



CITY OF ATASCADERO
ADMINISTRATIVE HEARING
NOTICE OF ACTION

ITEM #1
Department: Community
Development
Date: 10/29/2024

TO: Phil Dunsmore, Administrative Hearing Officer
FROM: Kelly Gleason, Planning Manager
PREPARED BY: Erick Gomez, Associate Planner

SUBJECT: USE24-0095, Hogue Garage
3625 Colima Road, Atascadero, CA 93422 (APN 049-302-014)

RECOMMENDATION:

The Administrative Hearing Officer:

- Approve Administrative Use Permit USE24-0095 allowing the construction of a garage with a size exceeding 50% of the floor area of the primary residential structure on a nonconforming 0.77-acre lot, based on findings and subject to conditions of approval.

DISCUSSION:

PROJECT SUMMARY

Patrick Hogue proposes to construct a 1,465 SF garage on an 0.77-acre (ac) property in the Residential Estate (RE) zoning district located at 3625 Colima Road (APN 049-302-014). The garage is a prefabricated metal building with a maximum height of 24'. Access to the garage will be from a shared driveway within an access easement extending from Colima Road. The property is developed with an approximately 2,218 SF Single-Family Residence with a 478 SF attached garage (PMT #16559 & BLD-2014-11681).

ANALYSIS

Residential accessory structures, such as garages, are allowed in the RE Zoning District. Accessory structures exceeding 50% of the floor area of the primary structure are subject to additional development standards outlined in Atascadero Municipal Code (AMC) § 9-6.106(b)(3), including:

- Location on a conforming lot or on a lot that is at least 1-ac in size
- 10' setback from the side and rear lot lines
- 40' setback from residences on neighboring properties
- Minimal grading and disturbance of native trees
- Neighborhood compatibility and design compatibility with the primary structure
- Non-interference with sunlight or access necessary for adjacent properties

Projects unable to meet these standards may still be constructed subject to approval of an Administrative Use Permit (AUP). The subject property is a nonconforming, 0.77-acre lot. The proposed garage is 1,465 SF garage which equivalent 54% of the primary structure. An AUP is

required because the lot does not meet the minimum lot size requirement for properties zoned RE, nor does it meet the minimum (1)-acre lot size requirement.

The project complies with other applicable standards of Atascadero Municipal Code (AMC) § 9-6.106(b)(3). The proposed 1,465 SF garage will be located on a topographically flat location of the site which will reduce the need for grading. The structure is proposed 10' from the side and rear property lines. No tree removals are anticipated to occur due to this permit; compliance with tree protection standards of the Native Tree Ordinance will be required during construction. The structure will have a neutral tan metal siding with white trim to match the existing residence. An existing access easement provides access to the rear of the lot where the garage is proposed. Construction of the garage will not interfere with the easement.

FINDINGS:

AMC 9-1.112 requires the Administrative Hearing Officer to make the following 4 findings:

1. *Modification of the applicable standard will not result in a project that is inconsistent with the General Plan.*

Discussion: The development of residential accessory uses is consistent with envisioned land uses for properties designated Suburban Estate.

2. *Modification of the applicable standards will not result in a project that is inconsistent with the character of the neighborhood or contrary to its orderly development.*

Discussion: The project is appropriately designed and sited given the context of the site and neighborhood. The structure is also compatible with neighboring development. Adjacent lots are developed with single family residences and accessory structures with the nearest neighboring residence being located approximately 50' away from the location of the proposed garage.

3. *Modification of the applicable standard will not result in a project that is not in compliance with any pertinent City policy or criteria adopted by ordinance or resolution of the City Council.*

Discussion: The project will not conflict with any applicable City policy or criteria and is consistent with all applicable provisions of the Atascadero Municipal Code.

4. *Modification of the applicable standard will not result in the authorization of a use not otherwise allowed.*

Discussion: Residential accessory structures, such as garages, are allowed in the RE Zoning District.

ENVIRONMENTAL DETERMINATION:

The proposed project qualifies for a Class 3 categorical exemption from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, et seq.) pursuant to CEQA Guidelines Section 15301, which exempts new construction or conversion of small structures. This exemption is included in the draft resolution (Attachment 2).





