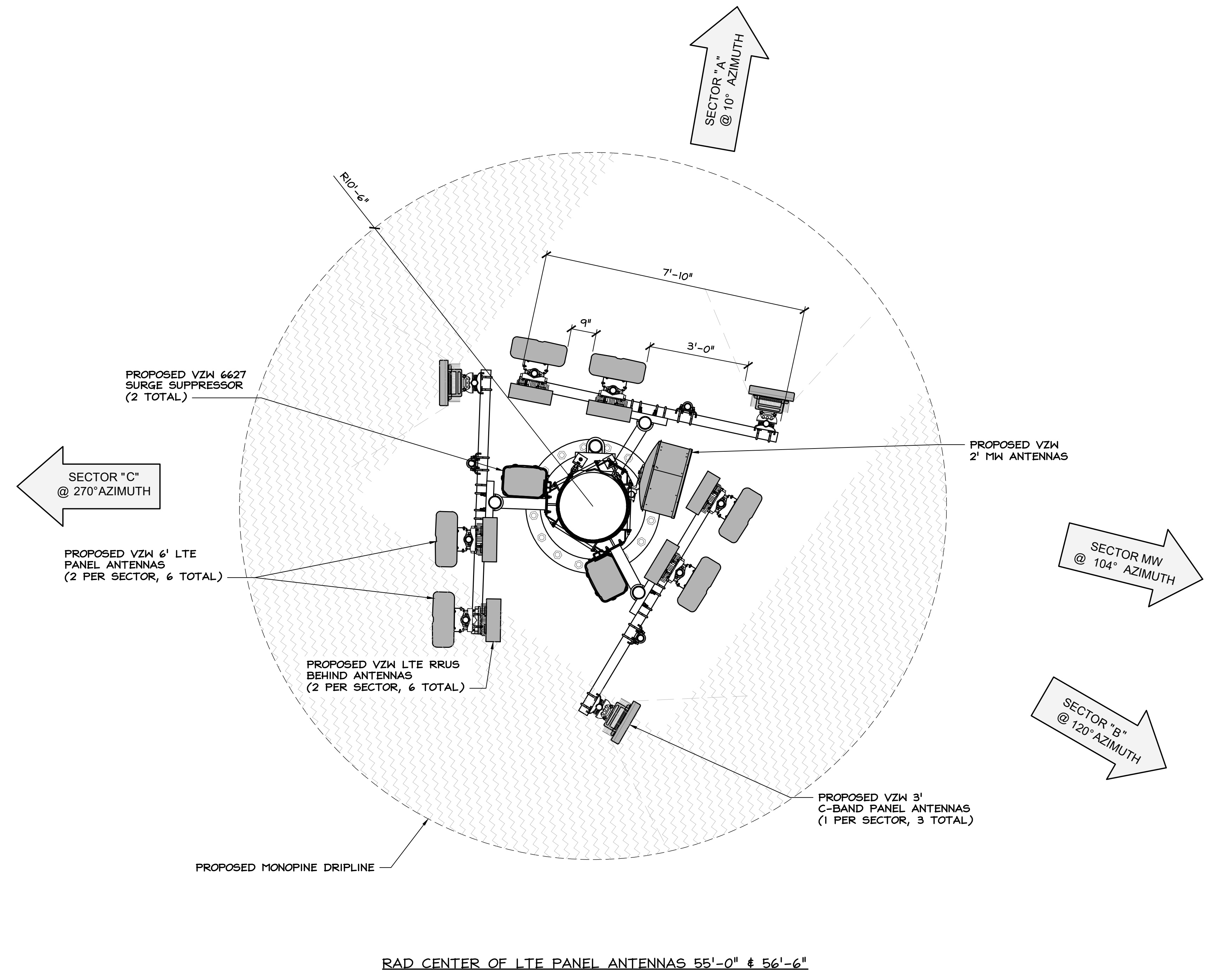
NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
 MONOPINE:  
 2605 TRAFFIC WAY  
 ATASCADERO, CA 93422

SHEET TITLE  
**ANTENNA LAYOUT PLAN**

SHEET NUMBER  
**A-4**



**ANTENNA LAYOUT PLAN**

24"x36" SCALE: 1/2" = 1'-0"  
 11"x17" SCALE: 1/4" = 1'-0"  
 2' 1' 0' 2' 1





**verizon**<sup>v</sup>

2770 SHADELANDS DRIVE,  
BUILDING 11  
WALNUT CREEK, CA 94598

**SEQUOIA**  
DEPLOYMENT SERVICES, INC.  
1 SPECTRUM POINTE DRIVE, SUITE 130  
LAKE FOREST, CA 92630-2283

**ALLSTATES**  
ENGINEERING & SURVEYING  
23675 BIRTCHE DRIVE  
LAKE FOREST, CA 92630

PROJECT ID: TRAFFIC WAY  
DRAWN BY: RC  
CHECKED BY: SS

REV	DATE	DESCRIPTION	
2	05/13/2024	PER LANDSCAPE PLANS	SS
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD'S FOR SUBMITTAL	LS
C	09/19/2023	95% ZD'S FOR APPROVAL	LS
B	08/08/2023	95% ZD'S FOR APPROVAL	LS
A	07/03/2023	90% ZD'S FOR REVIEW	RC/KM

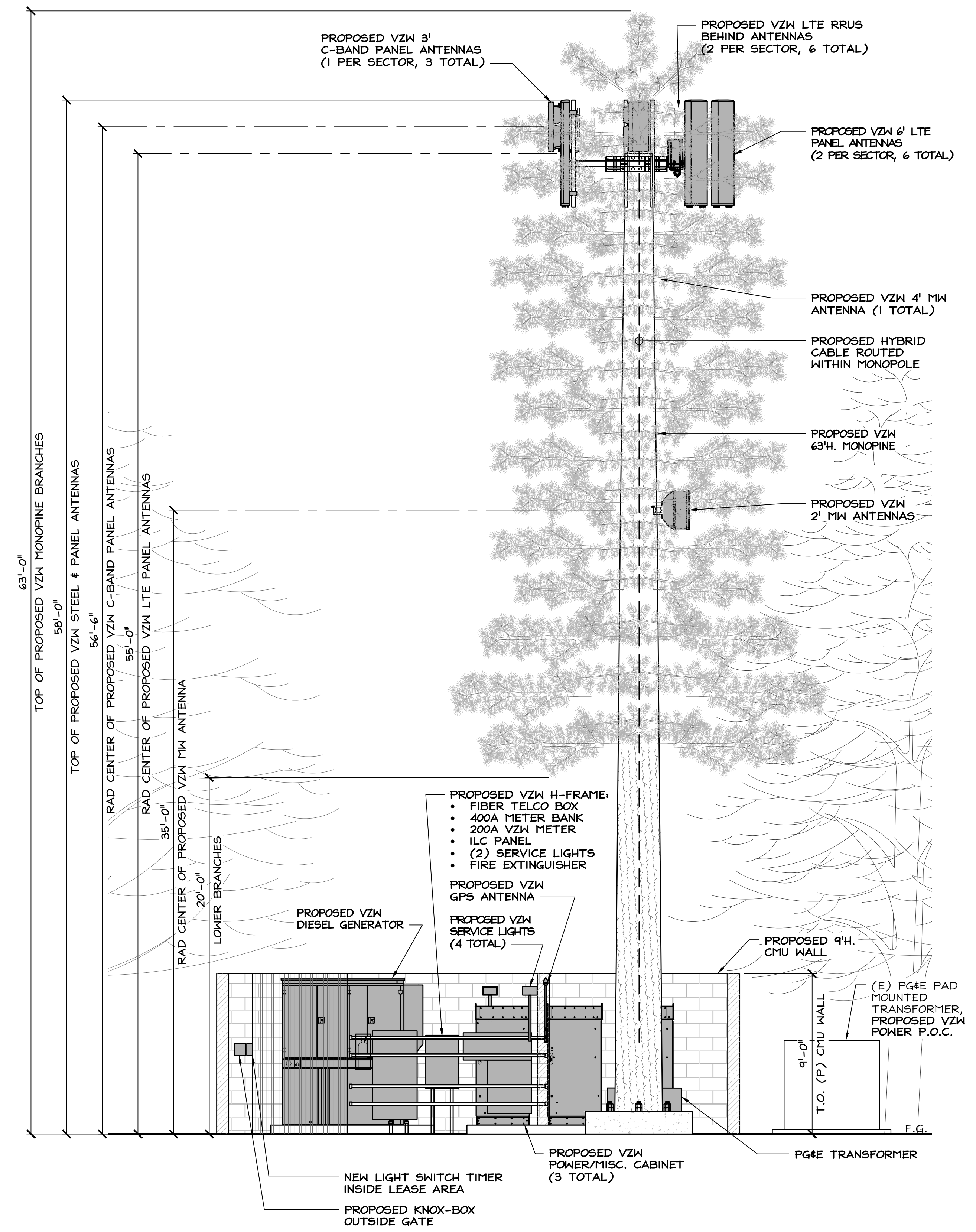
**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

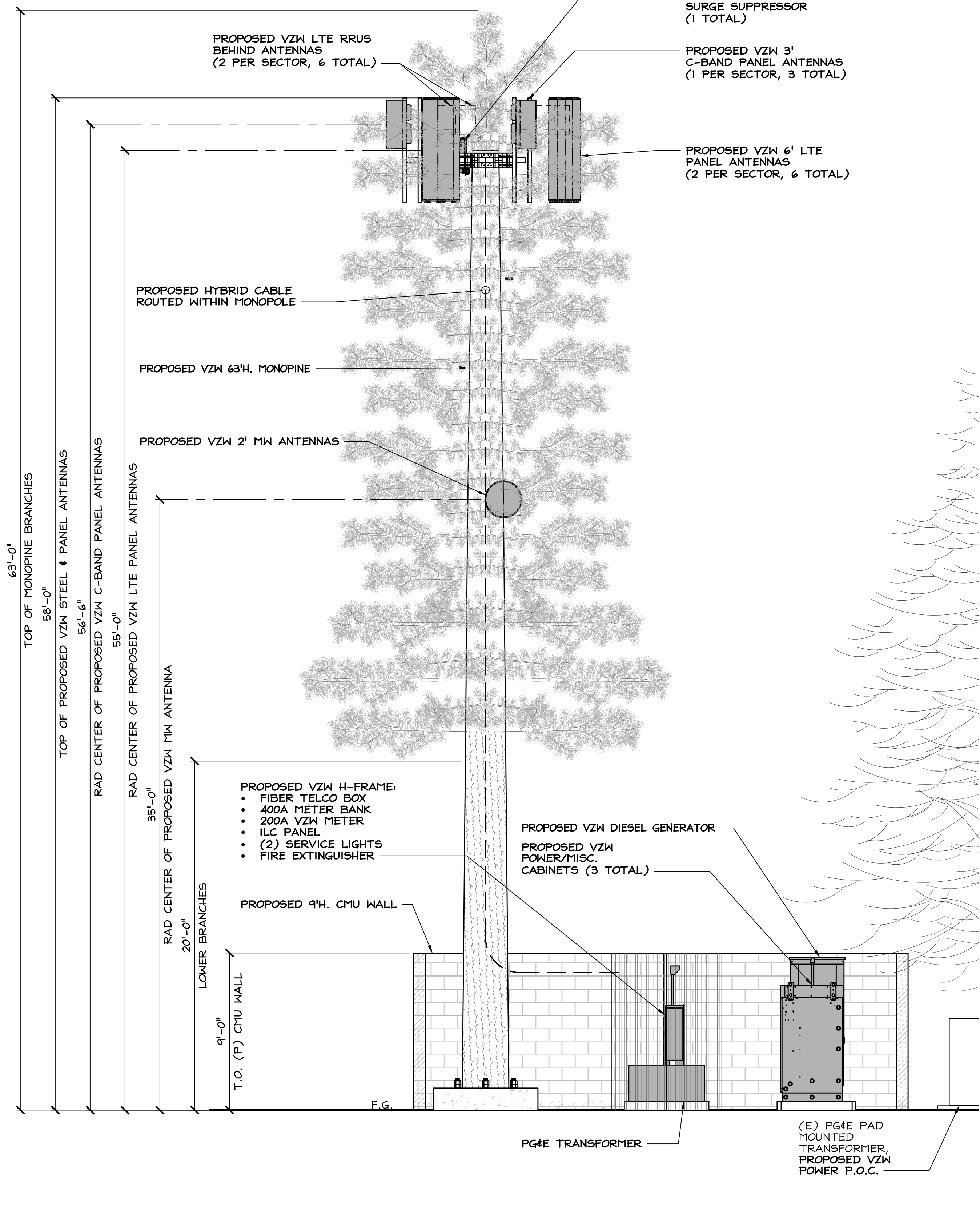
**TRAFFIC WAY**  
MONOPINE:  
2605 TRAFFIC WAY  
ATASCADERO, CA 93422