CITY OF ATASCADERO NOTICE OF EXEMPTION

6500 Palma Avenue Atascadero, CA 93422 805.461.5000

Date Received Stamp

TO: Clerk-Recorder Office
County of San Luis Obispo
1055 Monterey Street Suite D120
San Luis Obispo, CA 93408

Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

FROM: City of Atascadero
Community Development Department
6500 Palma Avenue
Atascadero, CA 93422

[Empty dashed box for Date Received Stamp]

SUBJECT: Filing of Notice of Exemption in Compliance with Sections 15062 and 21152 of the Public Resources Code

Project Title: USE24-0095, Hogue Garage

Project Applicant: Patrick Hogue, P.O. Box 1138, Paso Robles, CA 93447
pat@hogueinc.com; (805) 712-7287

Project Location: 3625 Colima Road, Atascadero, CA 93422 (APN 049-302-014)

Project Description: Administrative Use Permit allowing the allowing the construction of a garage with a size exceeding 50% of the floor area primary residential structure on a nonconforming 0.77-acre lot in the Residential Estate zoning district. The proposed garage is a 1,465 SF prefabricated metal building with a maximum height of 24'. Access to the garage will be from a shared driveway within an access easement extending from Colima Road. The property is developed with an approximately 2,218 SF Single Family Residence with a 478 SF attached garage.

Name of Public Agency Approving Project: City of Atascadero

Name of Person or Agency Carrying Out Project: Patrick Hogue

Exempt Status:

- | | |
|----------------------------------------------------------------|--------------------------------------------------------------------------------|
| <input type="checkbox"/> Ministerial (Sec. 15268); | <input type="checkbox"/> General Rule Exemption (Sec. 15061. c); |
| <input type="checkbox"/> Declared Emergency (Sec. 15269(a)); | <input checked="" type="checkbox"/> Categorically Exempt (Sec. 15301 - 15333); |
| <input type="checkbox"/> Emergency Project (Sec. 15269(b)(c)); | <input type="checkbox"/> Statutory Exemption (Sec. 15261 - 15285) |

**10/29/2024 | Item 1 | Staff Report
Attachment 2: Notice of Exemption**

Reasons why the project is exempt: The project is exempt from environmental review pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). The proposed project will install a new 1,465 SF garage in the rear yard of a developed property. The area of disturbance on the property is limited. There are no sensitive environmental resources on the project or unusual environmental circumstances surrounding the project site. There are no scenic or historical resources in the vicinity of the project site. The site is not a listed hazardous waste site property. There are no cumulative impacts from associated successive projects.

Lead Agency Contact Person: Erick Gomez, Planner
(805) 470-3436
egomez@atascadero.org

Date Exemption Accepted: 10/29/24


10/29/24

SEE FOLLOWING SHEETS

EROSION CONTROL

1. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS AND EROSION CONTROL SHALL BE TOOK UNTIL EROSION CONTROL MEASURES ARE IN PLACE.
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND MAINTAINED TO ENSURE ALL CONSTRUCTION, CONSTRUCTION AND DRIVING DISTURBANCE MEASURES ARE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND MAINTAINED TO ENSURE ALL CONSTRUCTION, CONSTRUCTION AND DRIVING DISTURBANCE MEASURES ARE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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FIRE SAFETY PLAN

- THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THE BUILDING DEPARTMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FIRE SAFETY PLAN PREPARED BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THE PROJECT. THE FIRE SAFETY PLAN SHALL BE REVIEWED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO THE START OF CONSTRUCTION. THE FIRE SAFETY PLAN SHALL BE MAINTAINED AND MAINTAINED TO ENSURE ALL CONSTRUCTION, CONSTRUCTION AND DRIVING DISTURBANCE MEASURES ARE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
1. WHEN FIRE INSPECTIONS ARE REQUIRED, A FIRE SPRINKLER PLAN AND GENERAL BUILDING INSPECTION PRIOR TO THE TIME OF FRAMING INSPECTION SHALL BE REQUIRED. THE FIRE DEPARTMENT SHALL BE NOTIFIED PRIOR TO THE TIME OF FRAMING INSPECTION.
 2. FIRE SAFETY MEASURES SHALL BE MAINTAINED AND MAINTAINED TO ENSURE ALL CONSTRUCTION, CONSTRUCTION AND DRIVING DISTURBANCE MEASURES ARE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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GENERAL GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ATASCADERO LOCAL ORDINANCES, SPECIFICALLY THE CITY OF ATASCADERO LOCAL ORDINANCE 15.04.010.
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GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ATASCADERO LOCAL ORDINANCES, SPECIFICALLY THE CITY OF ATASCADERO LOCAL ORDINANCE 15.04.010.
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**ARCHITECTURAL PLANS
FOR A NEW METAL BUILDING
3625 COLIMA ROAD**



AIR QUALITY CONTROL

1. DURING CONSTRUCTION, AIR QUALITY CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT EXCESSIVE DUST FROM BEING RELEASED INTO THE AIR.
2. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ATASCADERO LOCAL ORDINANCES, SPECIFICALLY THE CITY OF ATASCADERO LOCAL ORDINANCE 15.04.010.
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SEPARATE PERMIT REQUIREMENTS

1. FIRE SPRINKLERS
- STATEMENT OF SPECIAL INSPECTIONS:
SEE SHEET (1) OF METAL BUILDING PLANS

PROJECT DESCRIPTION

NEW 1,465 SQ FT METAL BUILDING PER PLANS ATTACHED. THE BUILDING WILL HAVE ELECTRIC AND PLUMBING.

CONSULTANTS

- MECA BUILDING STRATEGICAL BUILDINGS
CONTRACTOR
DICKER CONSTRUCTION INC
TIM DICKER
STRUCTURAL ENGINEERING
KODIA ENGINEERING
610 7TH ST. SUITE A
PASO ROBLES, CA 94346
805-423-0444
BERNARD AND BEATTIE
611 7TH ST. SUITE B
PASO ROBLES, CA 94346
805-929-2071

SHEET INDEX

1-1.1	TITLE SHEET PROJECT INFORMATION
C-1.1	SITE PLAN
A-2.1	FLOOR PLAN, ELECTRIC PLAN
A-2.2	ELEVATIONS
A-2.3	PERFECTIVE VIEW

PROJECT INFORMATION

OWNER: PATRICK HOGUE
PROJECT ADDRESS: 3625 COLIMA ROAD, ATASCADERO, CA 94342
LEGAL DESCRIPTION: CT 4745 1/4S 20N
APN: 062-032-014
EMAIL: PHOGUE@GMAIL.COM
PAX: 805-929-2071

PROJECT STATISTICS

LOT SIZE	89 ACRES
CONSTRUCTION TYPE	VS
(6) RESIDENCE	2,280 SQ FT
(9) METAL BUILDING GARAGE	1,465 SQ FT
(8) METAL BUILDING GARAGE	1,465 SQ FT
NO	NO

VICINITY MAP



PLAN PREPARED FOR:

PAT HOGUE
3625 COLIMA ROAD
ATASCADERO, CA 94342



NO.	REVISION	DATE
1	REVISED	05/20/2014

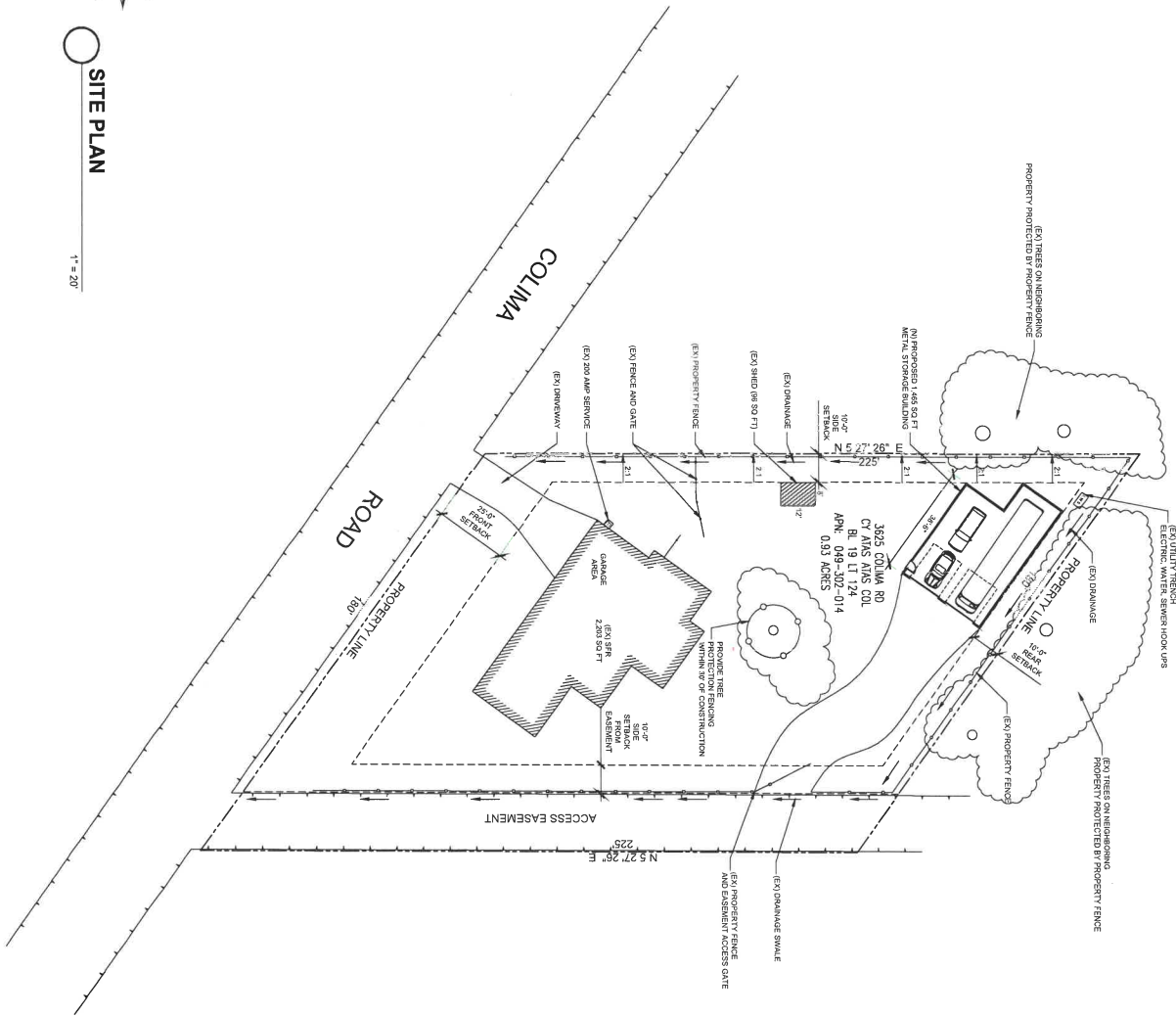
TITLE SHEET

T-1.1



SITE PLAN

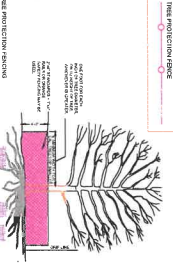
1" = 20'



GENERAL SITE PLAN NOTES

1. SLOPE GRADE AWAY FROM BUILDING AT 2% FOR 10' DISTANCE. EXISTING GRADE TO REMAIN UNLESS NOT BALE IMMEDIATELY. (REQUIREMENT - NOTIFY ARCHITECT)
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE AREAS OF OPERATION METHOD OF CONTROL SHALL BE SELECTED BY THE CONTRACTOR BUT SHALL SHOWN ON THE PLANS.
3. ANY BILLS WILL BE PLACED AS AN EROSION CONTROL MEASURE TO PROTECT EXISTING UTILITIES AND TO PREVENT SOIL EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DRAINAGE FROM DATE OF CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE AREAS OF OPERATION METHOD OF CONTROL SHALL BE SELECTED BY THE CONTRACTOR BUT SHALL SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACTUAL LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE AREAS OF OPERATION METHOD OF CONTROL SHALL BE SELECTED BY THE CONTRACTOR BUT SHALL SHOWN ON THE PLANS.
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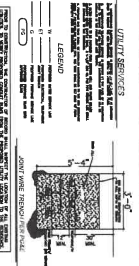
TREE PROTECTION DETAIL