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
**A-5**

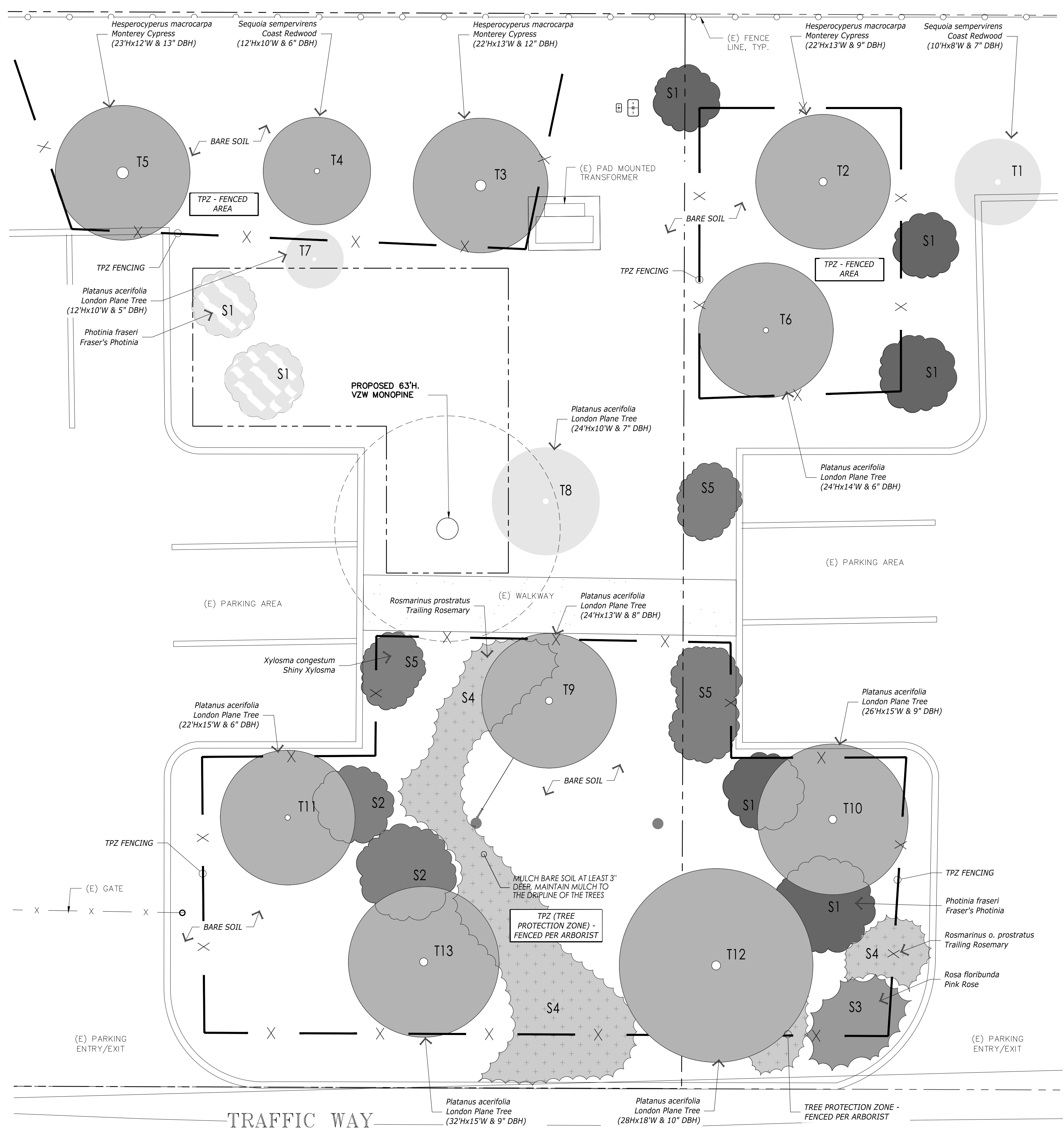


**PROPOSED SOUTHWEST ELEVATION** 24"x36" SCALE: 1/4" = 1'-0" 11"x17" SCALE: 1/8" = 1'-0" 4' 3' 2' 1' 0" 2



**PROPOSED SOUTHEAST ELEVATION** 24"x36" SCALE: 1/4" = 1'-0" 11"x17" SCALE: 1/8" = 1'-0" 4' 3' 2' 1' 0" 1





NOTE:  
REPLACEMENT TREES TO MATCH EXISTING TREES THAT ARE BEING REMOVED

EXISTING PLANTING

KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE
<b>TREES</b>			
T1	SEQUOIA SEMPERVIRENS COAST REDWOOD	FAILING - TO BE REMOVED	PER PLAN
T2	HESPEROCYPARIS MACROCARPA MONTEREY CYPRESS	TO REMAIN	
T3	HESPEROCYPARIS MACROCARPA MONTEREY CYPRESS	TO REMAIN	
T4	SEQUOIA SEMPERVIRENS COAST REDWOOD	TO REMAIN	
T5	HESPEROCYPARIS MACROCARPA MONTEREY CYPRESS	TO REMAIN	
T6	PLATANUS ACERIFOLIA LONDON PLANE TREE	TO REMAIN	
T7	PLATANUS ACERIFOLIA LONDON PLANE TREE	CONSTRUCTION CONFLICT - TO BE REMOVED	
T8	PLATANUS ACERIFOLIA LONDON PLANE TREE	CONSTRUCTION CONFLICT - TO BE REMOVED	
T9	PLATANUS ACERIFOLIA LONDON PLANE TREE	TO REMAIN	
T10	PLATANUS ACERIFOLIA LONDON PLANE TREE	TO REMAIN	
T11	PLATANUS ACERIFOLIA LONDON PLANE TREE	TO REMAIN	
T12	PLATANUS ACERIFOLIA LONDON PLANE TREE	TO REMAIN	
T13	PLATANUS ACERIFOLIA LONDON PLANE TREE	TO REMAIN	PER PLAN
<b>SHRUBS AND GROUND COVERS</b>			
S1	PHOTINIA FRASERI FRASER'S PHOTINIA	TO REMAIN	PER PLAN
S2	PITTOSPORUM TOBIRA PITTOSPORUM	TO REMAIN	
S3	ROSA UNKNOWN FLORIBUNDA HYBRID PINK FLORIBUNDA	TO REMAIN	
S4	ROSMARINUS O. PROSTRATA PROSTRATE ROSEMARY	TO REMAIN	
S5	XYLOSMA CONGESTUM SHINY XYLOSMA	TO REMAIN	PER PLAN

**verizon**  
2770 SHADELANDS DRIVE, BUILDING 11  
WALNUT CREEK, CA 94598

**SEQUOIA**  
DEPLOYMENT SERVICES, INC.  
1 SPECTRUM POINTE DRIVE, SUITE 130  
LAKE FOREST, CA 92630-2283

**ALLSTATES**  
ENGINEERING & SURVEYING  
23675 BIRTCRCH DRIVE  
LAKE FOREST, CA 92630

PROJECT ID: TRAFFIC WAY  
DRAWN BY: RC  
CHECKED BY: SS

REV	DATE	DESCRIPTION	
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

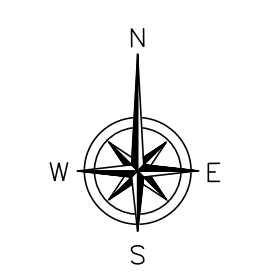
**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY MONOPINE:**  
2605 TRAFFIC WAY  
ATASCADERO, CA 93422

SHEET TITLE  
EXISTING LANDSCAPE & TREE PROTECTION PLAN

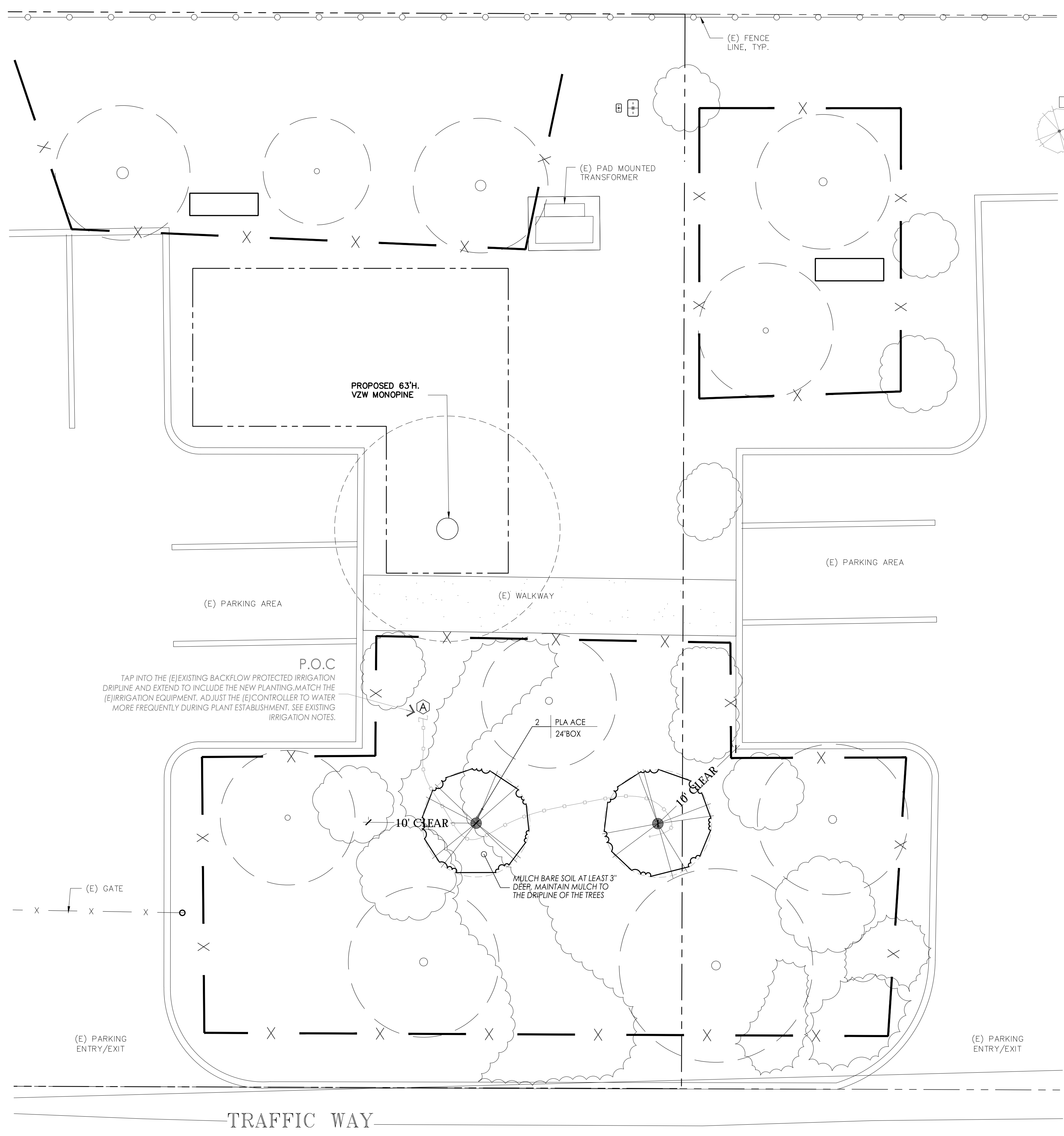
SHEET NUMBER  
**L-1**



24"x36" SCALE: 3/16" = 1'-0"  
11"x17" SCALE: 3/32" = 1'-0"  
4' 2' 0' 4'

**EXISTING LANDSCAPE AND TREE PROTECTION PLAN**





NOTE:  
REPLACEMENT TREES TO MATCH EXISTING TREES THAT ARE BEING REMOVED

### TREES

SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE 20YR L.H.W.	MAINTEN TO.H.W.	WUCOLS IV REG-REG.
PLA	ACE	PLATANUS ACERIFOLIA LONDON PLANE TREE	SINGLE TRUNK- ONLY PRUNE TO REMOVE DEFECTS	24" BOX	2	R,U L-5	40'x40'+	SAME	1-MW

MAINTAIN 3" MIN. DEEP MULCH TO THE DRIPLINE OF THE TREES/ SHRUBS THROUGHOUT THE LIFE OF THE PLANTINGS. MULCH BARE GROUND BETWEEN ALL SHRUBS AND TREES 3" DEEP. BETWEEN GROUND COVERS 1-1/2" DEEP- USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS, 0-2 INCH SCREENED COMPOST OR PRE- APPROVED EQUAL.