CONCRETE WASHOUT

DESCRIPTION: ON SITE REQUIRE THE DISCHARGE OF POLLUTANTS TO STORM WATERS FROM CONCRETE WASTE BY CONDUCTING WASHOUT OF SITE PERFORMING ON-SITE WASHOUT IN A SUBCOMPACTORS. APPROACH THE FOLLOWING STEPS WILL BE TAKEN TO PREVENT POLLUTANTS FROM ENTERING ANY ADJACENT WATERBODIES. AVOID MAKING EXCESS CONCRETE WASTE. STEEL BARS AND WET MATERIALS UNDER COVER. PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED WASHOUT AREA. DO NOT ALLOW EXCESS CONCRETE TO BE WASHED INTO ANY ADJACENT WATERBODIES. WASHOUT AREAS SHALL BE BROKEN UP AND THEN DISPOSED OF PROPERLY. WHEN EXCESS CONCRETE IS DISPOSED OF PROPERLY, IT SHALL BE DISPOSED OF AT A DESIGNATED WASHOUT AREA. CONCRETE SHALL BE DISPOSED OF AT A DESIGNATED WASHOUT AREA. CONCRETE SHALL BE DISPOSED OF AT A DESIGNATED WASHOUT AREA. CONCRETE SHALL BE DISPOSED OF AT A DESIGNATED WASHOUT AREA.

UTILITY TRENCH DETAIL



LEGEND

- (S) UNDERGROUND WATER SUPPLY
- (G) GAS LINE UNDER SLAB
- (E) ELECTRICAL UNDERGROUND
- (P) PROPERTY LINE
- (D) DRAINAGE
- (I) DRIVEWAY



DRAFT & DESIGN
 610 ROUTE 52 WEST
 DUNBAR, CA 95015
 (925) 386-4444
 WWW.DJHDESIGN.COM

PLAN PREPARED FOR:

PAT HOGUE
 3625 COLIMA ROAD
 ATASCADERO, CA 93422

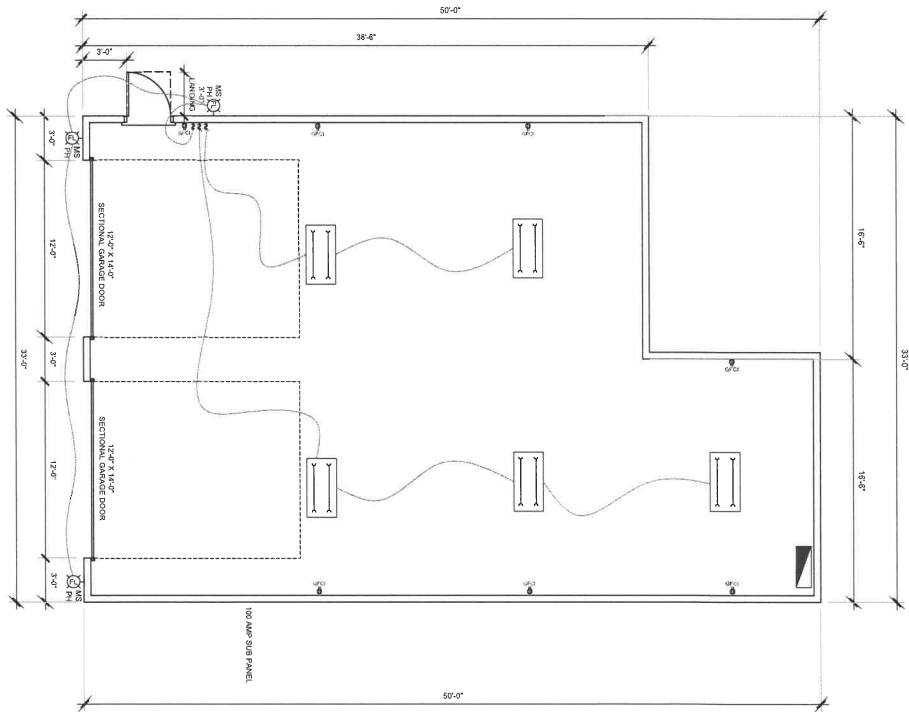
NO.	REVISION	LOG	DATE

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PROJECT NO. ...
 DATE ...

C-1.1

SHEET NUMBER




FLOOR PLAN / ELECTRIC PLAN
 1/4" = 1'-0"

FLOOR PLAN NOTES

1. IN ACCORDANCE WITH IBC SECTION 11.13, ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2012 CALIFORNIA ELECTRICAL CODE.

ELECTRICAL NOTES

1. GFCI OUTLETS ON ALL ABOVE COUNTER SURFACES IN KITCHEN SHALL BE MOUNTED AT AN ABOVE FINISH FLOOR HEIGHT WITH THE SWITCHES TO BE MOUNTED AT AN ABOVE FINISH FLOOR HEIGHT WITH THE SWITCHES TO BE MOUNTED AT AN ABOVE FINISH FLOOR HEIGHT.
2. ALL ELECTRICAL SWITCHES, RECEPTACLES, DIMMERS, RECEPTACLES SHALL BE MOUNTED AT AN ABOVE FINISH FLOOR HEIGHT WITH THE SWITCHES TO BE MOUNTED AT AN ABOVE FINISH FLOOR HEIGHT.

LEGEND

- 115 V GFCI DUPLEX RECEPTACLE - 14-4"
- SWITCH WITH VACUUMY SENSOR
- ON AND OFF SWITCH
- WALL MOUNTED EXTENSION FINDER, DIMMABLE, MOTION SENSOR
- ZONED STRIP LIGHT FIXTURE
- 100 AMP SUB-PANEL



PLAN PREPARED FOR:
PAT HOGUE
 3625 COLIMA ROAD
 ATASCADERO, CA 93422

REV.	DESCRIPTION	DATE

PROJECT NO.: _____
 TITLE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
FLOOR PLAN

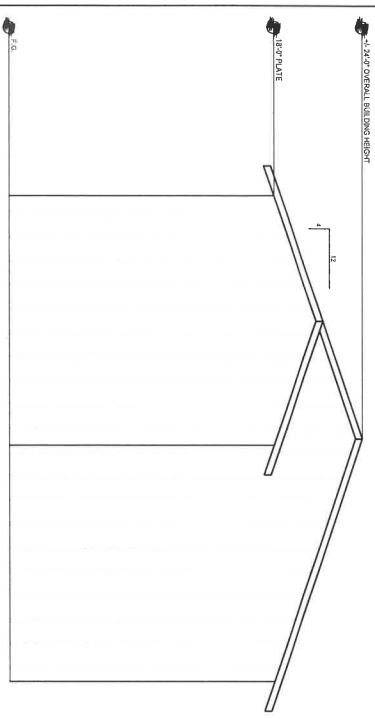
SHEET NUMBER:
A-1.1

ELEVATION MATERIALS AND NOTES

- PER PANEL FOR SIDING AND ROOF
- SIDING COLOR SIGNATURE 200 LIGHT STONE
- ROOF COLOR SIGNATURE 200 TUNDRA
- TRIM AND GARAGE DOOR COLOR SIGNATURE 200 TRIBOOT WHITE