### IRRIGATION LEGEND

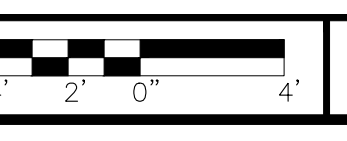
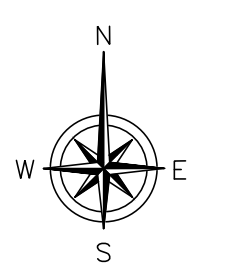
SYMBOL	DESCRIPTION	REMARKS	DETAIL	SHT
[M]	(E) WATER METER AND SERVICE LINE: VERIFY THE EQUIPMENT'S LOCATION, SIZE AND CONDITION			---
[B]	(E) BACKFLOW PREVENTER: TAP INTO (E) MAINLINE AFTER BACKFLOW. VERIFY THE EQUIPMENT'S LOCATION, SIZE AND CONDITION - REPAIR/REPLACE AS NECESSARY PER THE DIRECTION OF THE O.A.R (OWNER'S AUTHORIZED REPRESENTATIVE)			L-4
[V]	NIBCO T580A BALL VALVE (LINE SIZE)			E L-4
[R]	RAIN BIRD XCZ-PRB SERIES CONTROL ZONE ASSEMBLY WITH REMOTE CONTROL LOW FLOW DVF VALVE AND PRESSURE REGULATING FILTER. INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX.			F L-4
[C]	RAINBIRD ESP-4-SMTe 4 STATION CONTROLLER (EXPANDABLE TO 22 STATIONS) IN WALL MOUNT BOX PROVIDE AND INSTALL WEATHER SENSOR PER MANUFACTURER. SENSOR TO HAVE CLEAR "VIEW" OF SKY			D,C L-4
[P]	(E) PVC WATER PIPE CL. 315 OR SCH. 40			A,B L-4
[L]	PVC WATER PIPE SCH. 40 (LATERALS 3/4" - 1 1/2")			A,B L-4
[S]	BURIED SLEEVES SCH.40 PVC PIPE / ABOVE GRADE SLEEVES GALVANIZED PIPE: SIZE PER PLAN OR 2X DIA. OF PIPE/ WIRE BUNDLE AND 2" MIN. SIZE. INSTALL WHERE SHOWN AND ALL STREET OR DRIVE CROSSINGS.			A,B L-4
[F]	POLY PIPE, 1/2" - 3/4" (UV RESISTANT FLEXIBLE LATERALS) - RAINBIRD-XBS BLACK STRIPE TUBING, STAKE @36" O.C. AND BOTH SIDES OF ALL CHANGES IN DIRECTION WITH RAINBIRD TDS-050 W/ BEND. COVER W/ MULCH TYP.			H,I,L L-4

### OUTLETS

SYMBOL	DESCRIPTION	Q	T	DISCHARGE-GPM	PSI	RADIUS	PRECIP RATE	DETAIL	SHT
[D]	MATCH EXISTING DRIPLINE OR USE THIS: RAINBIRD XFD-09-12 W/ .92 GPH DRIPPERS AT 18" INTERVAL AND ROW SPACING OF 18" O.C. SCRATCH INTO SOIL, COVER W/ MULCH, AND STAKE IN PLACE -TYP. THE SYMBOL REPRESENTS AREA WATERED NOT THE EXACT LAYOUT - INSTALL WITH AIR RELIEF AND FLUSH VALVES PER MFG.					8.5 PSI MIN.		H,I,L	L-5
[A]	ANTI-DRAIN CHECK VALVES (ADV) SHALL BE INSTALLED AT ANY WATER OUTLET SUFFERING LOW HEAD DRAINAGE - FOR SPRINKLERS USE RAINBIRD SAM'S, HUNTER HCV 50M-50F OR VALCON V5000 SERIES.								
[L]	ALL LATERAL LINES SHALL BE 3/2" SIZE								
[V]	VERIFY SIZES AND FULL FUNCTIONAL OPERATION OF EXISTING IRRIGATION SYSTEM COMPONENTS AT THE SITE. REPLACE NON-FUNCTIONING OR MISSING EQUIPMENT TO MATCH THE EXISTING OR PER THE LEGEND ABOVE.								

### POINT OF CONNECTION (POC) & CONTROLLER (CNTRL) INSTALLATION

SYMBOL	DESCRIPTION	DETAIL	SHT
[POC]	POINT OF CONNECTION TO THE EXISTING (E) POTABLE WATER METER, BACKFLOW, VALVE AND TREE WATERING LATERAL LINE. VERIFY THE EXACT LOCATION TO TAP THE (E) LATERAL PER THE DRAWINGS AND ACTUAL FIELD CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL PAY FOR ALL FEES AND PERMITS AND COORDINATE WITH THE WATER AGENCY FOR THE INSTALLATION OF THE IRRIGATION SYSTEM. PROVIDE ALL REQUIRED FITTINGS TO COMPLETE THE TASK. THE CONTRACTOR SHALL RUN A NEW DRIPLINE PIPE FROM THE (E) SYSTEM THEN TO EACH NEW TREE. FINAL LOCATION OF THIS EQUIPMENT SHALL BE APPROVED BY THE CITY AND OWNER'S AUTHORIZED REPRESENTATIVES. THE SYSTEM HAS BEEN DESIGNED FOR A MAXIMUM ADDITIONAL FLOW OF 2.0 GPM AT MINIMUM OPERATING PRESSURE OF 30.0 PSI. THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE IN THE FIELD BEFORE COMMENCEMENT OF THE PROJECT.		
[CNTRL]	ADJUST THE (E) CONTROLLER TO WATER MORE FREQUENTLY DURING PLANT ESTABLISHMENT.		



**verizon**  
2770 SHADELANDS DRIVE, BUILDING 11  
WALNUT CREEK, CA 94598

**SEQUOIA**  
DEPLOYMENT SERVICES, INC.  
1 SPECTRUM POINTE DRIVE, SUITE 130  
LAKE FOREST, CA 92630-2283

**ALLSTATES**  
ENGINEERING & SURVEYING  
23675 BIRTCRCH DRIVE  
LAKE FOREST, CA 92630

PROJECT ID:	TRAFFIC WAY
DRAWN BY:	RC
CHECKED BY:	SS

REV	DATE	DESCRIPTION	BY
T	12/13/2023	PER TREE REPORT	SS
O	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
**MONOPINE:**  
2605 TRAFFIC WAY  
ATASCADERO, CA 93422

SHEET TITLE  
**PROPOSED LANDSCAPE & TREE PROTECTION PLAN**

SHEET NUMBER  
**L-2**

**PROPOSED LANDSCAPE AND TREE PROTECTION PLAN**

24"x36" SCALE: 3/16" = 1'-0"  
11"x17" SCALE: 3/32" = 1'-0"  
1 1



PLANTING SPECS. CONT'D.

UNTIE VINES AND REMOVE ALL STAKES AND TRELLISES THEN SECURELY FASTEN AND TRAIN AGAINST WHATEVER STRUCTURE NEXT TO WHICH THEY ARE PLANTED. TREES MUST BE STAKED AND/OR GUYED AT THE TIME OF PLANTING.

LAY SOD WITHIN TWO (2) DAYS OF DELIVERY AND DO NOT STORE IN HOT SUN. SET IN A STAGGERED PATTERN ON PRE-IRRIGATED MOIST GROUND AND SET FIRMLY AGAINST OTHER SOD PIECES. WATER THOROUGHLY AFTER PLANTING.

UNLESS NOTED OTHERWISE CONTRACTOR SHALL PLANT GROUND COVERS IN STRAIGHT ROWS, EVENLY SPACED IN A TRIANGULAR PATTERN AT THE INTERVALS LISTED IN THE DRAWINGS.

AFTER ALL PLANTING IS COMPLETED, TOP DRESS ALL NON-TURF LANDSCAPED AREAS WITH SLOPES LESS STEEP THAN 3:1, WITH A 3" LAYER OF SINGLE GRIND SHREDDED BARK MULCH, TO COVER THE PLANTING AREA COMPLETELY. THIS LAYER IS IN ADDITION TO SOIL AMENDMENT MATERIALS.

UNLESS DIRECTED OTHERWISE BY THE O.A.R., PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES AND SUCKER GROWTH.

**VII. GUARANTEE**  
 CONTRACTOR SHALL PROVIDE A NINETY (90) DAY GUARANTEE FOR ALL PLANTS EXCLUDING TREES WHICH SHALL BE GUARANTEED FOR ONE (1) FULL YEAR. DURING THE GUARANTEE PERIOD THE CONTRACTOR SHALL REPLACE, IN A TIMELY MANNER, ANY PLANTS THAT ARE UNHEALTHY, MISSING OR DEAD. THIS GUARANTEE SHALL NOT INCLUDE DAMAGE TO GROUND COVER FROM EXCESSIVE RAIN RUN-OFF AND EXTREME WINDS. SUCH "NATURAL" DAMAGE SHALL BE REPAIRED FOR TIME AND MATERIALS.

**VIII. MAINTENANCE**  
 CONTRACTOR SHALL INCLUDE IN THEIR BID FOR A 90 DAY MAINTENANCE PERIOD AFTER FINAL LANDSCAPE ACCEPTANCE BY THE OWNER. THIS MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE AND ANY OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS PLANT GROWTH AND APPEARANCE.