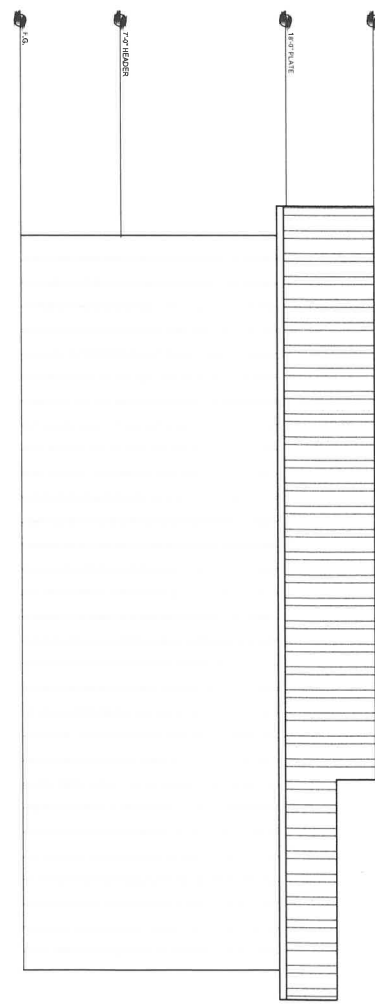


DRAFT & DESIGN
A 30 UNIT OFFICE
1000 COLIMA ROAD
DRAFTING@DJH.COM
925.935.5511



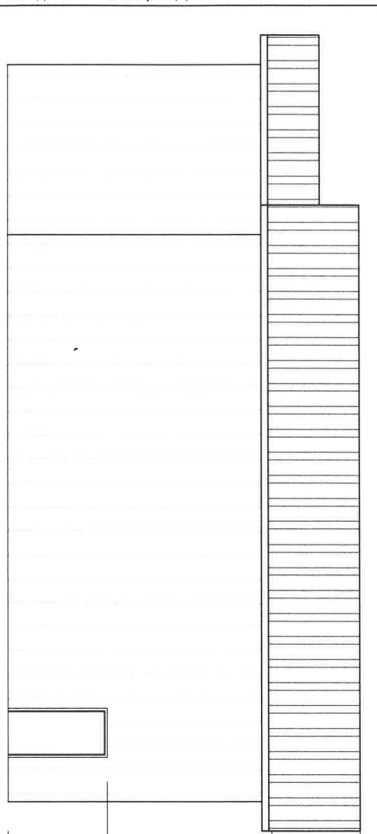
BACK ELEVATION

1/4" = 1'



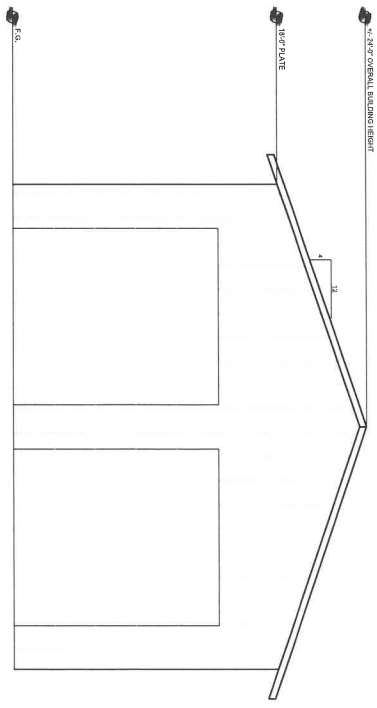
RIGHT SIDE ELEVATION

1/4" = 1'



LEFT SIDE ELEVATION

1/4" = 1'



FRONT ELEVATION

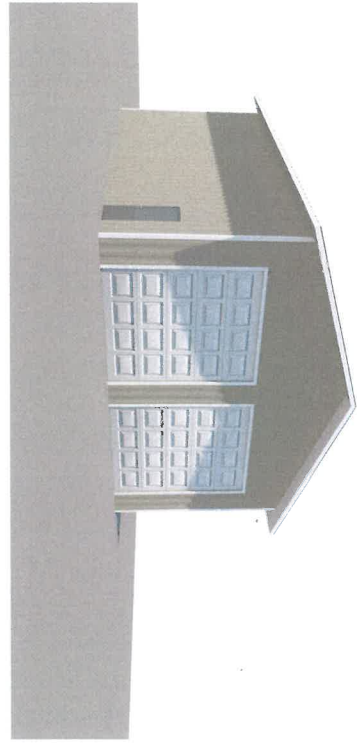
1/4" = 1'