GENERAL NOTES

- A. THE LANDSCAPE ARCHITECT WILL INTERPRET THE MEANING OF ANY PART OF THE PLANS AND SPECIFICATIONS ABOUT WHICH ANY MISUNDERSTANDING MAY ARISE, AND HIS DECISION WILL BE FINAL.
- B. THE CONTRACTOR SHALL OBTAIN CLARIFICATION TO QUESTIONS RELATIVE TO THE DRAWING BEFORE SUBMITTING A BID.
- C. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
- D. THE CONTRACTOR SHALL CARRY NECESSARY CALIFORNIA STATE CONTRACTORS LICENSE OR CERTIFICATE FOR TYPE OF WORK LISTED, SUCH AS C-27.
- E. THE CONTRACTOR SHALL CARRY ALL NECESSARY COMPENSATION AND LIABILITY INSURANCE TO COVER HIS WORKMEN AND WORK TO FULLY PROTECT THE OWNER FROM ANY POSSIBLE SUIT OR LIEN.
- F. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.
- G. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND LICENSES AND ASSURE THAT ALL WORK TO BE PERFORMED MEETS OR EXCEEDS ALL APPLICABLE CODES AND ORDINANCES OF PRIVATE OR GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- H. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK AT NO EXPENSE TO THE OWNER. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, UNDER ROADWAYS, DRIVES AND PAVING, ETC.
- I. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, OF BRANDS AND TYPES SHOWN AND DESCRIBED IN THESE DRAWINGS.
- J. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING ALL EQUIPMENT AND MATERIALS. ALL MATERIALS AND EQUIPMENT THAT IS DAMAGED WILL BE DISCARDED, EVEN IF INSTALLED, AND SHALL BE REPAIRED OR REPLACED AT THE DISCRETION OF THE OWNERS AUTHORIZED REPRESENTATIVE (O.A.R.) AT NO EXPENSE TO THE OWNER.
- K. THE CONTRACTOR SHALL PROTECT ALL PLANTING AREAS FROM EXCESSIVE COMPACTION WHEN TRUCKING MATERIALS AND EQUIPMENT TO AND WITHIN THE SITE.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO MATERIALS ONCE DELIVERED TO JOB SITE.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
- N. ALL PROGRESS INSPECTIONS SHALL BE COMPLETED BEFORE SUCCEEDING WORK IS STARTED. ANY WORK COVERED UP BEFORE REQUIRED INSPECTIONS ARE COMPLETED WILL BE EXPOSED FOR REVIEW AT THE CONTRACTOR'S EXPENSE.
- O. CLEAN-UP SHALL BE DONE AS EACH PORTION OF THE WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALKS AND PAVING SHALL BE BROOMED AND ANY DAMAGE OCCURRING TO THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITION.
- P. REFER TO THE SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.
- Q. THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.
- R. UNLESS NOTED OTHERWISE ALL STRUCTURAL IMPROVEMENTS SHALL BE INSTALLED PRIOR TO IRRIGATION AND PLANTING OPERATIONS.
- S. IN THE CASE WHERE EXTRA WORK OR CHANGES WILL RESULT IN ANY INCREASED COSTS OVER THE CONTRACT FEE, THE CONTRACTOR SHALL FIRST RECEIVE THE OWNER'S EXPRESSED WRITTEN APPROVAL FOR SUCH ADDITIONAL FUNDS PRIOR TO PURCHASING MATERIALS OR DOING THE WORK/CHANGES.

PLANTING SPECS.

**I. GENERAL**  
 THESE DRAWINGS ARE DIAGRAMMATIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANTING ELEMENTS. FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT.

THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TESTED AND INSPECTED PRIOR TO PLANTING. ANY SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR O.A.R. PRIOR TO PURCHASE AND INSTALLATION.

**II. PLANT MATERIAL/QUALITY ASSURANCE**  
 THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.

ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.). THE CONTRACTOR SHALL SUBMIT A LIST OF AVAILABILITY FOR ALL BOXED TREES THIRTY (30) DAYS BEFORE SCHEDULED PLANTING FOR APPROVAL AT THE NURSERY BY THE O.A.R.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING PLANT MATERIAL FREE OF PESTS OR DISEASES AND NORMAL IN FORM FOR THE SPECIES AND DESIGN CALLED FOR IN THE PLANS.

ONLY AS MANY PLANTS AS CAN BE PLANTED AND WATERED THAT SAME DAY SHALL BE DISTRIBUTED IN A PLANTING AREA.

THE CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS WILTED OR HAS A DAMAGED ROOT BALL. CONTRACTOR SHALL NOT INSTALL TREES WITHIN TEN (10) FEET OF ROTORS/ IMPACT HEADS OR WITHIN THREE (3) FEET OF STREAM/ SPRAY HEADS.

ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, SIZE AND TEXTURAL DENSITY.

SOIL AMENDMENT AND BACKFILL MIX AS DESCRIBED HEREIN ARE FOR BIDDING PURPOSES ONLY. SPECIFIC AMENDMENTS AND FERTILIZER WILL BE SELECTED AND SPECIFIED AFTER ROUGH GRADING IS COMPLETE AND SOILS SAMPLES CAN BE TESTED. AMENDMENT AND FERTILIZER AMOUNT AND TYPE SHALL BE AS RECOMMENDED IN THE AGRONOMIC SOILS REPORT.

**III. WEED ABATEMENT**  
 WEED ABATEMENT SHALL BEGIN AFTER ROUGH GRADING. CONTRACTOR TO IRRIGATE PLANTING AREA FOR THREE (3) WEEKS OR UNTIL SUFFICIENT WEED SEEDS HAVE GERMINATED. AFTER WHICH A CONTACT HERBICIDE IS SPRAYED BY A LICENSED PEST CONTROL APPLICATOR. IRRIGATION IS STOPPED FOR FORTY-EIGHT (48) HOURS. THE DEAD WEEDS ARE THEN REMOVED AND AFTER SUCH TIME AS NECESSARY FOR THE HERBICIDE TO DISSIPATE, PLANTING MAY BEGIN.

**IV. SOIL PREPARATION**  
 NO SOIL PREPARATION SHALL BE DONE UNTIL ROUGH GRADING HAS BEEN APPROVED BY THE O.A.R.

SOIL SAMPLES SHALL BE TAKEN FROM ENOUGH LOCATIONS ON THE SITE TO REPRESENT AN ADEQUATE CROSS SECTION OF CONDITIONS. SOIL TEST SHALL BE PERFORMED BY A SOIL TESTING LABORATORY (PRE-APPROVED BY THE CITY). THE TEST SHALL INDICATE BUT NOT BE LIMITED TO THE FOLLOWING: THE ORGANIC MATTER CONTENT; THE N.P.K.; THE PH; THE EC; THE SOIL TEXTURE (SILT, CLAY, SAND); AND RECOMMENDATIONS FOR AMENDMENTS, LEACHING AND MAINTENANCE FERTILIZATIONS. THE RESULTS AND RECOMMENDATIONS OF THE TESTING LABORATORY SHALL BE SUBMITTED TO AND APPROVED BY THE JX (JURISDICTION). THE APPROVED RECOMMENDATIONS FOR AMENDMENTS AND BACKFILL SHALL BE INCORPORATED INTO THE LANDSCAPE PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL BECOME PART OF THE APPROVED PLANS.

CROSS RIP ALL PLANTING AREAS TO DEPTH OF TWELVE (12) INCHES AND UNIFORMLY INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP SIX (6) INCHES AS PART OF THE FINISH GRADING WORK.

PER THOUSAND (1,000) SQUARE FEET:  
 TWO HUNDRED (200) POUNDS "GRO-POWER PLUS"  
 SIX (6) CUBIC YARDS NITROGEN STABILIZED ORGANIC COMPOST  
 TWO HUNDRED (200) POUNDS AGRICULTURAL GYPSUM

PRIOR TO PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THE REQUIREMENT OF THIS SECTION.

**V. FINISHED GRADING**  
 AFTER ROUGH GRADING, WEED ABATEMENT AND SOIL PREPARATION ALL PLANTING AREAS SHALL BE SMOOTHLY GRADED. THE GRADE SHALL BE UNIFORM AND SMOOTH WITH NO ABRUPT CHANGE OF SURFACE.

GRADING SHALL PROVIDE FOR NATURAL RUNOFF WITHOUT LOW SPOTS. FLOW LINES SHALL BE ACCURATELY SET BY INSTRUMENT AT TWO (2) PERCENT MINIMUM SLOPE.

CONTRACTOR SHALL REMOVE ALL DEBRIS, WEEDS, AND ROCK LARGER THAN ONE (1) INCH IN DIAMETER FROM THE TOP SIX (6) INCHES OF SOIL IN PLANTING AREAS. LEGALLY DISPOSE REMOVED DEBRIS OFF-SITE

**VI. INSTALLATION**  
 THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINER OR GROUND COVER MATERIAL INSTALLATION.

EXCAVATION FOR PLANTING SHALL INCLUDE THE STOCKPIILING OF TOPSOIL FROM WITHIN AREAS TO BE EXCAVATED FOR TRENCHES TREE HOLES, PLANT PITS AND BEDS. ALL EXCAVATED PLANTING HOLES SHALL HAVE VERTICAL, SCARIFIED SIDES, TWICE (2X) THE SIZE OF THE DIAMETER AND SIX (6) INCHES MINIMUM DEEPER THAN THE ROOTBALL.

EXCESS SOIL GENERATED FROM THE EXCAVATIONS AND NOT USED AS BACKFILL OR IN ESTABLISHING FINAL GRADES SHALL BE REMOVED FROM THE SITE.

INSPECT ROOTBALL AND GENTLY LOOSEN OR UNTANGLE MATTED ROOTS, DO NOT CRACK ROOTBALL. REPLACE ANY PLANTS WITH ROOTS GIRDLING THE ROOTBALL.

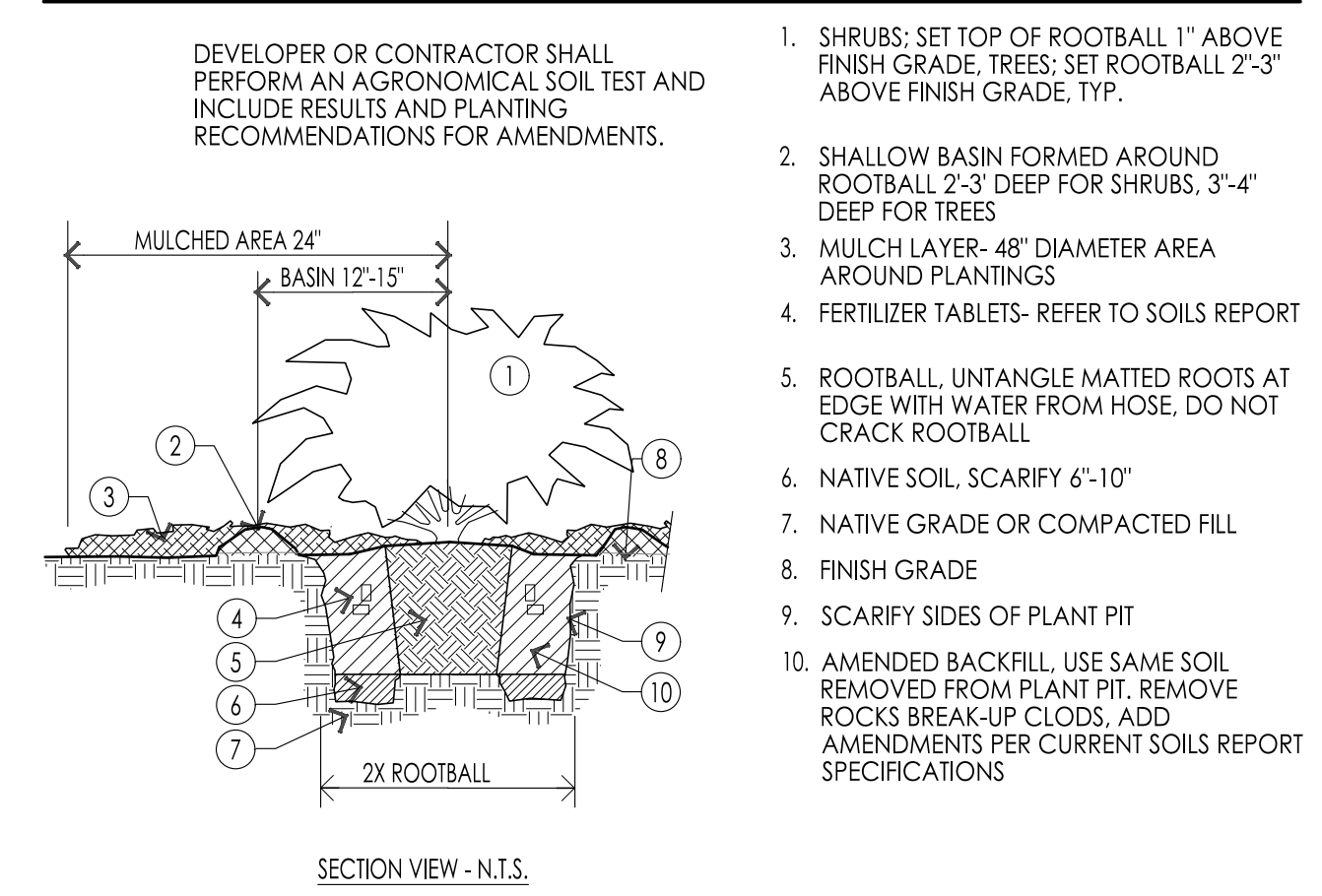
THE CROWN AREA OF TREES AND SHRUBS SHALL BE 2" HIGHER AFTER SETTLING, THAN ADJACENT FINISH GRADE.