PLAN PREPARED FOR:
PAT HOGUE
3625 COLIMA ROAD
ATASCADERO, CA 93422

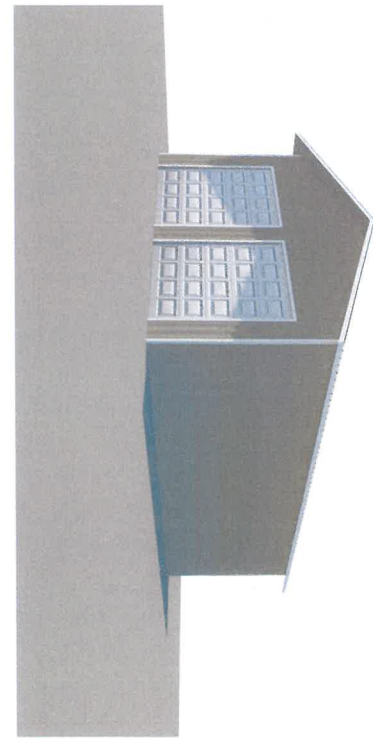
REV.	DESCRIPTION	DATE

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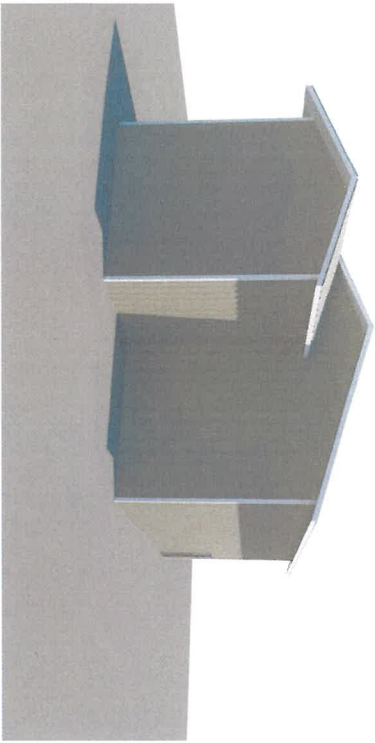
PROJECT NO. —
FILE NAME: A:\3626\3626.dwg
DRAWN BY: DJH
DATE: 10/24/2018
SCALE: 1/4" = 1'



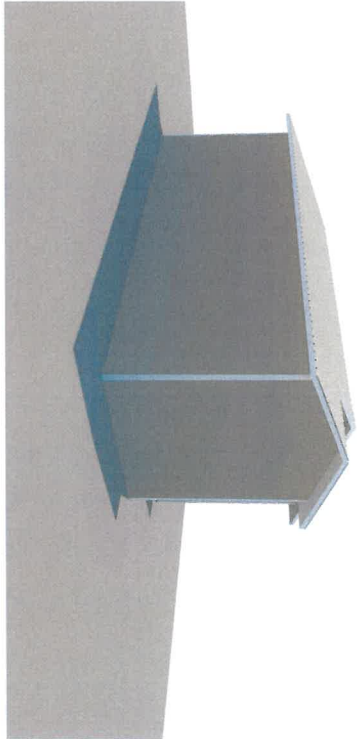
FRONT-LEFT ELEVATION



FRONT-RIGHT ELEVATION



BACK-LEFT ELEVATION



BACK-RIGHT ELEVATION



DRAFT & DESIGN
 430 NORTH STUART AVE
 PALM BEACH, FL 33480
 DJH@DRAFTER.COM
 561.833.1333

PLAN PREPARED FOR:
 PAT HOGUE
 3625 COLIMA ROAD
 ATASCADERO, CA 93422

NO.	REVISION LOG	DESCRIPTION	DATE

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PROJECT NO.:
 FILE NAME: A-3.1 ELECTRICAL PLAN.dwg
 DRAWN BY: DJH
 DATE: 11/11/2021 9:47:07 AM
 SHEET TITLE: ELECTRICAL PLAN

PERSPECTIVE VIEW

SHEET NUMBER:
 A-3.1