THE APPROVED BACKFILL FOR PLANT PITS SHALL CONSIST OF THE FOLLOWING MIX. PLANT PITS SHALL BE FILLED TO THE REQUIRED GRADE AND THOROUGHLY SETTLED BY WATER APPLICATION AND TAMPING.

PER CUBIC YARD OF MIX: UNIFORMLY BLENDED  
 SIX (6) PARTS BY VOLUME ON-SITE SOIL OR NON SALINE, NON SODIC, LOW BORON CONTENT SANDY TEXTURED TOP SOIL  
 FOUR (4) PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT  
 TWENTY (20) POUNDS "GRO-POWER PLUS"  
 TWENTY (20) POUNDS AGRICULTURAL GYPSUM

BACKFILL PIT HALFWAY THEN PLACE "GRO-POWER" SEVEN (7) GRAM OR "AGRIFORM" TWENTY ONE (21) GRAM SLOW RELEASE PLANTING TABLETS SPREAD EVENLY AROUND ROOTBALL. THE NUMBER OF TABLETS PER PLANT SHALL BE PER THE MANUFACTURER.

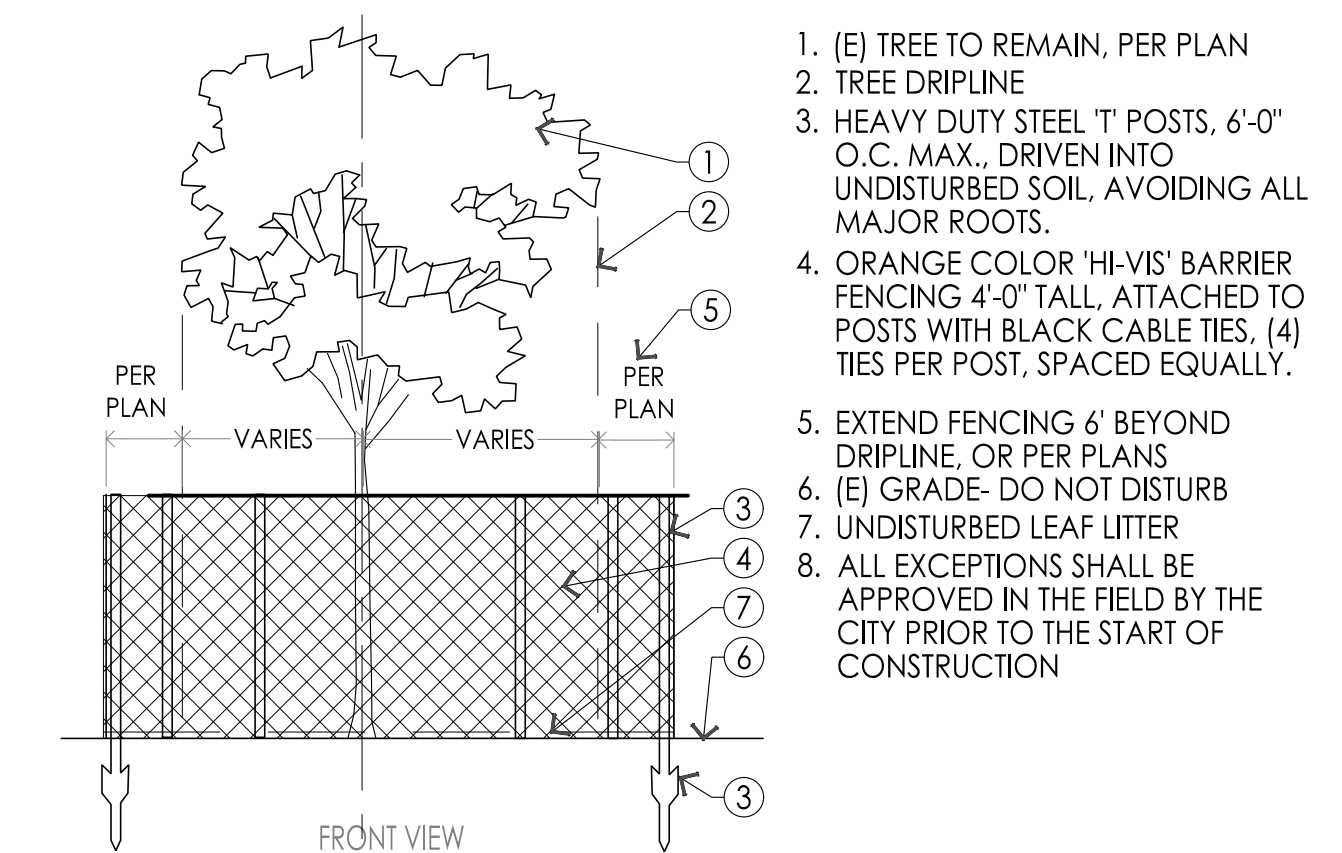
PROVIDE A DEPRESSED WATER BASIN AS WIDE AS THE ROOT BALL FOR EACH PLANT. WATER AGAIN THOROUGHLY.



PLANTING PITS

- DEVELOPER OR CONTRACTOR SHALL PERFORM AN AGRONOMIC SOIL TEST AND INCLUDE RESULTS AND PLANTING RECOMMENDATIONS FOR AMENDMENTS.
1. SHRUBS: SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE. TREES: SET ROOTBALL 2'-3" ABOVE FINISH GRADE, TYP.
  2. SHALLOW BASIN FORMED AROUND ROOTBALL 2'-3" DEEP FOR SHRUBS, 3'-4" DEEP FOR TREES
  3. MULCH LAYER- 48" DIAMETER AREA AROUND PLANTINGS
  4. FERTILIZER TABLETS- REFER TO SOILS REPORT
  5. ROOTBALL UNTANGLE MATTED ROOTS AT EDGE WITH WATER FROM HOSE. DO NOT CRACK ROOTBALL
  6. NATIVE SOIL. SCARIFY 6"-10"
  7. NATIVE GRADE OR COMPACTED FILL
  8. FINISH GRADE
  9. SCARIFY SIDES OF PLANT PIT
  10. AMENDED BACKFILL. USE SAME SOIL REMOVED FROM PLANT PIT. REMOVE ROCKS BREAK-UP CLODS. ADD AMENDMENTS PER CURRENT SOILS REPORT SPECIFICATIONS
- ONLY STAKE IF ABSOLUTELY NECESSARY, REMOVE AFTER FIRST SEASON IF POSSIBLE
1. TREE. SET TOP OF ROOTBALL 2'-3" ABOVE FINISH GRADE, TYP.
  2. 2" DIAMETER LODGEPOLE STAKE, PLACED ON THE WIND-WARD SIDE OF THE TREE. STAKE SHALL NOT PENETRATE ROOTBALL
  3. TREE TIE- MIN. (2) PER STAKE
  4. 3'-4" DEEP BASIN FORMED AROUND ROOTBALL, TIGHTLY COMPACTED BERM
  5. MULCH LAYER- KEEP MULCH OFF TRUNK
  6. TRUNK AND ROOTBALL
  7. FINISH GRADE
  8. SEE PLANTING PIT DETAIL-TYP.
  9. NATIVE GRADE OR COMPACTED FILL

TREE PLANTING DOUBLE STAKED



(E) TREE PROTECTION - CONST. ACTIVITIES

1. (E) TREE TO REMAIN, PER PLAN
2. TREE DRIPLINE
3. HEAVY DUTY STEEL T' POSTS, 6'-0" O.C. MAX., DRIVEN INTO UNDISTURBED SOIL, AVOIDING ALL MAJOR ROOTS.
4. ORANGE COLOR "HI-VIS" BARRIER FENCING 4'-0" TALL, ATTACHED TO POSTS WITH BLACK CABLE TIES, (4) TIES PER POST, SPACED EQUALLY.
5. EXTEND FENCING 6' BEYOND DRIPLINE, OR PER PLANS
6. (E) GRADE- DO NOT DISTURB
7. UNDISTURBED LEAF LITTER
8. ALL EXCEPTIONS SHALL BE APPROVED IN THE FIELD BY THE CITY PRIOR TO THE START OF CONSTRUCTION



**verizon**  
 2770 SHADELANDS DRIVE, BUILDING 11  
 WALNUT CREEK, CA 94598

**SEQUOIA**  
 DEPLOYMENT SERVICES, INC.  
 1 SPECTRUM POINTE DRIVE, SUITE 130  
 LAKE FOREST, CA 92630-2283

**ALLSTATES**  
 ENGINEERING & SURVEYING  
 23675 BIRTCHER DRIVE  
 LAKE FOREST, CA 92630

PROJECT ID:	TRAFFIC WAY
DRAWN BY:	RC
CHECKED BY:	SS

REV	DATE	DESCRIPTION	
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
**MONOPINE:**  
 2605 TRAFFIC WAY  
 ATASCADERO, CA 93422

SHEET TITLE  
 PLANT'G DETAILS, SPEC'S & GENERAL NOTES

SHEET NUMBER  
**L-3**



IRRIGATION SPECS. CONT'D.

V. SUBMITTALS

UPON COMPLETION THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. THESE AS-BUILTS SHALL SHOW THE LOCATIONS OF ALL POINTS OF CONNECTION, VALVES, CROSSINGS, QUICK COUPLERS AND OTHER MAINLINE COMPONENTS DIMENSIONED ACCURATELY FROM TWO (2) PERMANENT SITE OBJECTS. IN ADDITION THE CONTRACTOR SHALL SUPPLY TWO (2) CONTROLLER CHARTS SHOWING EACH VALVE'S COVERAGE AREA COLOR CODED TO THE CORRESPONDING CONTROLLER STATION.

THE CONTRACTOR MUST ALSO FURNISH TWO (2) SETS EACH OF THE FOLLOWING: ANY SPECIAL VALVE OR SPRINKLER ADJUSTMENT TOOLS, KEYS FOR THE CONTROLLER ENCLOSURES, QUICK COUPLER KEYS AND ANY OPERATION MANUALS FOR THE EQUIPMENT INSTALLED.

VI. GUARANTEE

THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

VII. MAINTENANCE

A QUALIFIED SUPVISOR SHALL BE RESPONSIBLE FOR OPERATING THE IRRIGATIONS SYSTEMS, ADJUSTING THE CONTROLLERS AND OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM.

CHART ALL CONTROLLER PROGRAMS, RECORDING DATE, TIME, LENGTH OF WATERING FOR EACH STATION. RESET CONTROLLER AT LEAST MONTHLY TO ACCOUNT FOR SEASONAL VARIATIONS.

INSPECT AND ADJUST THE ENTIRE IRRIGATION SYSTEM WEEKLY DURING APRIL THRU OCTOBER AND BI-WEEKLY FOR THE REST OF THE YEAR. CHECK FOR LEAKS, WET AND DRY SPOTS. USE A MOISTURE SENSING DEVICE TO EVALUATE ACTUAL SOIL MOISTURE. OBSERVE NOZZLES FOR PROPER PATTERN AND PRESSURE.

VIII. REQUIRED AS-BUILT PLANS

SUBMITTAL OF AS-BUILT PLANS SHALL BE AS REQUIRED BY THE JX (JURISDICTION). THE FINAL PLANS SHOULD BE PREPARED BY THE LANDSCAPE ARCHITECT FROM DIMENSIONS PROVIDED BY THE CONTRACTOR. FINAL AS-BUILT PLANS SHALL BE DRAFTED CLEARLY TO THE SATISFACTION OF THE JX, AND THE FINAL PLANS SHALL BE SUBMITTED TO THE JX FOR THEIR KEEPING.

THE FINAL AS-BUILT PLANS WILL BE REQUIRED TO BE REVIEWED AND APPROVED BY THE JX AND FINAL PLANS WILL BE REQUIRED TO BE APPROVED AND SIGNED BY THE JX PRIOR TO RELEASE OF SECURITIES.

GENERAL IRRIGATION NOTES

- ALL CITY AND STATE LAWS, RULES AND REGULATION GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE MAIN LINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN BELOW GRADE CONDITIONS. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS UNLESS OTHERWISE DIRECTED BY THE OAR (OWNER'S AUTHORIZED REPRESENTATIVE).
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO EACH CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE USE OF VARIABLE ARC SPRINKLERS AND PRESSURE COMPENSATING SCREENS, SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH REMOTE CONTROL VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- ALL LATERAL LINE PIPING UNDER PAVING WITHOUT A SLEEVE SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING FOR PIPE.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.

IRRIGATION SPECS.

I. GENERAL CONDITIONS

THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING WATER PRESSURE (P.S.I.) AND AVAILABLE FLOW (G.P.M.) PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL PRESSURE AND FLOW AVAILABLE WITH THOSE SHOWN IN THESE DRAWINGS.

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE.

DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA SIZE AND LAYOUT THAT WERE NOT CONSIDERED IN THE ORIGINAL DESIGN. NOTIFY THE O.A.R. OF SUCH OBSTRUCTIONS AND DIFFERENCES IMMEDIATELY.

IN THE EVENT THAT THE NOTIFICATIONS REQUIRED BY THESE NOTES ARE NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REVISION NECESSARY.

II. QUALITY ASSURANCE AND REQUIREMENTS

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.

ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

III. MATERIALS/ INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING. THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

FINAL LOCATION OF THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE APPROVED BY THE O.A.R. PRIOR TO INSTALLATION.

THE 120 VOLT ELECTRICAL CONNECTION FOR THE CONTROLLER SHALL BE FURNISHED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE ROUTE OF THE ELECTRICAL SERVICE TO THE APPROVED CONTROLLER LOCATION WITH THE GENERAL CONTRACTOR. THE SERVICE TO THE CONTROLLER JUNCTION BOX SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS TO THE AUTOMATIC CONTROLLERS FROM THE PROVIDED JUNCTION BOX.

ALL WIRES FROM THE CONTROLLER TO THE AUTOMATIC VALVES SHALL BE COPPER, DIRECT BURIAL, MINIMUM #14 GAUGE. INSTALL IN THE SAME TRENCH AS THE MAINLINE WHERE POSSIBLE. COMMON WIRE TO BE WHITE IN COLOR. CONTROL WIRES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE WIRES A MINIMUM OF TEN (10) FEET ON CENTER.

THE CONTRACTOR SHALL RUN THREE (3) SPARE WIRES AND ONE (1) COMMON WIRE FROM THE CONTROLLER TO EACH END OF THE MAIN LINE FOR FUTURE USE. EXTEND THE WIRES AN EXTRA TEN (10) FEET. MAKE A COIL AND PLACE IN A RECTANGULAR PULL BOX. LABEL THE LID "SW".

ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2x) THE DIAMETER OF THE PIPE TO BE SLEEVED. SIZE WIRE SLEEVES SO THAT WIRES ARE NOT BOUND IN PIPE. MINIMUM COVERAGE FOR SLEEVES SHALL BE TWENTY FOUR (24) INCHES FOR SLEEVED LATERAL LINES, THIRTY (30) INCHES FOR 120 VOLT WIRING IN CONDUIT AND THIRTY SIX (36) INCHES FOR SLEEVED MAINLINE AND/OR CONTROL WIRING.

ALL LATERAL LINE PIPING UNDER PAVEMENT NOT SLEEVED, SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO PAVING.

DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM. TRENCH MUST BE FREE OF ROCKS, DEBRIS OR ANY SHARP OBJECTS. SNAKE PLASTIC PIPE IN TRENCH. MINIMUM COVERAGE FOR MAINLINE SIZES 1-1/2" AND SMALLER IS EIGHTEEN (18) INCHES. FOR SIZES 2" AND LARGER COVERAGE IS TWENTY FOUR (24) INCHES. FOR LATERAL LINES TWELVE (12) INCHES. 120 VOLT WIRING IN CONDUIT THIRTY (30) INCHES AND LOW VOLTAGE CONTROL WIRE TWELVE (12) INCHES MINIMUM OR THE SAME DEPTH AS THE MAINLINE. DO NOT INSTALL ANY PIPE OR WIRING DIRECTLY OVER ANOTHER.

BALL VALVES, GATE VALVES, REMOTE CONTROL VALVES (EXCEPT FOR ANTI-SIPHON TYPE) AND QUICK COUPLERS SHALL BE INSTALLED IN BELOW GRADE LOCKABLE "BOXES" MANUFACTURED BY AMETEK OR GARDON. USE ROUND BOXES FOR GATE VALVE, BALL VALVES AND QUICK COUPLERS AND RECTANGULAR BOXES FOR REMOTE CONTROL VALVES. VALVE BOX LIDS SHALL BE GREEN COLOR. LABEL "BV", "GV", "QC" OR "RCV" WITH CONTROLLER STATION NUMBER.

SET VALVE BOXES ONE (1) INCH ABOVE FINISH GRADE. SET VALVES AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND THE VALVE. INSTALL IRRIGATION EQUIPMENT SO THE VALVE BOXES FIT WITHOUT CUTTING THE WALLS OF THE VALVE BOXES. CUT VALVE BOXES SHALL BE REPLACED AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS, UNLESS DIRECTED OTHERWISE BY THE O.A.R.

ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE.

INSTALL ALL SPRINKLERS ON RISERS TWELVE (12) INCHES AWAY FROM WALLS AND STRUCTURES.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE (1) INCH ABOVE FINISH GRADE.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT PAVING.

AFTER RECEIVING NOTIFICATION BY THE O.A.R., THE CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE QUARTER (1/4) INCH ABOVE FINISH GRADE.

INSTALL ANTI DRAIN VALVES TO ELIMINATE LOW HEAD DRAINAGE. ANTI DRAIN VALVE (ADV) UNITS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION, CONTRACTOR SHALL VERIFY WITH ON SITE GRADES IF THERE IS AN ELEVATION DIFFERENCE OF TWO (2) FEET OR MORE BETWEEN THE HIGHEST AND LOWEST SPRINKLER HEAD ON A SYSTEM. INSTALL THE ADV WHERE NECESSARY.

ALL SOLVENT WELD PVC PRESSURE LINES AND FITTINGS MUST RECEIVE PRIMER BEFORE SOLVENT WELDING.

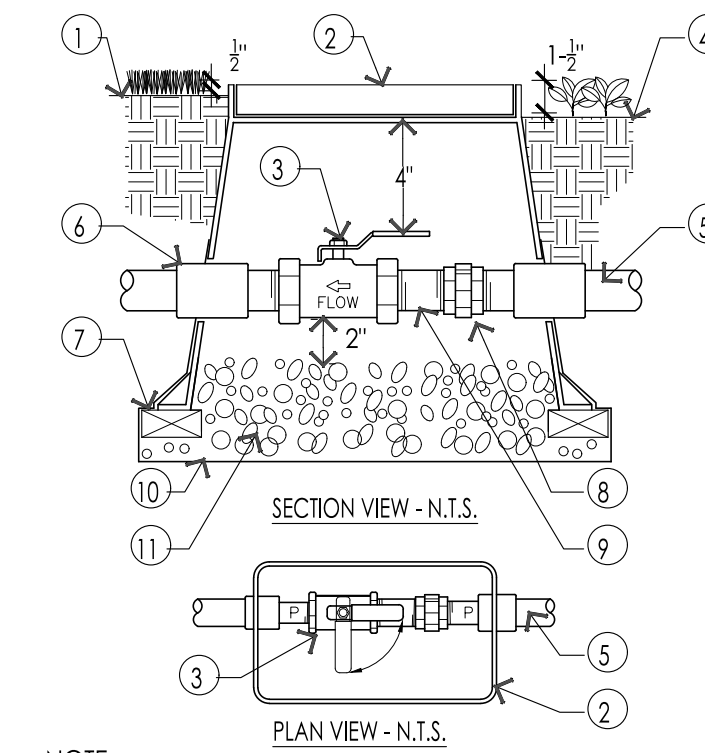
IV. ADJUSTING AND TESTING THE SYSTEM

AFTER PIPELINE ASSEMBLY THE CONTRACTOR SHALL THOROUGHLY FLUSH THE SYSTEM. WITH OPEN ENDS ALL CAPPED PRESSURE TEST FOR FOUR (4) HOURS AT 150 P.S.I.

AFTER COVERAGE AND PRESSURE TESTING THE CONTRACTOR SHALL INSTALL ALL TERMINAL FIXTURES AND PERFORM A COVERAGE TEST.

THE CONTRACTOR SHALL ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVERSPRAY. THIS SHALL INCLUDE THE USE OF VARIABLE ARC NOZZLES (VAN) AND PRESSURE COMPENSATING SCREENS (PCS). THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE SITE AND THROTTLING OF THE FLOW CONTROL AT EACH VALVE TO FIND THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

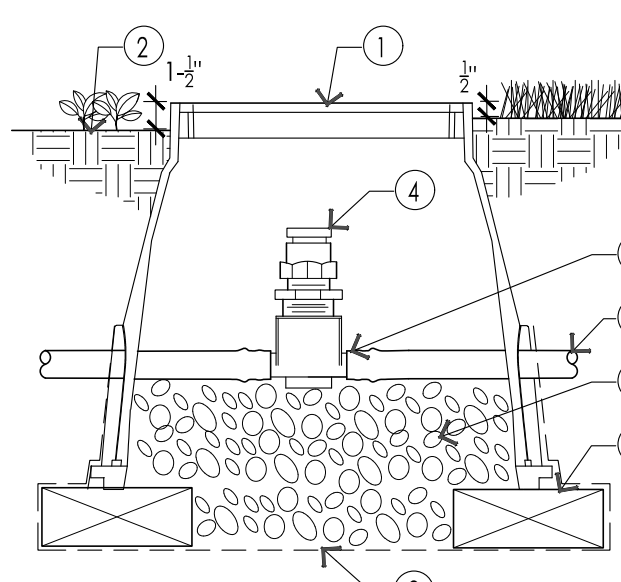
THE ENTIRE SYSTEM SHALL BE IN FULL AUTOMATIC OPERATION FOR ONE SEVEN (7) DAYS PRIOR TO ANY PLANTING.



- FINISH GRADE IN TURF AREAS
- PLASTIC RECTANGULAR VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS BOLT, NUT AND WASHER. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. HEAT BRAND "BV" ONTO LID.
- BALL VALVE. SEE LEGEND
- FINISHED GRADE IN SHRUB AREAS
- PRESSURE SUPPLY LINE DEPTH PER SPECS.
- SCH 80 PVC COUPLING AND T.O.E. NIPPLES
- BRICK SUPPORTS 4 REQ. PER BOX
- SCH 80 PVC UNION
- SCH 80 PVC NIPPLES
- LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES
- SCH 80 PVC NIPPLES 3/4" ROCK, 3 CUBIC FT.

NOTE: BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE. INSTALL VALVE OFF-CENTER IN BOX. INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAIN LINE DEPTH.

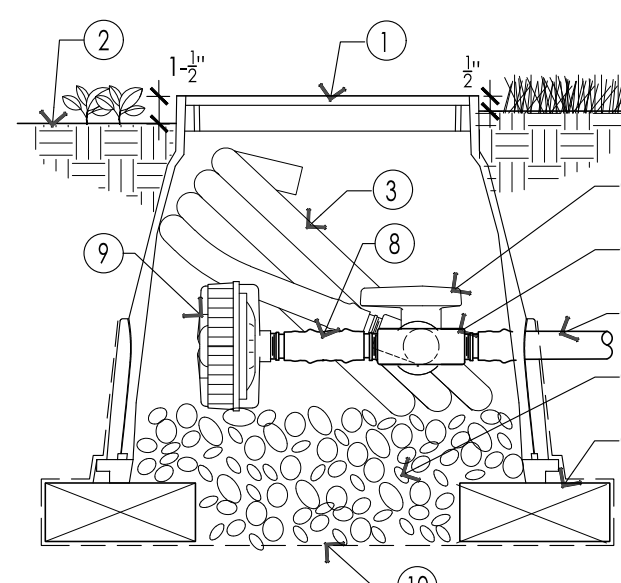
BALL VALVE



- VALVE BOX
- FINISH GRADE
- TUBING - TO/ FROM SYSTEM
- PVC AIR RELIEF VALVE - PER LEGEND
- PVC/ DRIPLINE ADAPTERS - AS REQ.
- 3" DEEP WASHED GRAVEL
- BRICK SUPPORTS (THREE)
- LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES

NOTE: INSTALL AS SHOWN. LOCATE AT HIGH POINTS OF DRIP SYSTEM

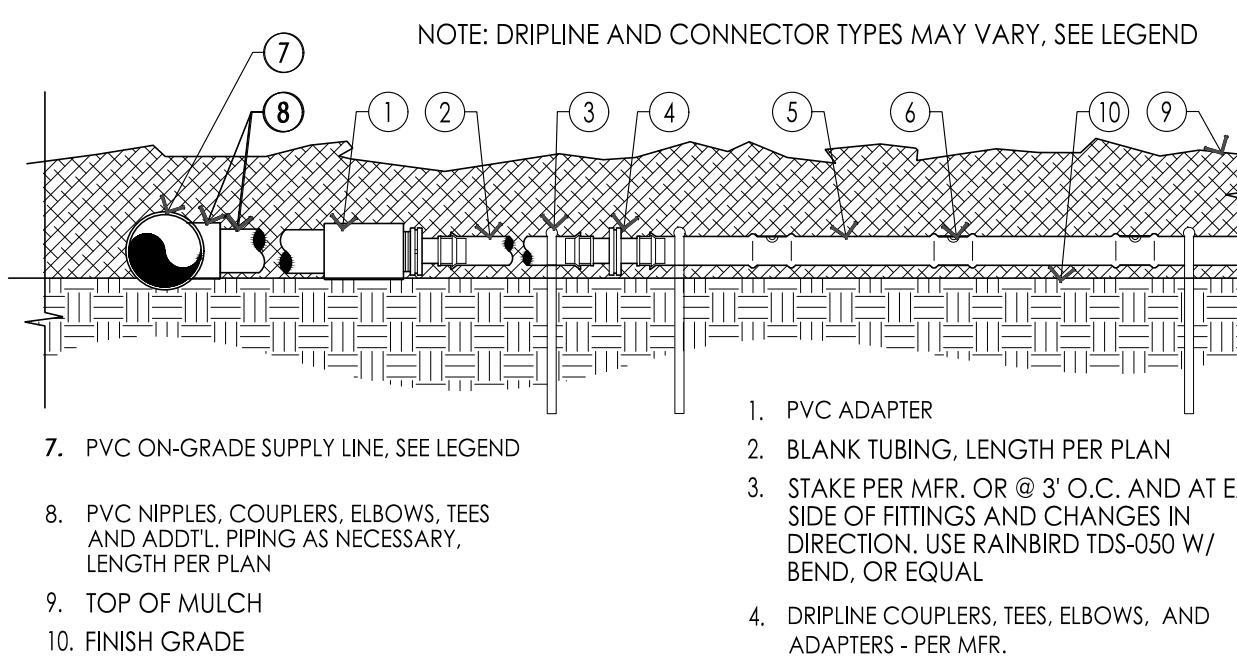
AIR RELIEF VALVE



- ROUND VALVE BOX
- FINISH GRADE
- PVC ELBOW AND BLANK TUBING. ALLOW ENOUGH EXTRA TUBING TO DIRECT FLUSHED WATER OUT OF THE VALVE BOX
- PVC BALL VALVE
- PVC TEE TO BALL VALVE
- 3" DEEP MIN. WASHED GRAVEL
- BRICK SUPPORTS (THREE)
- POLY PIPE LATERAL LINE/ BLANK DRIPLINE AND ADAPTERS
- AUTOMATIC FLUSH VALVE
- LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES

NOTE: INSTALL AS SHOWN. LOCATE AT "END(S)" OF SYSTEM- FARTHEST FROM SOURCE

AUTOMATIC AND MANUAL FLUSH VALVE



- PVC ADAPTER
- BLANK TUBING, LENGTH PER PLAN
- STAKE PER MFR. OR @ 3' O.C. AND AT EA. SIDE OF FITTINGS AND CHANGES IN DIRECTION. USE RAINBIRD TDS-050 W/ BEND, OR EQUAL
- DRIPLINE COUPLERS, TEES, ELBOWS, AND ADAPTERS - PER MFR.
- DRIPLINE EMITTER TUBING- SEE LEGEND
- EMITTER

DRIPLINE ON-GRADE SUPPLY



**verizon**  
2770 SHADELANDS DRIVE, BUILDING 11  
WALNUT CREEK, CA 94598

**SEQUOIA**  
LANDSCAPE SERVICES, INC.  
1 SPECTRUM POINTE DRIVE, SUITE 130  
LAKE FOREST, CA 92630-2283

**ALLSTATES**  
ENGINEERING & SURVEYING  
23675 BIRTCRCH DRIVE  
LAKE FOREST, CA 92630

PROJECT ID:	TRAFFIC WAY
DRAWN BY:	RC
CHECKED BY:	SS

REV	DATE	DESCRIPTION	
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**TRAFFIC WAY**  
**MONOPINE:**  
2605 TRAFFIC WAY  
ATASCADERO, CA 93422

SHEET TITLE  
**IRRIG'N DETAILS, SPEC'S & GENERAL NOTES**

SHEET NUMBER  
**L-4**



MAINTENANCE

I. GENERAL

THE OWNER OR LESSEE WILL ENGAGE A MAINTENANCE CONTRACTOR FOR THE MAINTENANCE OF THE SITE LANDSCAPE FOR THE LIFE OF THE LEASE.  
 MAINTENANCE CONTRACTOR SHALL FURNISH ALL SUPERVISION, LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETE MAINTENANCE OF ALL LANDSCAPE AREAS.  
 ALL LANDSCAPE AREAS SHALL BE WATERED AS NECESSARY FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION.  
 PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS CONDITION, IRRIGATION AND DRAINAGE SYSTEMS KEPT IN GOOD WORKING ORDER, AND THE GENERAL SITE KEPT CLEAN AND WEED FREE.  
 MAINTENANCE CONTRACTOR SHALL ROUTINELY CHECK FOR BLOCKED DRAIN INLETS, AND KEEP SWALES FREE OF LEAVES AND OTHER DEBRIS. ALWAYS CHECK AND CLEAN BETWEEN STORMS.  
 ALL LITTER AND TRASH INCLUDING WEEDS, LEAVES, BOTTLES AND OTHER DEBRIS SHALL BE REMOVED FROM ALL AREAS OF THE SITE AND DISPOSED OF OFF-SITE.  
 MAINTENANCE CONTRACTOR SHALL REPAIR OR REPLACE ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL.

II. IRRIGATION

A QUALIFIED PERSON SHALL BE COMPLETELY RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS, WITH THE DUTIES OF ADJUSTING CONTROLLERS, OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM, AND MAKING MINOR ADJUSTMENTS TO THE SYSTEM.  
 THE IRRIGATION SYSTEM SHALL BE MAINTAINED FOR OPTIMUM PERFORMANCE. THIS INCLUDES CLEANING AND ADJUSTING ALL SPRINKLER HEADS AND VALVES FOR PROPER COVERAGE.  
 A CHART SHALL BE MAINTAINED TO RECORD CURRENT IRRIGATION PROGRAMS, INCLUDING DAY, TIME, AND LENGTH OF WATERING FOR EACH STATION AND PROGRAM FOR EACH CONTROLLER.  
 CHECK FOR LEAKS OR WET SPOTS.  
 INSPECTIONS OF THE IRRIGATION SYSTEM, IN OPERATION, SHALL BE MADE WEEKLY DURING SUMMER MONTHS, APRIL THROUGH OCTOBER, AND BI-WEEKLY NOVEMBER THROUGH MARCH, TO DETECT ANY MALFUNCTIONING OF THE SYSTEM.  
 TURN ON EACH SYSTEM WITH THE CONTROLLER AND CHECK IT TO ENSURE THAT IT OPERATES CORRECTLY --OPENING AND CLOSING.  
 VISUALLY OBSERVE EACH SPRINKLER HEAD OR NOZZLE FOR PROPER OPERATION, SPRAY PATTERN, PRESSURE AND WATER DISTRIBUTION.  
 A SOIL SAMPLING PROBE AND/OR A TENSIO METER SHALL BE USED REGULARLY TO EVALUATE ACTUAL SOIL MOISTURE LEVELS AND IRRIGATION SCHEDULE.  
 CHECK AT LEAST WEEKLY TO MAKE SURE AREAS ARE NOT BEING OVER OR UNDER WATERED. ADJUST THE SCHEDULE AS NEEDED TO CORRECT FOR EITHER OF THESE SITUATIONS. RESET THE SCHEDULE ON OUR CONTROLLER AT LEAST MONTHLY. AT THIS TIME, CHECK THE TIME ON THE CONTROLLER TO MAKE SURE THAT IT IS CORRECT.  
 LOOK AT THE GENERAL HEALTH AND "LOOK" OF THE PLANT MATERIAL.  
 CHECK THE WATER BILL FOR EXCESSIVE CONSUMPTION. COMPARE MONTH TO MONTH AND YEAR TO YEAR. PAY SPECIAL ATTENTION TO LARGE FEE SWINGS.  
 MAKE DESIGN ADJUSTMENTS (ADDING/ DELETING OR MOVING OF HEADS, CHANGING NOZZLE TYPES, TRIMMING OR MOVING OF PLANT MATERIAL) SO THAT PROBLEMS CAN BE ELIMINATED INSTEAD OF TEMPORARILY FIXED. (SEE NOTES IV FOR MAWA CONSIDERATIONS)  
 ALL MALFUNCTIONING EQUIPMENT MUST BE REPAIRED PRIOR TO THE NEXT SCHEDULED IRRIGATION.

III. PLANTINGS

INSPECTIONS OF THE LANDSCAPE PLANTINGS SHALL BE MADE WEEKLY DURING SUMMER MONTHS, APRIL THROUGH OCTOBER, AND BI-WEEKLY NOVEMBER THROUGH MARCH- COORDINATE WITH THE IRRIGATION INSPECTION.  
 ALL AREAS MUST BE KEPT WEED FREE, BY THE USE OF ORGANIC MULCHES, HAND REMOVAL CHEMICAL CONTROLS- IN THAT ORDER.  
 MULCHED AREAS MUST BE REPLENISHED AS MULCH DECOMPOSES- CHECK APRIL AND OCTOBER, REPLENISH AS NECESSARY.  
 FERTILIZER SHALL BE APPLIED AS NEEDED USING SLOW RELEASE, ORGANIC BASED MATERIALS IN APRIL AND OCTOBER. USE AS INDICATED BY SOILS TEST ANALYSIS.  
 GROUND COVERS BORDERING WALKS AND CURBS SHALL BE EDGED AS NECESSARY TO PROVIDE A CLEAN CRISP LINE.  
 VINES SHALL BE KEPT "PINNED" TO ADJACENT WALLS AS NECESSARY AND TRIMMED TO CONTROL EXCESSIVE GROWTH, NOT ALLOWING VINE TO GROW OVER WINDOWS, DOORS, GATES OR OTHER ARCHITECTURAL ELEMENTS AND EQUIPMENT.  
 TREE PRUNING SHALL BE PERFORMED AS NEEDED TO ELIMINATE HAZARDS, MAINTAIN A NATURAL APPEARANCE.  
 SHRUB PRUNING SHALL BE PERFORMED AS NEEDED TO MAINTAIN A NATURAL APPEARANCE. SHRUBS ARE INTENDED TO FILL THE PLANTING SPACE AS MUCH AS POSSIBLE. DO NOT POWER PRUNE SHRUBS INTO ODD TOPIARY SHAPES.  
 TREES AND SHRUBS SHALL BE PRUNED TO CORRECT HAZARDS AND ANY STRUCTURAL DEFECTS, REMOVE SUCKERS, CRISS-CROSSING BRANCHES, DEAD AND DISEASED LIMBS AND FOLIAGE AND THINNING OF THE CROWN TO REDUCE WIND DAMAGE. ALWAYS CHECK/PRUNE IMMEDIATELY AFTER BIG WINDS-STORMS.  
 SPARSE GROUND COVER AREAS SHALL BE CHECKED FOR, AS THEY MAY INDICATE A FAILURE OF IRRIGATION SYSTEM OR THE NEED FOR FERTILIZER AND SOIL AMENDMENT. BARE AREAS SHALL BE RE-PLANTED TO MATCH ORIGINAL DESIGN.  
 AS PLANTS GROW, LOOK OUT FOR DESIGN ADJUSTMENTS THAT CAN BE MADE (ADDING/ REMOVING, TRIMMING OR MOVING OF PLANT MATERIAL) SO THAT PROBLEMS CAN BE ELIMINATED INSTEAD OF TEMPORARILY FIXED. (SEE NOTES IV FOR MAWA CONSIDERATIONS)

IV. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

STATE LAW REQUIRES THE LANDSCAPING AND IRRIGATION SYSTEM ON THE PROPERTY TO BE MAINTAINED AND OPERATED CONSISTENT WITH THE MAWA.  
 MAINTAIN THE IRRIGATION SYSTEM TO MEET OR EXCEED AN IRRIGATION EFFICIENCY NECESSARY TO MEET MAWA.  
 REPLACE BROKEN OR MALFUNCTIONING IRRIGATION SYSTEM COMPONENTS WITH COMPONENTS OF THE SAME MATERIALS AND SPECIFICATIONS, THEIR EQUIVALENT OR BETTER.  
 ENSURE THAT WHEN VEGETATION IS REPLACED, REPLACEMENT PLANTINGS ARE REPRESENTATIVE OF THE HYDROZONE IN WHICH THE PLANTS WERE REMOVED AND ARE TYPICAL OF THE WATER USE REQUIREMENTS OF THE PLANTS REMOVED, SO THAT THE REPLACED VEGETATION DOES NOT RESULT IN MIXING HIGH WATER USE PLANTS WITH LOW WATER USE PLANTS IN THE SAME HYDROZONE.

CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION, ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

CONTRACTOR SHALL PERFORM AN AGRONOMICAL SOILS TEST TO DETERMINE FERTILITY AND DRAINAGE CAPABILITY. FOLLOW THE LAB SPECIFICATIONS DURING PLANTING. GENERIC AMENDMENTS SHALL BE USED. LAB MUST BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.

PRIOR TO PLANTING, 6 YARDS OF COMPOST PER 1000 SQ. FT. OF PLANTING AREA SHALL BE INCORPORATED. COMPACTED SOILS MUST BE TRANSFORMED INTO A FRIABLE CONDITION. SOIL SHALL BE AMENDED AND RIPPED TO A DEPTH OF 18"

FOR NATIVE PLANTINGS: USE ONLY FERTILIZERS AND AMENDMENTS RECOMMENDED BY THE NURSERY WHERE THE NATIVE PLANTS ARE OBTAINED. ADD MYCORRHIZAE TO THE BACKFILL IF RECOMMENDED. BACKFILL PLANTS WITH THE SAME SOIL REMOVED FROM THE HOLE. IT IS IMPORTANT TO MAINTAIN ANY BENEFICIAL ORGANISMS, MYCORRHIZAE AND HUMUS THAT ALREADY EXIST IN THE SOIL.

CONTRACTOR SHALL CAP, DIVERT AND/OR ADJUST ANY (E)EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS. ENOUGH WATER HAS TO BE APPLIED TO (E)PLANTINGS, DURING AND AFTER CONSTRUCTION OPERATIONS, TO INSURE PLANT SURVIVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.

WATERING GUIDELINE AS FOLLOWS: WARM WEATHER- FILL BASIN 2X/ WEEK COOL WEATHER- FILL BASIN 1X/ WEEK

CONTRACTOR SHALL CHECK SOIL MOISTURE AT LEAST WEEKLY WITH MOISTURE PROBE. SAMPLE THE ROOT-BALL AND SURROUNDING SOIL. SOIL SHOULD BE MOIST THROUGH- OUT THE SOIL PROFILE. THE ROOTBALL MUST NOT BE ALLOWED TO DRY OUT OR BE ALLOWED TO SIT IN STANDING WATER- EVER. ADJUST WATERING SCHEDULE BASED UPON RESULTS

CONTRACTOR SHALL ADJUST EXISTING IRRIGATION CONTROLLER TO WATER MORE FREQUENTLY DURING PLANT ESTABLISHMENT.



PROJECT ID:	TRAFFIC WAY
DRAWN BY:	RC
CHECKED BY:	SS

REV	DATE	DESCRIPTION	
1	12/13/2023	PER TREE REPORT	SS
0	11/21/2023	100% ZD's FOR SUBMITTAL	LS
C	09/19/2023	95% ZD's FOR APPROVAL	LS
B	08/08/2023	95% ZD's FOR APPROVAL	LS
A	07/03/2023	90% ZD's FOR REVIEW	RC/KM

NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

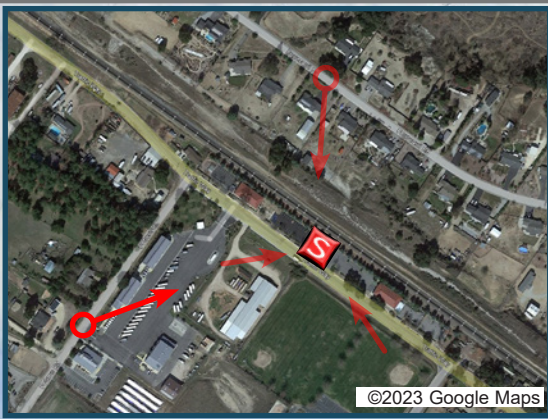
**TRAFFIC WAY**  
**MONOPINE:**  
 2605 TRAFFIC WAY  
 ATASCADERO, CA 93422

SHEET TITLE  
 MAINTENANCE NOTES,  
 ADD'L PLANT'G &  
 IRRIG'N NOTES

SHEET NUMBER  
**L-5**





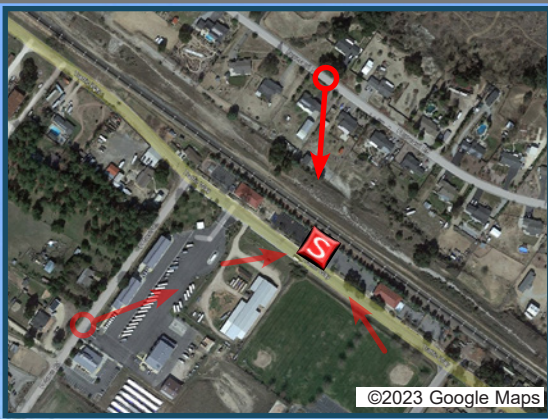


EXISTING



PROPOSED      LOOKING NORTHEAST FROM POTRERO ROAD



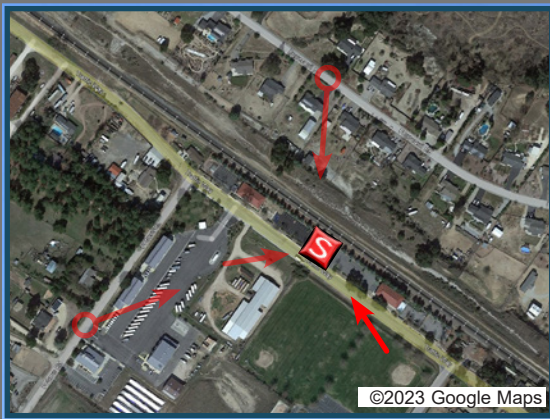


EXISTING



PROPOSED LOOKING SOUTH FROM FERROCARRIL ROAD





©2023 Google Maps



EXISTING



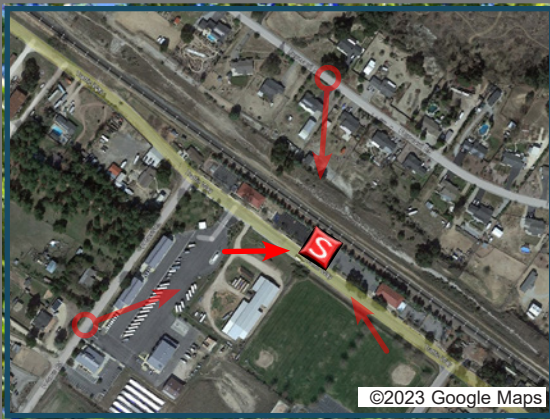
PROPOSED MONOPINE

PROPOSED EQUIPMENT ENCLOSURE BEYOND

PROPOSED

LOOKING NORTHWEST FROM TRAFFIC WAY





EXISTING



PROPOSED LOOKING EAST FROM TRAFFIC WAY



**EXHIBIT C: Notice of Exemption**  
**CUP24-0018**



**CITY OF ATASCADERO**  
**NOTICE OF EXEMPTION**

6500 Palma Avenue Atascadero, CA 93422 805.461.5000

TO:  Clerk-Recorder Office  
County of San Luis Obispo  
1055 Monterey Street Suite D120  
San Luis Obispo, CA 93408

Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

FROM: City of Atascadero  
Community Development Department  
6500 Palma Avenue  
Atascadero, CA 93422

Date Received Stamp

[Empty dashed box for Date Received Stamp]

**SUBJECT: Filing of Notice of Exemption in Compliance with Sections 15062 and 21152 of the Public Resources Code**

Project Title: USE24-0014, Verizon Wireless Telecommunications Facility

Project Applicant: Verizon Wireless, 1 Spectrum Pointe, Lake Forest, CA 92630;  
Madison.lascalza@sequoia-ds.com; (805) 440-0285

Project Location: 2605 Traffic Way, Atascadero, CA 93422 (APN 049-063-003)

Project Description: Conditional Use Permit allowing the development of an unmanned telecommunication facility within 585-square foot (SF) lease area of 1.57-ac property in the Public (P) zoning district located at 2605 Traffic Way (APN 049-063-003). The facility will be enclosed by a 9' masonry wall and contain various equipment and electrical cabinets, a diesel generator, and a 63' tall monopine cell tower with associated antennas and equipment.

Name of Public Agency Approving Project: City of Atascadero

Name of Person or Agency Carrying Out Project: Verizon Wireless

Exempt Status:

- |                          |                                       |                                     |  |
|--------------------------|---------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | Ministerial (Sec. 15268);             | <input type="checkbox"/>            | General Rule Exemption (Sec. 15061. c);    |
| <input type="checkbox"/> | Declared Emergency (Sec. 15269(a));   | <input checked="" type="checkbox"/> | Categorically Exempt (Sec. 15301 - 15333); |
| <input type="checkbox"/> | Emergency Project (Sec. 15269(b)(c)); | <input type="checkbox"/>            | Statutory Exemption (Sec. 15261 - 15285)   |

Reasons why the project is exempt: The project is exempt from environmental review pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). The proposed project will install a new 580 SF unmanned telecommunication facility within an existing landscape planter area of a developed property. The area of disturbance on the property is limited, utilities are available immediately adjacent to facility site, and no permanent employees will be required at the property. There are no sensitive environmental resources on the project or unusual environmental circumstances surrounding the project site. There are no scenic or historical resources in the vicinity of the project site. The site is not a listed hazardous waste site property. There are no cumulative impacts from associated successive projects.

Lead Agency Contact Person: Erick Gomez, Planner  
(805) 470-3436  
egomez@atascadero.org



Date Exemption Accepted: 05/21/2024

\_\_\_\_\_  
04/26/2021